



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** September 9, 2020 (for the September 14, 2020 meeting)  
**SUBJECT:** Certificate of Appropriateness for accessory structure at 203 Princess Elizabeth St.

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### ISSUE

Lesa and Mike Carter request to construct a one-story detached garage on the west side of this single-family residence.

### RECOMMENDATION

Approval of the Certificate of Appropriateness for the request as submitted. The applicant is advised to monitor for archaeological deposits during any excavation work and notify the Historic Resources Planner of any findings.

A final vote on the application cannot occur until September 28, 2020 due to the required procedures for electronic meetings.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*Standard 9.* New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

*Standard 10.* New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### BACKGROUND

The c.1925 residence at 203 Princess Elizabeth Street is a one-and-one-half story, side-gabled, wood-framed Craftsman-style bungalow sheathed in weatherboard, topped with an asphalt-shingle roof, and resting on a parged brick foundation. A front-gabled dormer is centered on the front roof slope and the full-width, shed-roofed front porch is supported by square brick piers topped with battered wood posts. A simple picketed balustrade runs between the piers. Character-defining features include wide overhanging eaves supported by simple triangular brackets, three-over-one double-

hung sash windows, and a brick chimney with corbelled cap. The dwelling is a contributing structure in the Historic District.

The applicant proposes to construct a one-story garage on the west side of the primary structure. A similar garage was approved by the ARB in 2018, but the property owners have now modified the design and reduced the overall size of the proposed garage. The design proposed is for a wood-framed accessory structure topped by a front-gabled roof clad in asphalt shingles. The walls will be clad in smooth lapped fiber cement siding with a five-inch reveal to match the main house. Trim elements, including corner boards, fascia, and frieze, will also be constructed of fiber cement. A three-bay, steel, paneled, carriage-style garage door is centered on the front elevation and a square casement window is located in the gable end. The gable ends are enclosed by a metal-clad intermediate roof. The building is proposed to be 16 feet wide by 25 feet in length, and will be 12 feet 3 ½ inches in height at the midpoint of the gable.

Fredericksburg's *Historic District Handbook* does not provide specific guidelines for the construction of new accessory structures, but the City of Richmond's *Design Review Guidelines* provide guidance that aligns with Fredericksburg's Historic District standards:

1. Outbuildings, including garages, sheds, gazebos and other auxiliary structures, should be compatible with the design of the primary building on the site, including roof slope and materials selection.
2. Newly constructed outbuildings such as detached garages or tool sheds should respect the siting, massing, roof profiles, materials and colors of existing outbuildings in the neighborhood.
3. New outbuildings should be smaller than the main residence and be located to the rear and/or side of the property to emphasize that they are secondary structures.
4. Prefabricated yard structures are discouraged.

The proposed structure will be located to the side of the primary structure, set behind the front wall of the house. The garage does not encroach on any required setbacks, and meets all zoning requirements for the property. The design, including roof type and materials, is compatible with the character of the Craftsman-style residence and is clearly secondary in nature in size, placement, and detailing. Detached accessory garages are typical of this architectural style and Princess Elizabeth Street is characterized by a mix of building types and frontages. The proposed design is compatible with the character of the site and the district, and approval as submitted is recommended. It is recommended that the applicant monitor for archaeological deposits during any excavation work and notify the Historic Resources Planner of any findings.

