



**ARCHITECTURAL REVIEW BOARD
AGENDA
October 12, 2020
7:00 P.M.**

The Architectural Review Board will hold an in person and e-meeting pursuant to and in compliance with City Council Ord. 20-05. The public is encouraged to access the meeting, through the broadcast on Cox Channel 84 and Verizon Channel 42. The meeting can also be viewed on our www.regionalwebtv.com/fredcc or Facebook live at www.facebook.com/FXBGgov

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Agenda

1. Call To Order [In Person & Emeeting]

This meeting is being held both in person in Council Chambers and electronically by “Go to Meeting” application, pursuant to City Council Ord. 20-05, An Ordinance to Address Continuity of City Government during the Pendency of a Pandemic Disaster.

Members of the public have been invited to attend in person with social distancing practices and masks required or access this meeting by public access television Cox Channel 84, Verizon Channel 42, online at www.regionalwebtv.com/fredcc, or Facebook live at www.facebook.com/FXBGgov

The members participating are [list members by name]

2. Determination Of A Quorum

3. Determination That Public Notice Requirements Have Been Met

4. Approval Of Agenda

5. Review Of Minutes

5.I. August 10, 2020 Public Hearing Minutes

Documents:

[3 2020-08-10_ARBMINUTESDRAFT.PDF](#)

5.II. September 14, 2020 Draft Minutes

Documents:

[4 2020-09-14_ARBMINUTESDRAFT.PDF](#)

6. Disclosure Of Ex Parte Communication

7. Disclosure Of Conflicts Of Interest

8. Consent Agenda

8.I. COA 2020-49 - 1111 Princess Anne St

Documents:

[6 COA 2020-49_ADMINISTRATIVEREVIEW_1111 PRINCESS ANNE STREET_SIGNED.PDF](#)

8.II. COA 2020-51 - 1107 Princess Anne St

Documents:

[7 COA 2020-51_ADMINISTRATIVEREVIEW_1107 PRINCESS ANNE STREET-SIGNED.PDF](#)

8.III. COA 2020-52 - 1017 Sophia St

Documents:

[8 COA 2020-52_ADMINISTRATIVEREVIEW_1017 SOPHIA STREET-SIGNED.PDF](#)

8.IV. COA 2020-53 - 1004 Caroline St

Documents:

[9 COA 2020-53_ADMINISTRATIVEREVIEW_1004 CAROLINE STREET-SIGNED.PDF](#)

8.V. COA 2020-54 - 916 Sophia St

Documents:

[10 COA 2020-54_ADMINISTRATIVEREVIEW_916 SOPHIA STREET-SIGNED.PDF](#)

9. Public Hearing

9.I. COA 2020-27 - 1408 Sophia St / 1407 Caroline St

Documents:

[11 COA 2020-27_ARBMEMO_1408 SOPHIA STREET_10-12-2020.PDF](#)

9.II. COA 2020-48 - 806 Princess Anne St

Documents:

[12 COA 2020-48_ARBMEMO_806 PRINCESS ANNE STREET_10-12-2020.PDF](#)

9.III. COA 2020-50 - 101-103 William St

Documents:

[13 COA 2020-50_ARBMEMO_101-103 WILLIAM STREET_10-12-2020.PDF](#)

10. General Public Comment

Public comments may be submitted in one of the following ways: (1) dropping them in the Deposit Box at City Hall, (2) U.S. Mail, or (3) email to ksschwartz@fredericksburgva.gov. Comments received before 4:00 p.m. on the day of the meeting will be read into the record at the meeting. Comments must include your name and address, including zip code, be limited to 5 minutes or less (read aloud), and address a topic of ARB business. Public comments will not be accepted on video feeds during the meeting.

11. Other Business

12. Staff Update

13. Announcements And Reports

14. Adjournment



Minutes
Architectural Review Board
August 10, 2020
Electronic Meeting and Council Chambers, City Hall

Members Present

Carthon Davis III, Chair
Karen Irvin, Vice Chair (electronic)
Jonathan Gerlach (electronic)
Adriana Moss
Susan Pates (electronic)
Sabina Weitzman
James Whitman

Members Absent

Staff

Kate Schwartz

Chairman Davis called the Architectural Review Board meeting to order at 7:02 p.m.

