



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** September 9, 2020 (for the September 14, 2020 meeting)  
**SUBJECT:** Certificate of Appropriateness for exterior alteration at 201 Caroline Street

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### ISSUE

Karen Hyland requests to replace the existing diamond-patterned asbestos shingle roof on the original portion of this residence with dimensional asphalt shingles and install half-round gutters at the eaves.

### RECOMMENDATION

Approval of the request to install half-round gutters and round downspouts in previously used locations.

Denial of the request to replace asbestos roofing with asphalt shingles because it does not meet the standards in City Code §72-23.1(D)2, specifically standard #6:

Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

A final vote on the application cannot occur until September 28, 2020 due to the required procedures for electronic meetings.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*Roofs* (*Historic District Handbook* – pg. 80)

8. Avoid replacing roofs with a substitute material that does not convey the same visual appearance of the historic roof. Replacing a metal shingle roof with standing seam metal, for example, alters a defining architectural characteristic. If replacement of a roof is not technically or economically feasible, the substitute material should convey the same visual appearance of the original roof as much as possible.

**BACKGROUND**

The residence at 201 Caroline Street, known as the “Pink Lady” house, was constructed c.1904 in the Queen Anne style. Two-and-one-half stories in height, clad in weatherboard, and resting on a brick foundation, the dwelling is topped by a complex cross-gabled roof. Pedimented gables are located above the front and side elevations and are accented by wide, overhanging eaves, a denticular cornice, and a molded wood frieze. The roof is clad in diamond-patterned asbestos shingles and a pedimented front-gabled dormer is located above the left bay of the façade. A decorative circular stained glass window ornaments the front gable end. A one-story porch supported by fluted Tuscan columns on paneled wood piers and surrounded by a turned wood balustrade spans the façade. Additional character-defining features include the second-story bay window, rectangular projecting bay at the southwest corner, and central interior brick chimneys. One-over-one, wood, double-hung sash windows are typical. A two-story, side-gabled rear addition with a rear-facing turret was constructed in 2003. The dwelling is a contributing structure in the Historic District.

The applicant proposes to replace the diamond-patterned asbestos roofing on the original front portion of the structure and reinstall half-round gutters and round downspouts that were previously removed from the property. The roofing on the rear addition will also be replaced in-kind with asphalt shingles, which does not require ARB review. The request to reinstall metal half-round gutters and round downspouts should be approved as submitted. The gutter hangers still in place demonstrate their previous use and the installation will not have any adverse impact on the property.

Due to deterioration that has been exacerbated by recent storms, the roof is currently leaking and heavily deteriorated. Replacement in-kind with asbestos is not possible and repairs are no longer feasible due to the abatement requirements for the material. The applicant is requesting to replace the roof with dimensional asphalt shingles. Sanborn fire insurance maps indicate that the original roofing material was wood shingles. The porch roofs were replaced with a non-combustible material by 1927, but the wood shingles on the main roof remained in place until after 1947.

As retention of the asbestos shingles is not possible, an appropriate replacement material would be either one documented to have been used at this property or one that replicates the appearance of the existing diamond-patterned shingles. Asphalt shingles do not provide the appropriate visual character and would also eliminate the visual distinction that currently exists between the original portion of the structure and the 2003 addition. It is recommended that the request to replace the existing roof with dimensional asphalt shingles be denied because it does not meet the standards in City Code §72-23.1(D)2, specifically standard #6. The applicant should consider alternative replacement materials such as wood shingles matching the original material, or diamond-patterned shingles matching the dimensions and patterning of the asbestos roof. Metal shingles may be the most visually similar.