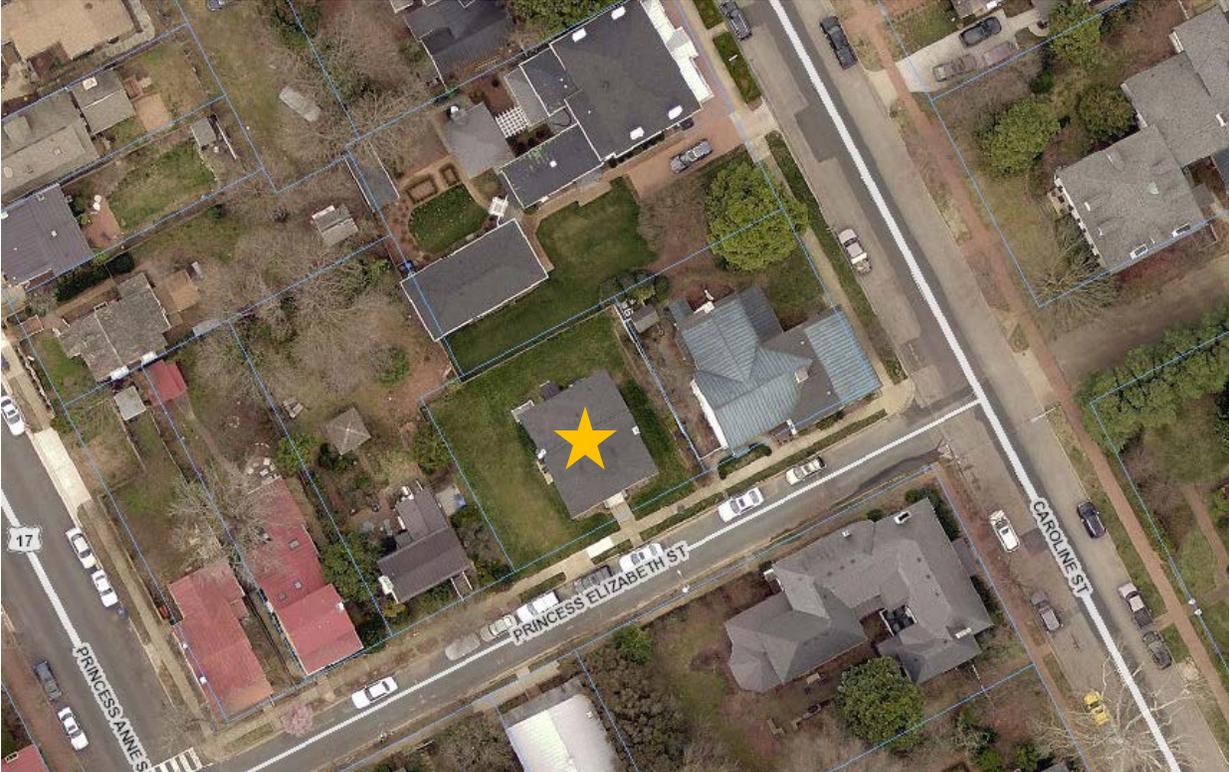
### **APPROVAL CRITERIA**

Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation.

<b>S</b>	<b>D</b>	<b>NA</b>	<b>S – satisfies    D – does not satisfy    NA – not applicable</b>
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		X	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
X			(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

1. Aerial photograph and front elevation view
2. Views from the public right-of-way
3. Project specifications
4. Floor plans
5. Elevations
6. Material specifications
7. Site layout



AERIAL



FRONT (SOUTH) ELEVATION



View looking northwest from Princess Elizabeth Street



View looking northeast from Princess Elizabeth Street

**Freeland Engineering, P.C.**

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Web: [www.freelandengineeringpc.com](http://www.freelandengineeringpc.com)

August 18, 2020

**RE: 203 Princess Elizabeth Street**  
**ARB Certificate of Appropriateness application**  
Michael and Lesa Carter (property owners)  
Melissa T. Colombo of Freeland Engineering, PC (Applicant Representative)

Attached is an application for a Certificate of Appropriateness for a detached garage at 203 Princess Elizabeth Street. This is a revision to the initial approved application from August 2018. Please see below for project data specifics:

Existing property / primary structure data:

Zoning:	R4, Historic District
Lot:	244 B1 50-203
Lot Size:	5,904 sq ft
Heated floor area of existing bldg.:	2,354 sq ft
Min side setback:	6'-0"
Min front setback:	18'-0"
Min rear setback:	24'-0"
Max height:	25'-0"

Building data of proposed detached garage

Garage area:	400 sq ft < 589 sq ft (max 25% of heated floor area of primary structure)
Side setback:	6'-9" > 6'-0" minimum
Front setback:	18'-5" > 18'-0" minimum
Rear setback:	24'-5" > 24'-0" minimum
Mean height:	12'-3 1/2" < 25'-0"

Garage Door (Custom size)

