



MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: September 9, 2020 (for the September 14, 2020 meeting)
SUBJECT: Certificate of Appropriateness for new construction at 100 Hanover Street

ISSUE

Thomas Mitchell requests approval of the site planning, scale, and massing of a new, mixed-use, three-and-one-half-story building on this vacant property.

RECOMMENDATION

Approval of the Certificate of Appropriateness for the site planning, scale, and massing of the proposed new construction in accordance with the submitted drawings.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

City Code § 72-23.1 D(1): *New construction*

No building or structure shall be erected or reconstructed within the HFD, unless approved by the ARB as being architecturally compatible with the historic landmarks, buildings, structures and areas located therein. The ARB shall, in making its decisions, consider the characteristics of a proposed building or structure as they affect and relate to the district, including the following elements:

- (a) Site planning (continuity of street edge, spacing between buildings, fences and walls, parking);
- (b) Building scale (size, height, facade proportions);
- (c) Building massing (form, roof shape, orientation);
- (d) Roof (shape, pitch, overhang, dormers, skylights, chimneys);
- (e) Windows (type, shape and proportion, rhythm and balance, blinds/shutters);
- (f) Doorways (placement and orientation, type);
- (g) Storefronts (materials, architectural details);
- (h) Exterior architectural elements (entrances, porches and steps, cornices);
- (i) Materials (wall surfaces, foundation, roof); and
- (j) Miscellaneous details (trim, gutters and leaders, louvers/vents, lighting, public utilities).

Site Planning (Historic District Handbook, pg. 69-73)

Continuity of Street Edge

1. New buildings should be sited to reinforce the traditional street edge.
2. Corner buildings in the downtown commercial district should avoid deep setbacks or open corners that disrupt street edge continuity.

Spacing between Buildings

2. Spacing between buildings in the downtown commercial district should reinforce the existing street wall.

Parking

1. New buildings in the downtown commercial district should have their parking in the rear of the building, allowing the building to become part of the existing streetscape and to reinforce the street edge.

Building Scale (Historic District Handbook, pg. 74)

1. Although the zoning ordinance defines height limitations within the various parts of the city, building height at the street front should be compatible with the prevailing height of the entire block.
2. New buildings that must be taller than the prevailing height should be stepped back so the additional height is not visible from the street.
3. The primary façade of a new commercial building should be modulated with bays to reflect the prevailing width of the adjoining historic buildings.
4. Architectural features—such as porches, entrances, storefronts, and other decorative elements—should be used to reinforce the human scale of the Historic District.

Building Massing (Historic District Handbook, pg. 75)

1. Building form should relate to the existing streetscape. If most of the building forms are simple, then the form of a new building should respect that characteristic.
2. New commercial and professional buildings should respect the orientation of similar buildings in the Historic District.

BACKGROUND

The site known as 100 Hanover Street is located at the southwest corner of the intersection of Hanover and Sophia Streets. Several historic structures previously existed on the site, but the property is now vacant. Alternative designs for the project have been considered by the ARB in 2013, 2016, and 2018. The current proposal reduces the overall footprint of the mixed-use, three-and-one-half-story building to be constructed on the site, but shares many of the same details and overall design of the project approved in 2018. The applicant is currently requesting approval of the site planning, scale, and massing of the building.

The masonry building will be located at the southwest corner of the intersection of Sophia and Hanover Streets. The ground floor includes required parking and a commercial space at the corner of the property. The space above will be occupied by residential units. The property is located in the 100-year floodplain, and the majority of the site has an elevation of 30 feet. Any commercial space that is not fully dry flood-proofed and any residential space of any kind must be elevated to 40.5 feet.

a. Site Planning

The rectangular building footprint will be 58 feet four inches along Hanover Street and 163 feet along Sophia Street. A parking area will be located behind the building, accessible from the alley at the rear of the property, and will be screened along Hanover Street by a four-foot

masonry wall. The walls of the ground floor have a minimal five-foot setback along Hanover and Sophia Streets to allow for projecting balconies above. A projecting bay on Hanover Street and multi-story balconies on Sophia Street extend to the property line, continuing the traditional street edge of neighboring buildings. The floodplain restrictions are accommodated by incorporating parking within the footprint of the building on the ground floor and constructing a limited amount of commercial space at the corner. The building footprint falls within the range of existing structures in neighboring blocks and the site planning serves to reinforce the traditional streetscape.