**APPROVAL CRITERIA**

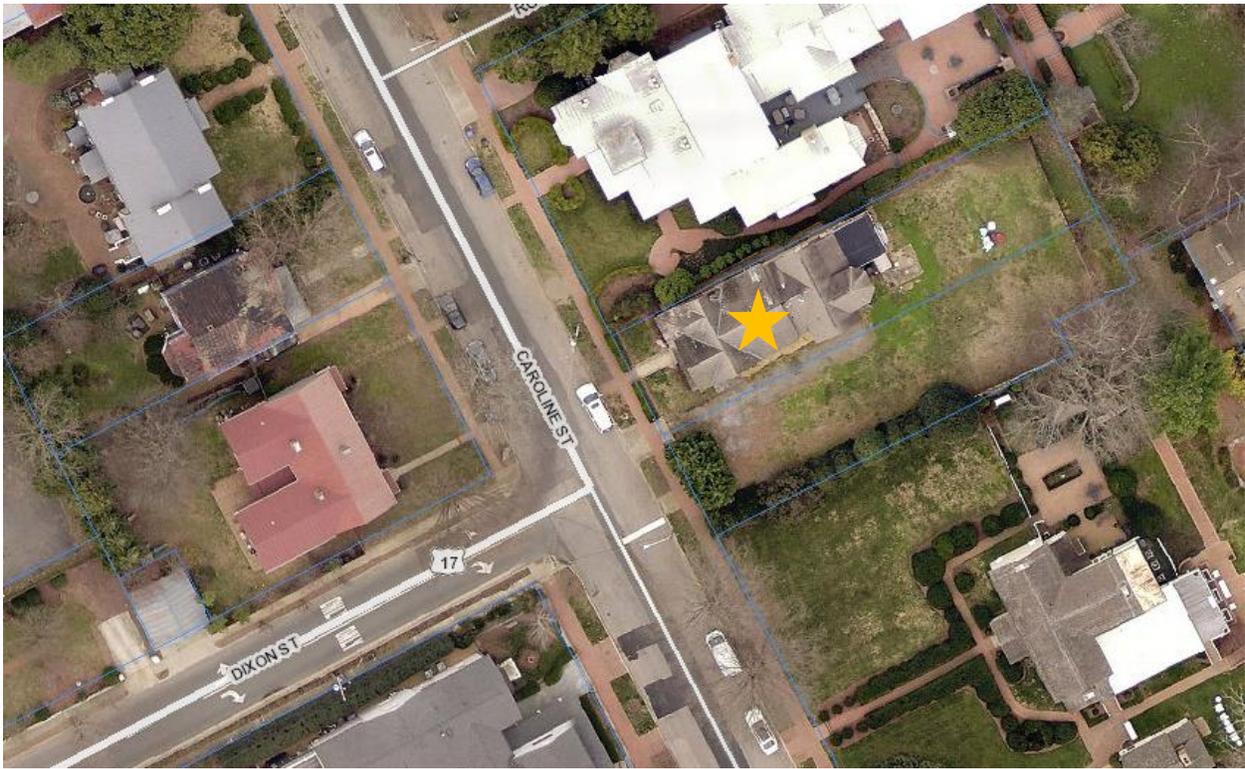
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation.

<b>S</b>	<b>D</b>	<b>NA</b>	<b>S – satisfies    D – does not satisfy    NA – not applicable</b>
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
	X (roof)		(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
	X (roof)		(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
	X (roof)		(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
X			(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.
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## Attachments:

1. Aerial photograph and front elevation view
2. Views from the public right-of-way
3. Sanborn Fire Insurance Maps, 1907 and 1947
4. Existing Conditions
5. Letter from Nash Roofing
6. Material specifications