Size:	12'0"x8'-0"
Style:	Garage Carriage style overhead door - Eastman E-11 panel design Insulated steel door w/ wood grain finish
Glass:	Thermopane Panoramic Satin glass - 4 lite panels (simulated divided light)
Hardware:	Spear hinge at top / bottom of solid panel and Spear pulls

Entry Door (Right Side Elevation)

Size:	3'-0"x6'-8"
Style:	Andersen Straightline Series – Rectangular Glass Panel 194 3 lite over single panel (simulated divided light,) paint / stain grade

Fixed transom window (Front elevation)

Size:	2'-0"x1'-8"
Style:	Single lite, paint / stain grade

Siding:

Size: 6.25" / 5" reveal (to match existing at house)  
Style: Hardieplank Smooth Lap (or equiv.)

Trim:

Size: 3.5" (Corner board, Rake trim and Window / Door trim)  
5.5" (Rake board, Fascia board & Frieze board)  
Style: Hardietrim 4/4 Smooth (or equiv.)

Roof (at primary garage roof):

Style: Composition shingles to match primary structure

Decorative roofing (Gable ends):

Style: Standing seam metal roof  
Size: 16" width, 1" rib height, 29 gauge, painted

Lighting (at rear elevation)

Style: Gooseneck Dahlia sign downlight – Arm G8 Traditional  
Size: 24" straight arm w/ 1-1/2" base mount, painted  
12" Old-Age adjustable shade, painted

Exterior Mechanical Unit (Left Side elevation towards rear)

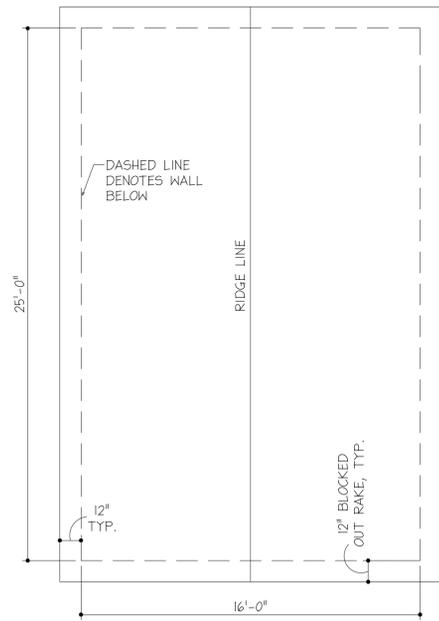
Style: Wall Mounted Split Unit  
Manufacturer TBD

Please let me know if you have any additional questions.