b. Scale

The proposed structure is three-and-one-half stories in height topped by intersecting gables. The height of the building at the eave line is 32 feet. The midpoint between the peak and the eave is 44 feet, and at the highest point, the roof peak is 56 feet. The overall building size and height is compatible with the character of buildings in the surrounding context, including the two historic hotels at the corners of Caroline and Hanover Street that surpass 50 feet in height. The use of the gable roof form and strong horizontal character lessen the impact of the building’s overall size by reinforcing the district’s human scale.

c. Building Massing

The building is generally structured as two intersecting gable-roofed masses. A square, side-gabled mass facing onto Hanover Street features a projecting shed-roofed bay at the center of the north elevation. A long, side-gabled mass extends along Sophia Street. A series of gable-roofed dormers lines the roof slope above Sophia Street, and two additional dormers flank the central bay above Hanover Street. The building design utilizes many features of existing neighboring historic buildings and is clearly inspired by the forms of historic industrial buildings that once existing along Fredericksburg’s waterfront. The design merges several forms together in order to mimic the rhythm of the existing streetscape without becoming overly complicated. The proposed design appears compatible with the character of the surrounding Historic District.

Approval of the site planning, scale, and massing of the project as submitted is recommended. The applicant is advised that a second public hearing will be required for consideration of all elements of the detailed architectural design.

APPROVAL CRITERIA

Criteria for evaluating new construction are found in City Code § 72-23.1(D)1.

| S | D | NA | S – satisfies | D – does not satisfy | NA – not applicable |
|--|---|----|---------------|----------------------|---------------------|
| No building or structure shall be erected or reconstructed within the HFD, unless approved by the ARB as being architecturally compatible with the historic landmarks, buildings, structures and areas | | | | | |

| | | | |
|--|--|---|--|
| located therein. The ARB shall, in making its decisions, consider the characteristics of a proposed building or structure as they affect and relate to the district, including the following elements: | | | |
| X | | | (1) Site planning: continuity of street edge, spacing between buildings, fences and walls, parking |
| X | | | (2) Building scale: size, height, facade proportions |
| X | | | (3) Building massing: form, roof shape, orientation |
| | | X | (4) Roof: shape, pitch, overhang, dormers, skylights, chimneys |
| | | X | (5) Windows: type, shape and proportion, rhythm and balance, blinds/shutters |
| | | X | (6) Doorways: placement and orientation, type |
| | | X | (7) Storefronts: materials, architectural details |
| | | X | (8) Exterior architectural elements: entrances, porches and steps, cornices |
| | | X | (9) Materials: wall surfaces, foundation, roof |
| | | X | (10) Miscellaneous details: trim, gutters and leaders, louvers/vents, lighting, public utilities |

* Criteria (d) through (j) will be evaluated in a second public hearing for consideration of the final detailed architectural design.

Attachments:

1. Aerial and street view photographs showing property location
2. Design package submitted by applicant



AERIAL



EXISTING SITE

HANOVER HOUSE

100 Hanover Street Fredericksburg, Virginia | June 18, 2020 Revision

PROJECT DATA:

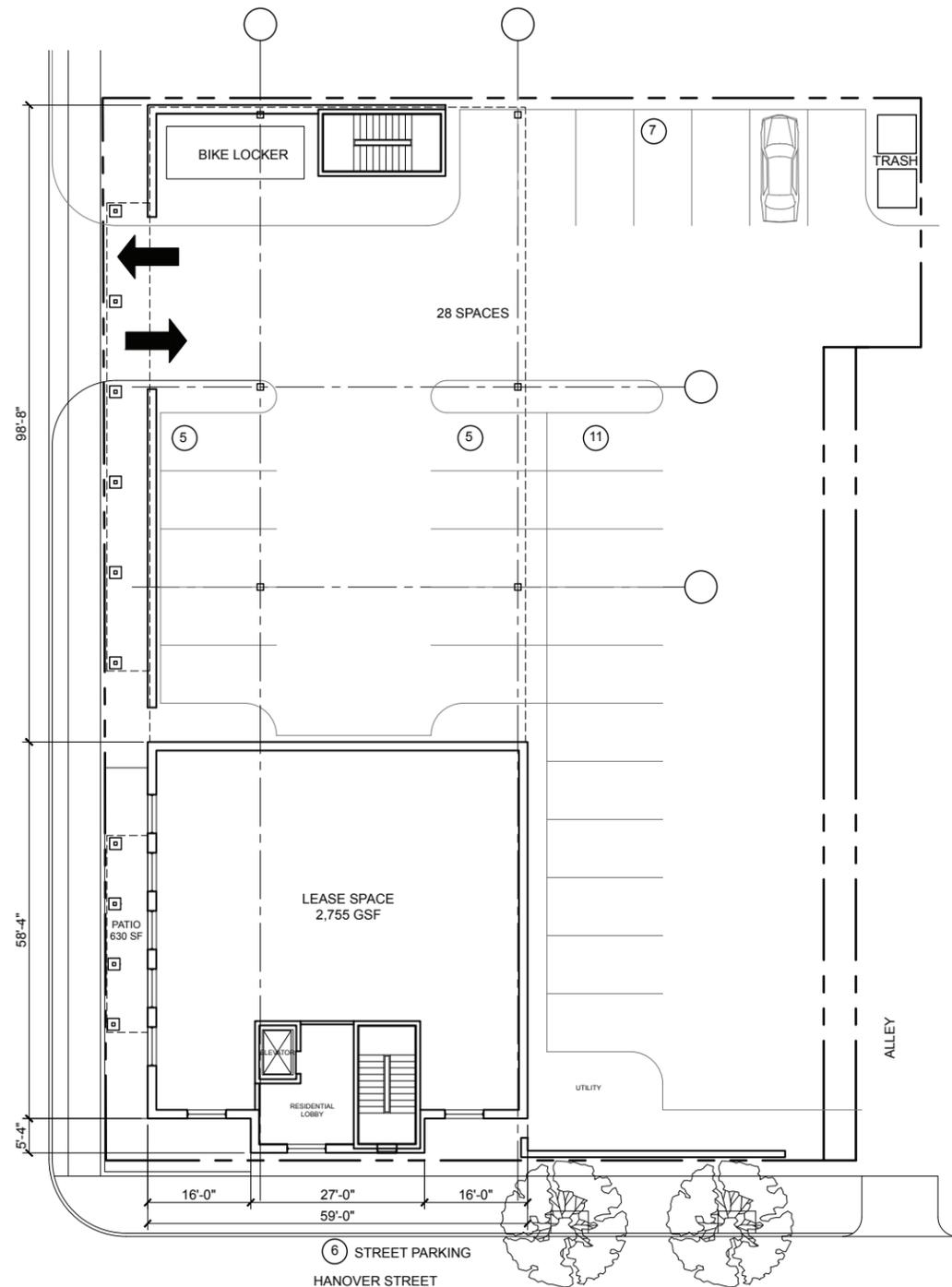
- PARCEL AREA: 0.448 AC=19,539 SF
- BLDG. AREA: 28,566 GSF
- BLDG HT.: FOUR STORY, 56' TO RIDGE
- 2,755 SF GROUND FLOOR COMMERCIAL
- 24 RESIDENTIAL UNITS
 - 3 STUDIOS WITH ONE BATH
 - 14 ONE BEDROOM | ONE BATH
 - 7 TWO BEDROOM | TWO BATH
- 250 SF FITNESS CENTER