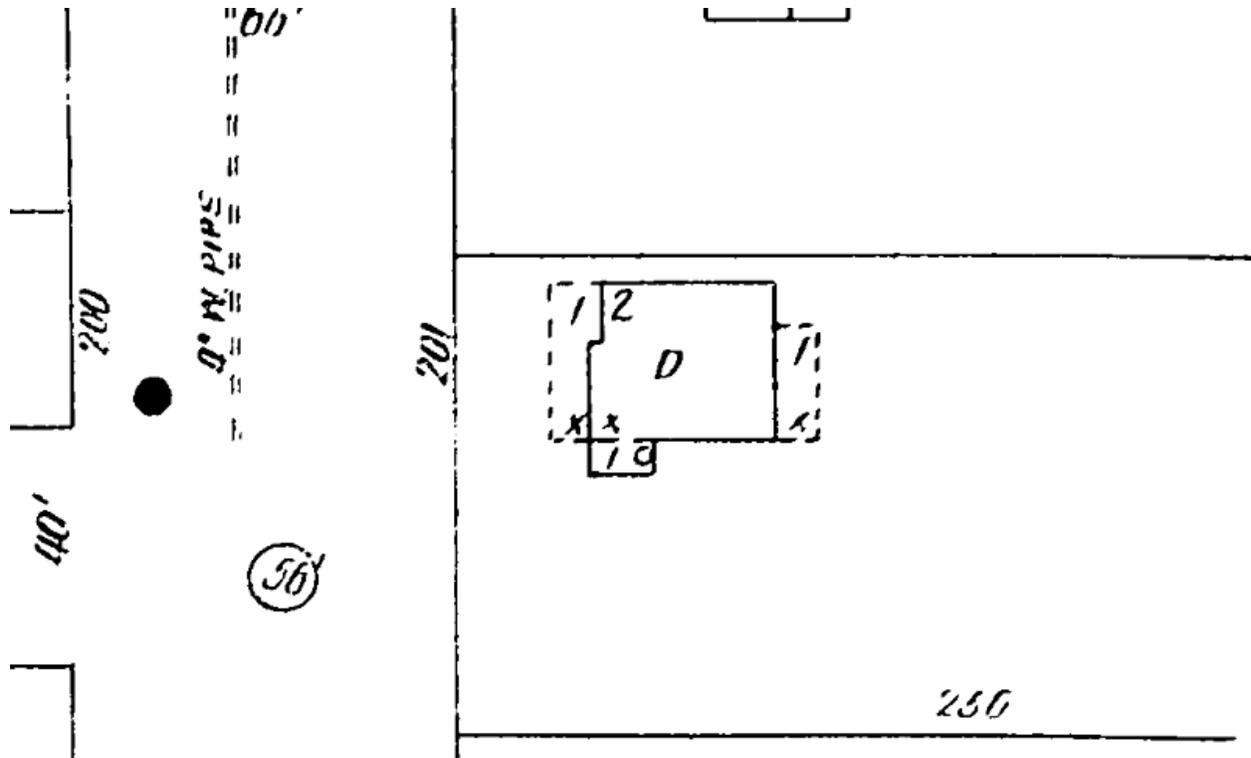
AERIAL



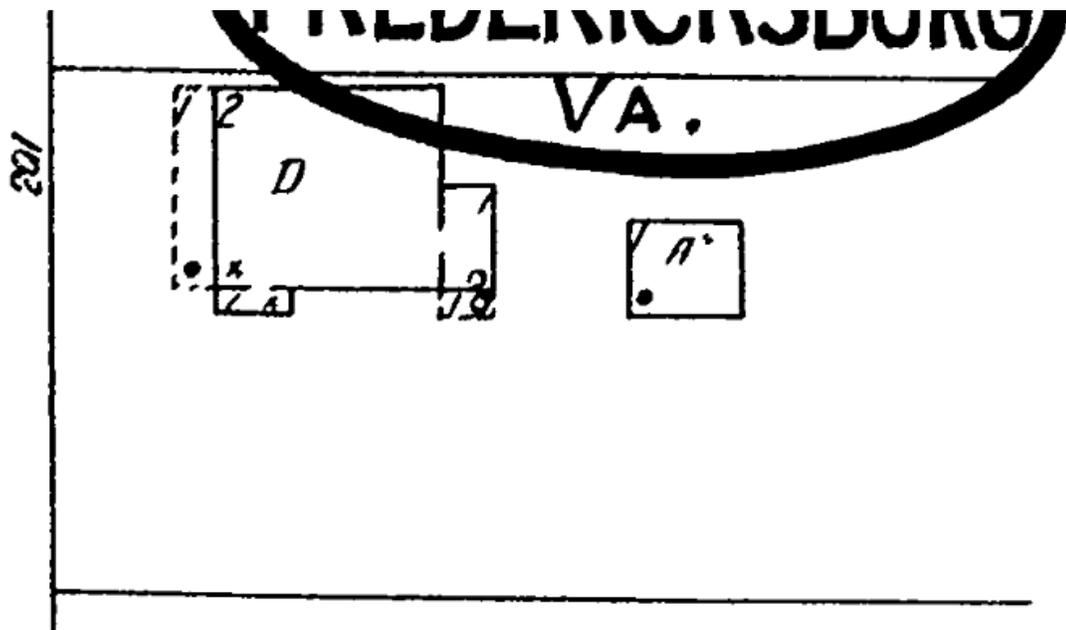
FRONT (WEST) ELEVATION



View looking southeast from Caroline Street



Sanborn Fire Insurance Map, 1907



Sanborn Fire Insurance Map, 1947

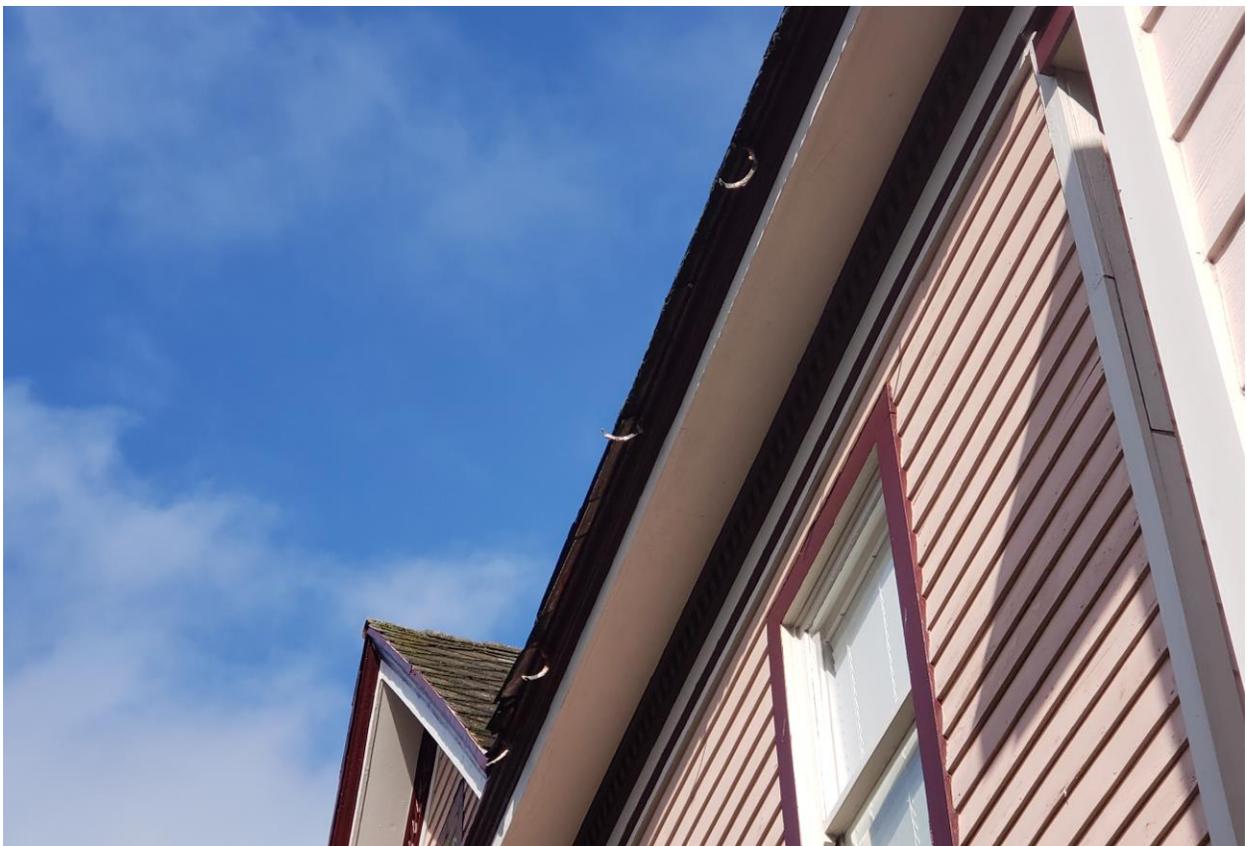


Existing Conditions





Gutter hangers still in place



Details of rafters





8/21/2020

Fredericksburg ABR

To whom it may concern,

An inspection of the current roof conditions and subsequent structural framing was performed and photos of the corresponding evidence were taken by Kristopher Nash, Co-owner of Nash Roofing, Inc. at the above listed address, the descriptions and opinions below are a result of that inspection.

The current roof system is a diamond shaped asbestos based concrete shingle which relies on a center nail in the top corner of the diamond with two supporting hangers on either adjacent corner to mechanically fasten the shingle to the 1" random plank subdeck. The framing for the roof is rough sawn true cut 2x6 rafters at 24" O.C. with no web bracing.