Sincerely,

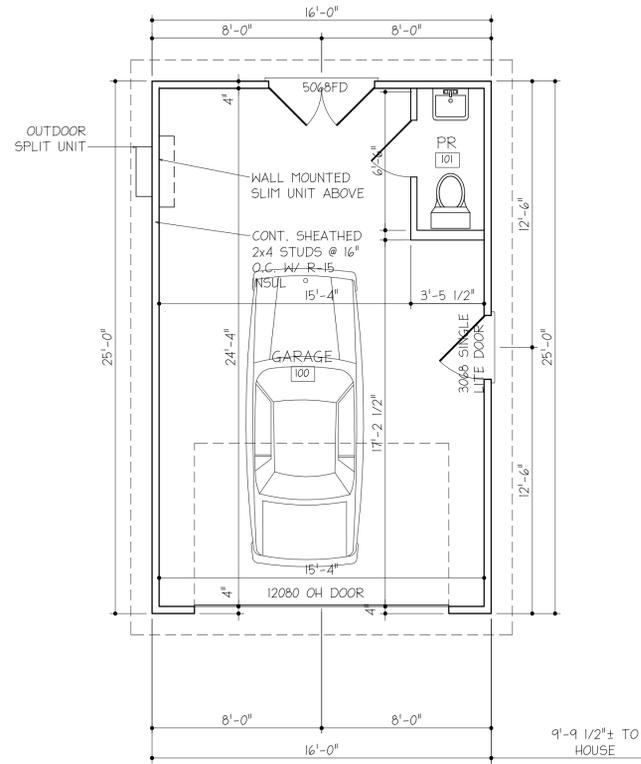


Melissa T. Colombo, Architect AIA  
Freeland Engineering, PC



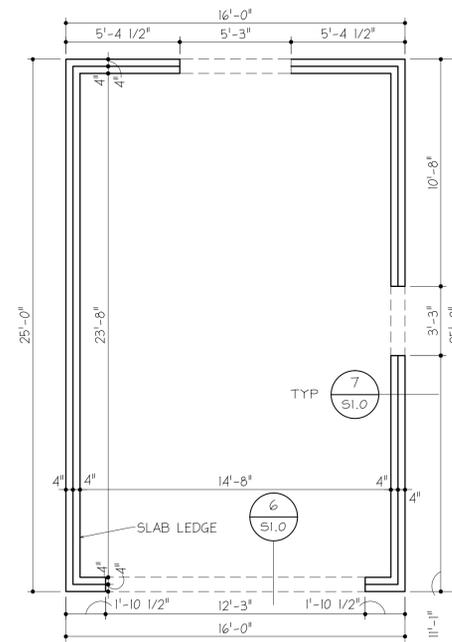
DETACHED GARAGE ROOF PLAN

1/4"=1'-0" 3



DETACHED GARAGE FLOOR PLAN

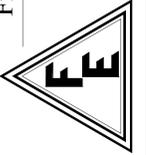
1/4"=1'-0" 2



DETACHED GARAGE FOUNDATION PLAN

1/4"=1'-0" 1

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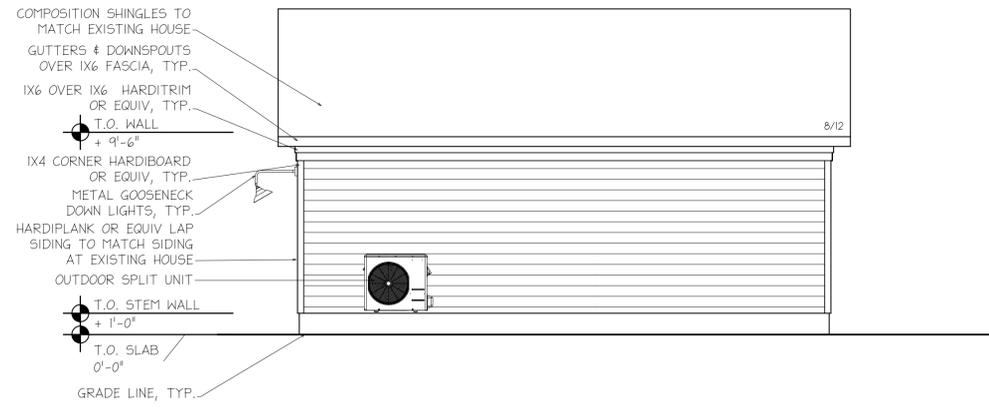
**Carter Detached Garage**  
 203 Princess Elizabeth Street  
 Fredericksburg, VA 22401

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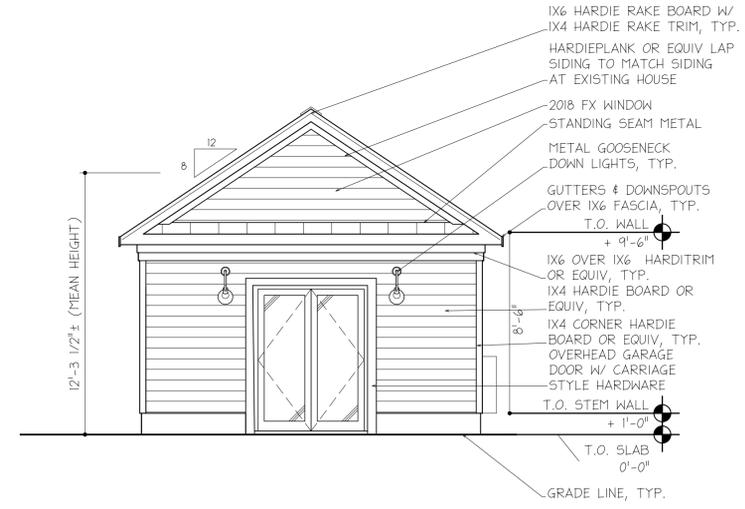
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Designed By:	MTC
Checked By:	RPF
Project #:	3381
Date:	2020-08-17
Issue:	ARB
Sheet:	