OPENING REMARKS

Chairman Davis stated that the meeting was being held both in person and electronically through the “GoTo Meeting” application, pursuant to City Council Ordinance 20-05, An Ordinance to Address Continuity of City Government during the Pendency of a Pandemic Disaster. The members participating were Carthon Davis, Karen Irvin, Jon Gerlach, Adriana Moss, Susan Pates, Sabina Weitzman, and James Whitman. Members of the public have been invited to access this meeting by public access television Cox Channel 84, Verizon Channel 42, online at www.regionalwebtv.com, or on Facebook Live at www.facebook.com/FXBGgov.

Chairman Davis determined that a quorum of 7 members was present, and asked if public notice requirements had been met. Ms. Schwartz confirmed that they had.

APPROVAL OF AGENDA

Ms. Weitzman motioned to approve the agenda as written. Ms. Moss seconded. The motion carried 7-0.

APPROVAL OF MINUTES

Chairman Davis asked if there were any changes or additions to the minutes of the meeting dated July 13, 2020. Mr. Gerlach requested to clarify his reference on page 3 to the sections of the City Code regulating building heights. Mr. Whitman motioned to approve the amended minutes. Mr. Gerlach seconded. The motion carried 7-0.

DISCLOSURE OF EX PARTE COMMUNICATIONS

Chairman Davis asked if any Board member had engaged in any *ex parte* communication on any item before the Board. No Board members had any *ex parte* communication to report.

DISCLOSURE OF CONFLICTS OF INTEREST

Chairman Davis asked if any Board member had a conflict of interest for any item before the Board. No Board member had a conflict of interest to report.

CONSENT AGENDA

A. COA 2020-32 – 905 Caroline Street – Sign Installation

B. COA 2020-33 – 501 William Street – Awning/Sign Installation

C. COA 2020-36 – 1023 Caroline Street – Sign Installation

Ms. Weitzman requested to remove COA 2020-33 from the consent agenda. Ms. Weitzman made a motion to approve the remainder of the consent agenda as submitted. Ms. Irvin seconded. The motion carried 7-0.

PUBLIC HEARING

A. COA 2020-33 – 501 William Street – Awning/Sign Installation

Linda Osorio, the applicant, was present. She said she was willing to reduce the awning size to meet the requirements.

Ms. Weitzman and Ms. Irvin expressed concerns about the interaction between the awning and the existing overhang on the building. They said more information would be needed to determine if the awning would fit appropriately.

Ms. Osorio said she would return to the Board when she had a revised proposal.

Continued Applications

A. COA 2020-29 – 1317 Charles Street – Mario and LaVonne Alberti request to construct a detached, single-story garage structure in the rear yard of this single-family residence.

Pooja Gulati, the designer, was present electronically to represent the application. She noted that the design had been revised to reflect the conditions discussed.

Ms. Weitzman made a motion to approve the revised design as presented. Ms. Irvin seconded. The motion carried 7-0.

B. COA 2020-02 – 303 Fauquier Street – Krystopher Scott requests approval for the installation of signs and the construction of accessory structures, including a stage and a bar, in the rear yard of this commercial property.

The applicant was not present.

Mary Ellen Wheeler, 1201 Princess Anne Street, provided written comment requesting that the ARB deny the application.

Cherie Davis, 309 Fauquier Street, provided written comment in opposition to the application and noted that changes had been made to the entry door without approval as well.

Jeffrey Johnson, 211 Fauquier Street, provided written comment in opposition to the application.

Chairman Davis asked Ms. Schwartz to look into the alterations to the entry door and carry out any necessary enforcement.

Board members voted to approve the signs as recommended by staff and deny the retention of accessory structures in accordance with the staff recommendation. As the vote cannot be taken until

September 14 due to the required procedures for electronic meetings, Ms. Schwartz noted that the application would be continued.

- C. COA 2020-05 – 203 Ford Street – Ed Whelan requests to modify the certificate of appropriateness approved in July 2020 for alterations to the exterior of the Washington Woolen Mills building by shifting the location of the rooftop additions.

The applicant, Ed Whelan, was present. There were no public comments.

Mr. Davis clarified the requirements for masonry dumpster enclosures with staff. Ms. Weitzman noted that she would be comfortable delegating the final approval of the lighting fixtures and dumpster enclosure to staff. She asked that a color temperature in the warm white range be added to the conditions. Ms. Irvin agreed and thanked the applicant for the drawings.

The application will be included on the September 14 agenda for action.

- D. COA 2020-34 – 801 Sophia Street – Raymond Nelson, Jr., on behalf of Shiloh Baptist Church Old Site, requests approval to install protective glass coverings over ten stained glass windows on the front and side elevations of the church.