PARKING REQUIRED 972-53.1.C.2

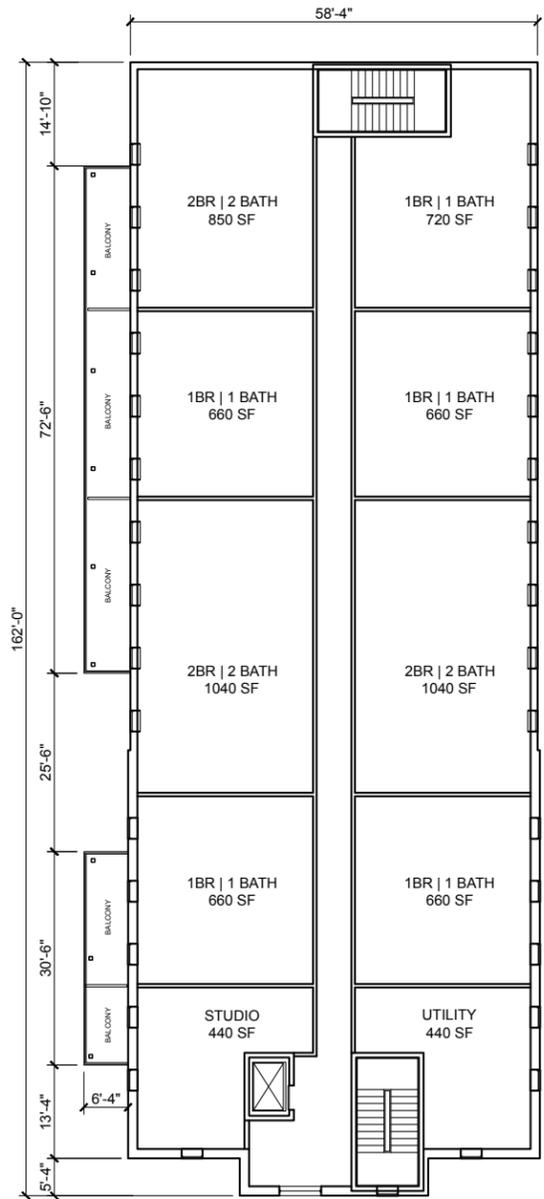
Dwelling, Upper Story (0.5/DU) = 12
 Restaurant (1/180 SF) = 19
 TOTAL REQUIRED = 31
TOTAL PROVIDED = 34 (incl. 6 on Hanover)
 BICYCLES = 12

ADDITIONAL INFORMATION:

- HEIGHT TO RIDGE: 56'
- FAR (3.225 PERMITTED): 1.46
- 15% GROUND FLOOR COMMERCIAL REQUIRED - 30% PROVIDED
- MAXIMUM 40 UNITS/ACRE