DETACHED GARAGE PLANS

Sheet No: **A1.0**



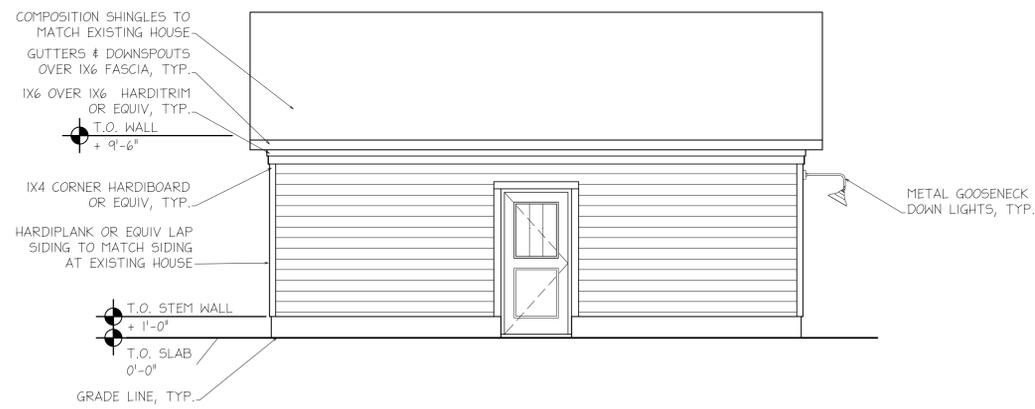
DETACHED GARAGE LEFT SIDE ELEVATION



DETACHED GARAGE REAR ELEVATION

1/4"=1'-0"

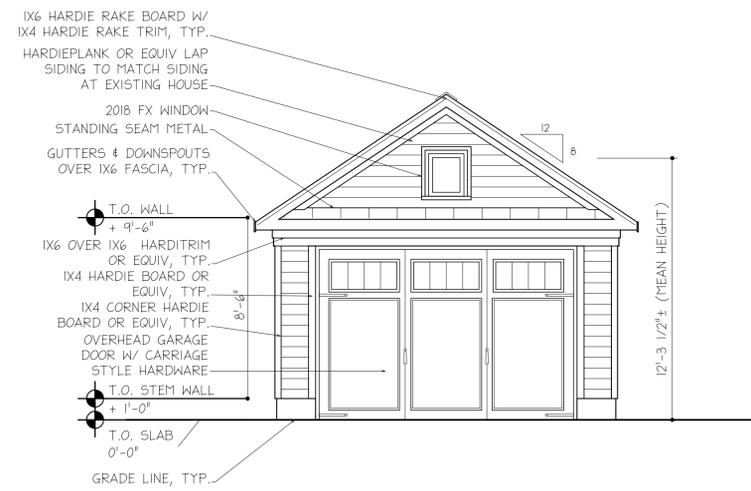
2



DETACHED GARAGE RIGHT SIDE ELEVATION

1/4"=1'-0"

2



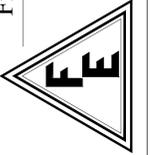
DETACHED GARAGE FRONT ELEVATION

1/4"=1'-0"

1

Issue:	Rev #:	Initials:
2018-03-08 PRELIM		MTC
2018-05-04 PRELIM		MTC
2018-07-02 PRELIM		MTC
2018-08-17 ARB		MTC
2020-07-21 REVIEW		MTC
2020-08-17 ARB		MTC