The applicant was not present. There were no public comments.

Ms. Irvin asked to confirm that the aluminum would have a painted finish. Ms. Schwartz said it would. The Board had no further questions. The application will be included on the September 14 agenda for action.

- E. COA 2020-35 – 100 Frederick Street – David Fraser requests to convert one window on the west side elevation of this residence to a solid wood door.

The applicant, David Fraser, was present. There were no public comments.

Mr. Fraser noted that the design would mimic a door inside the house. Ms. Weitzman noted that this was an attractive way to make the change at the property, in keeping with the appearance of the building. There were no additional comments or questions. The application will be included on the September 14 agenda for action.

- F. COA 2020-21 – 525 Caroline Street – Van Perroy requests to modify the certificate of appropriateness approved in July 2020 for the site planning, scale, and massing of new additions to be constructed at the side and rear of the Fredericksburg Square building. The modification would allow for the option to construct another three-story addition on the north side of the building.

The applicant, Van Perroy, was present. The architect, Lee Shadbolt, also attended electronically.

Ed Sandtner, 132 Caroline Street, provided written comment to say that the option of the three-story north side addition may be a necessary compromise, but that the project remains a massive structure. He asked the Board to do what it can to mitigate negative aspects.

Mr. Perroy discussed the alteration to the height of the rear addition that was the result of leveling the floors between the front and back. He noted that the rooftop balconies had also been modified based on ARB comments.

Ms. Pates said this was one of the most prominent buildings in town when it was built and no structures should be built to either side. She noted the example of the Chimneys building and the neighboring two-story structures that may be overwhelmed. She said no further extensions of mass and scale should be added.

Mr. Gerlach and the architect discussed several detailed questions about the height of the additions, how height reductions could be achieved, and what those altered heights would be. Mr. Gerlach said he was concerned that the height of the rear addition was above the midpoint of the original gable roof. Mr. Shadbolt reviewed the changes to the project and noted the extremely limited visibility of the rear addition from the street.

Ms. Irvin noted that the current version was not in compliance with the previous approval due to the height changes. She discussed several details of the floor heights with Mr. Shadbolt.

Ms. Weitzman said she was concerned about the complete obscuring of the gable ends and said the view from the train platform feels out of scale.

Mr. Davis said he was in support of the site planning, scale, and massing as submitted. While visible from the train platform, it is no more obtrusive than Executive Plaza.

Mr. Gerlach asked if the view from the top of the parking deck was within the Board's purview, and Ms. Schwartz noted that it was not.

The application will be included on the September 14 agenda for action.

- G. COA 2020-27 – 1408 Sophia Street/1407 Caroline Street – Paul Janney requests approval of the site planning, scale, and massing of a new two-and-one-half-story, single-family residence on this vacant property.

The applicant, Paul Janney, was present.

Ed Sandtner, 132 Caroline Street, provided written comment on behalf of HFFI. He said that the house was too large and out-of-scale with its neighbors and did not support the large front setback and driveway in front of the house. He also provided comment on several detailed elements.

Marcel Rotter, 115 Hawke Street, provided written comment to say that the house was too large and he did not support the application.

Ms. Irvin noted that the entrance was the only remaining historic feature and that the house design did not appear to have a strong relationship with the wall. She asked if the entrance could be centered on the gate. The Board and Mr. Janney discussed the location of the driveway and garage, the turn radii required, and whether alterations could be made to the layout or entrance.

Board members expressed their support for the site layout that preserved the historic entrance and gate and asked the applicant to identify methods to create a clear relationship between house and wall. The application will be included on the September 14 agenda for action.

GENERAL PUBLIC COMMENT

There was no public comment.

OTHER BUSINESS

A. Pre-Application Discussion: 201 Caroline Street

Board members discussed appropriate replacement materials for diamond-patterned asbestos shingles, including metal or composite materials. The Board noted that the pattern would be important to maintain as the material would need to change.

ADJOURNMENT

Chairman Davis adjourned the meeting at 9:06 p.m.

Carthon Davis III, Chair

DRAFT



Minutes
Architectural Review Board
August 10, 2020
Electronic Meeting and Council Chambers, City Hall

Members Present

Carthon Davis III, Chair
Karen Irvin, Vice Chair (electronic)
Adriana Moss
Susan Pates (electronic)
Sabina Weitzman
James Whitman

Members Absent

Jonathan Gerlach

Staff

Kate Schwartz

Chairman Davis called the Architectural Review Board meeting to order at 7:00 p.m.