Under current building code the framing of the roof system does not support using heavy weight materials such as a concrete tile, slate tile, or clay tile. Furthermore, due to the unusual diamond profile of the current roof system, a light weight composite material such as synthetic slate will not replicate size, shape, or color.

We are proposing using a GAF Timberline American Harvest Dimensional shingle Color: Nantucket Morning, which while it does not provide a similar profile, does provide a similar dappling effect and coloring contrast achieved by the use of a proprietary granular patterning exclusively available to this particular line of shingle made by GAF.

During our inspection it was determined that at an earlier date the home had a built-in gutter system which was framed in and closed off at which time half round gutters were installed for drainage, that at a later date were removed, photo evidence shows a few of the remaining gutter hangers.

In an attempt to return the home to a more original state we would like to install half round gutters on the home.



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The Timberline® American Harvest® line has been enhanced for maximum appeal, adding greater dimensionality and beauty with higher contrast and on-trend colors.



TIMBERLINE® LIFETIME SHINGLES

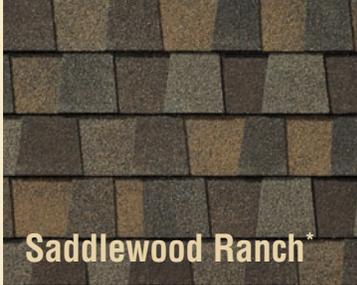


\*StainGuard® algae protection is available only on shingles sold in packages bearing the StainGuard® logo. Products with StainGuard® algae protection are covered by a 10-year limited warranty against blue-green algae discoloration. See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions.

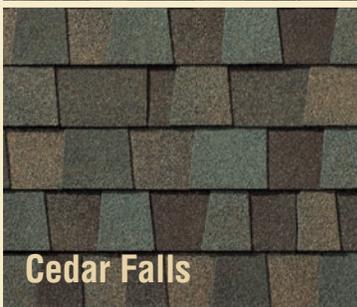
*Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.*



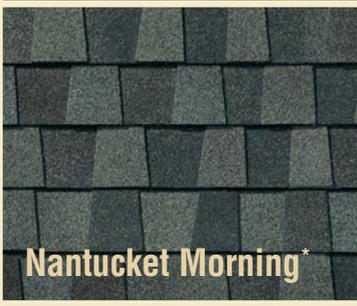
Color Shown:  
Golden Harvest



Saddlewood Ranch\*



Cedar Falls



Nantucket Morning\*



Appalachian Sky\*



Golden Harvest



Midnight Blush\*\*



Amber Wheat<sup>4,\*\*\*</sup>

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#1 — SELLING ROOF

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- **Great Value...** Architecturally stylish, but practically priced — with a Lifetime Ltd. warranty.<sup>1</sup>
- **Highest Roofing Fire Rating...** UL Class A, Listed to ANSI/UL 790.
- **High Performance...** Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit [gaf.com/aps](http://gaf.com/aps) to learn more).
- **Stays In Place...** Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph!<sup>2</sup>
- **Peace Of Mind...** Lifetime Ltd. transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years!<sup>1</sup>
- **Perfect Finishing Touch...** Use Timbertex® Premium Ridge Cap Shingles with StainGuard® algae protection or TimberCrest™ Premium SBS-Modified Ridge Cap Shingles.<sup>3</sup>

<sup>1</sup> See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence [or the second owner(s) in certain circumstances] owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

<sup>2</sup> This wind speed coverage requires special installation; see GAF Shingle & Accessory Ltd. Warranty for details.

<sup>3</sup> These products are not available in all areas. See [www.gaf.com/ridgecapavailability](http://www.gaf.com/ridgecapavailability) for details.

<sup>4</sup> Timberline® American Harvest® Amber Wheat is rated by the Cool Roof Rating Council (CRRCC).

\* Available only in the North, Central, Southeast, and Southwest Areas of the U.S.

\*\* Available only in the Northeast and Central Areas of the U.S.

\*\*\* Available only in the Southeast, Southwest, and West Areas of the U.S.

### Where They Fit Within The Lifetime Roofing System

#### 1. Lifetime Shingles

2. Leak Barrier
3. Starter Strip Shingles
4. Roof Deck Protection
5. Cobra® Attic Ventilation
6. Ridge Cap Shingles