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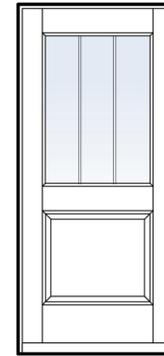
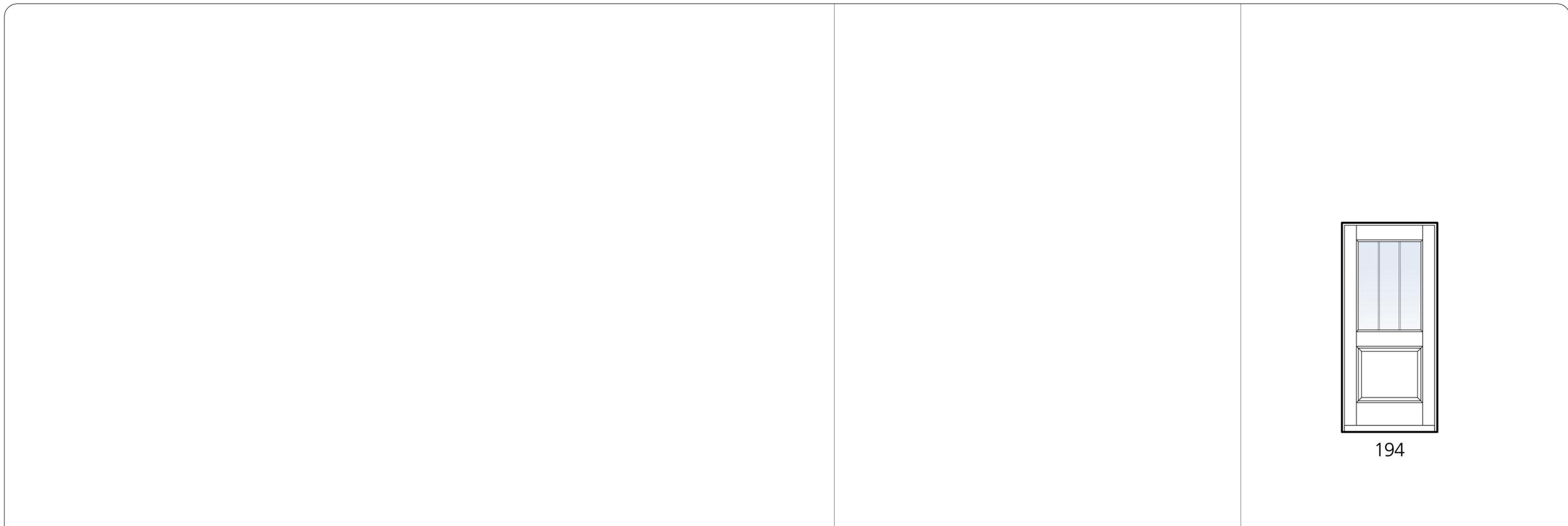
**Carter Detached Garage**  
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 Fredericksburg, VA 22401

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Project #:	3381
Date:	2020-08-17
Issue:	ARB
Sheet:	

DETACHED GARAGE ELEVATIONS

Sheet No: **A2.0**



194

Date	Issue	Rev #	Initials
2018-06-17	ARB		MTC
2020-06-17	ARB		MTC

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**Spear Hinge (16" and 18" available)**

**Large Spear Handle**

**GARAGE DOOR HARDWARE** 4

**Model:** Eastman E-11  
**Quantity:** 1  
**Size:** 12' 0" x 8' 0" (width x height)  
**Sections:** 1 3/4"-thick galvanized steel + 5/8" overlays, insulation R-16  
 26-gauge galvanized steel, woodgrain finish; Each section is built with solid mechanical interlocking joint using triple contact InterLok weatherstripping. Pressure-injected polyurethane foam insulation.  
**Color:** Ice White, Overlays: Ice White  
**Windows:** Thermopane - Panoramic section 4 Satin vertical lites  
**Grids:** White  
 Full vision window sections (service-station type) (total thickness: 7/8") are composed of glass sections, inserted into aluminum extrusion.

**CARRIAGE STYLE OVERHEAD GARAGE DOOR** 3

**4/4 NT3\* SMOOTH**  
Arctic White

**HARDIE-PLANK LAP SIDING & TRIM** 2

**ANDERSEN STRAIGHTLINE W/ GLASS PANEL** 5

**Arm G8 - Traditional** ©2009MFG

**GOOSENECK LIGHTS** 1

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**Drawn By:** MTC  
**Designed By:** MTC  
**Checked By:** RPF  
**Project #:** 3381  
**Date:** 2020-06-17  
**Issue:** ARB  
**Sheet:**

MATERIAL SPECS

**Sheet No: A1.1**