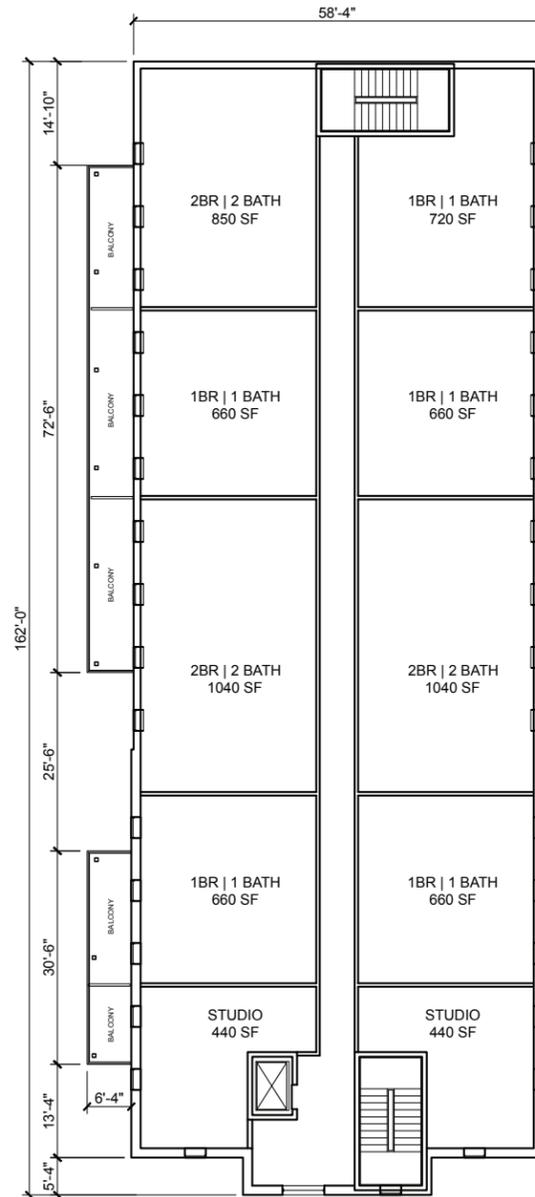
FIRST FLOOR
3,586 GSF



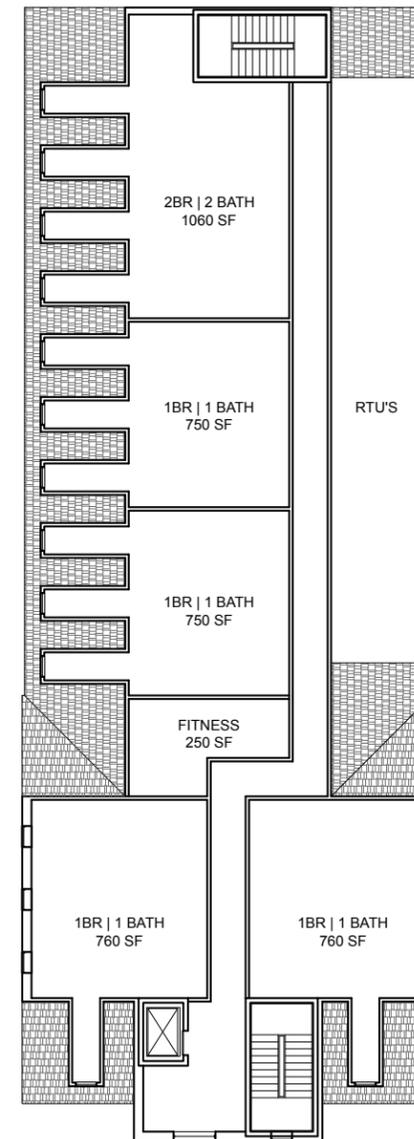
SECOND FLOOR
9,330 GSF

HANOVER HOUSE

100 Hanover Street Fredericksburg, Virginia | June 18, 2020 Revision



THIRD FLOOR
9,330 GSF



FOURTH FLOOR
6,320 GSF

HANOVER HOUSE

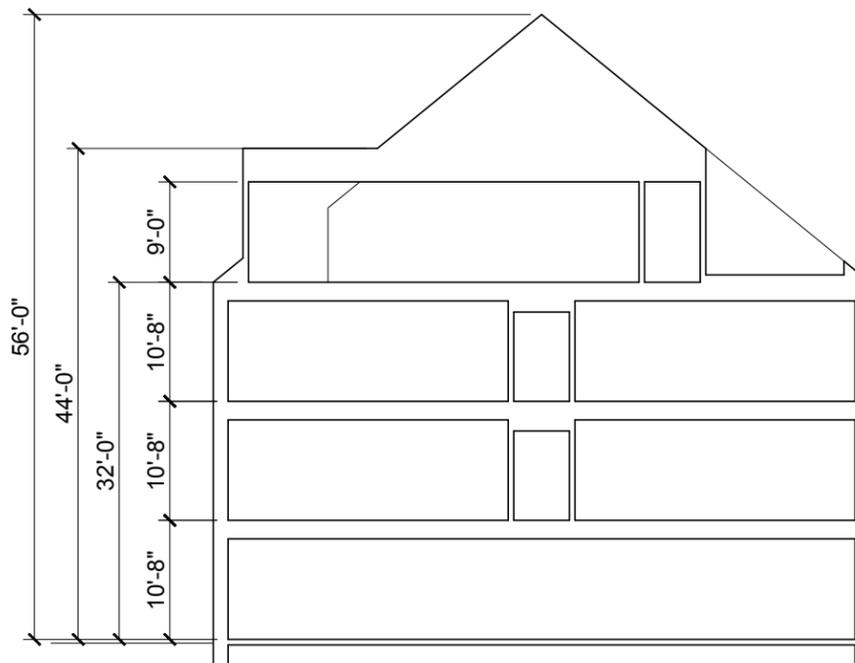
100 Hanover Street Fredericksburg, Virginia | June 18, 2020 Revision



SOPHIA STREET ELEVATIONS



HANOVER STREET ELEVATIONS



SECTION

HANOVER HOUSE

100 Hanover Street Fredericksburg, Virginia | June 18, 2020 Revision



EXISTING VIEW DOWN HANOVER STREET

THE STREET EXPERIENCE EXPANDS ON THE EXISTING STREETScape (TREES AND LIGHTING AND FURNISHINGS) AND ADDS OUTDOOR DINING OPPORTUNITY AT THE CORNER BY PULLING THE BUILDING BACK. A THREE STORY PORCH ADDITION ADDS ADDITIONAL LIFE TO THE CORNER.

MATERIALS:

- CONCRETE PODIUM WITH BOARD FORMED PATTERN
- BRICK VENEER
- LAP SIDING (HORIZONTAL)
- STEEL AND TIMBER PORCHES



VIEW AT THE CORNER OF SOPHIA AND HANOVER STREETS

HANOVER HOUSE

100 Hanover Street Fredericksburg, Virginia | June 18, 2020 Revision



VIEW ALONG SOPHIA STREET

HANOVER HOUSE

100 Hanover Street Fredericksburg, Virginia | June 18, 2020 Revision