OPENING REMARKS

Chairman Davis stated that the meeting was being held both in person and electronically through the “GoTo Meeting” application, pursuant to City Council Ordinance 20-05, An Ordinance to Address Continuity of City Government during the Pendency of a Pandemic Disaster. The members participating were Carthon Davis, Karen Irvin, Adriana Moss, Susan Pates, Sabina Weitzman, and James Whitman. Members of the public have been invited to access this meeting by public access television Cox Channel 84, Verizon Channel 42, online at www.regionalwebtv.com, or on Facebook Live at www.facebook.com/FXBGgov.

Chairman Davis determined that a quorum of 6 members was present, and asked if public notice requirements had been met. Ms. Schwartz confirmed that they had.

APPROVAL OF AGENDA

Mr. Whitman motioned to approve the agenda as written. Ms. Moss seconded. The motion carried 6-0.

DISCLOSURE OF EX PARTE COMMUNICATIONS

Chairman Davis asked if any Board member had engaged in any *ex parte* communication on any item before the Board. No Board members had any *ex parte* communication to report.

DISCLOSURE OF CONFLICTS OF INTEREST

Chairman Davis asked if any Board member had a conflict of interest for any item before the Board. No Board member had a conflict of interest to report.

CONSENT AGENDA

- A. COA 2020-37 – 600 Caroline Street – Sign Installation
- B. COA 2020-39 – 411 Lafayette Boulevard – Sign Installation
- C. COA 2020-43 – 207 Princess Elizabeth Street – Fence Installation and Minor Alterations
- D. COA 2020-44 – 110 Caroline Street – Shutter Installation
- E. COA 2020-47 – 909 Sophia Street – Handrail Installation

Ms. Moss made a motion to approve the consent agenda as submitted. Mr. Whitman seconded. The motion carried 6-0.

PUBLIC HEARING

Continued Applications

- A. COA 2020-02 – 303 Fauquier Street – Krystopher Scott requests approval for the installation of signs and the construction of accessory structures, including a stage and a bar, in the rear yard of this commercial property.

The applicant was not present. No additional public comments were received.

Ms. Weitzman made a motion to approve the signs on condition that the banner sign is removed, as recommended by staff. Ms. Irvin seconded. The motion carried 6-0.

Ms. Moss made a motion to deny the retention of accessory structures because they do not meet the standards of the City Code, as recommended by staff, citing standard 9. Ms. Weitzman seconded. The motion carried 6-0.

- B. COA 2020-05 – 203 Ford Street – Ed Whelan requests to modify the certificate of appropriateness approved in July 2020 for alterations to the exterior of the Washington Woolen Mills building by shifting the location of the rooftop additions.

The applicant, Ed Whelan, was present. No additional public comments were received.

Ms. Weitzman made a motion to approve the request in accordance with the staff recommendation, requiring verification of the lighting and dumpster enclosure details with staff. Ms. Moss seconded. The motion carried 6-0.

- C. COA 2020-34 – 801 Sophia Street – Raymond Nelson, Jr., on behalf of Shiloh Baptist Church Old Site, requests approval to install protective glass coverings over ten stained glass windows on the front and side elevations of the church.

The applicant was not present. No additional public comments were received.

Mr. Whitman motioned to approve the application in accordance with the staff recommendation, that the coverings not extend beyond the wall face and any divisions in the glass would match the window beneath. Ms. Moss seconded. The motion carried 6-0.

- D. COA 2020-35 – 100 Frederick Street – David Fraser requests to convert one window on the west side elevation of this residence to a solid wood door.

The applicant, David Fraser, was present. No additional public comments were received.

Ms. Weitzman motioned to approve the application as submitted, but with the staff recommendation to retain any removed brick and the window on site. Ms. Irvin seconded. The motion carried 6-0.

- E. COA 2020-21 – 525 Caroline Street – Van Perroy requests to modify the certificate of appropriateness approved in July 2020 for the site planning, scale, and massing of new additions to

be constructed at the side and rear of the Fredericksburg Square building. The modification would allow for the option to construct another three-story addition on the north side of the building.

One of the project partners, Steve DeFalco, was present to represent the application. Van Perroy and the architect, Lee Shadbolt, also attended electronically. No additional public comments were received.

Ms. Irvin said she was in agreement with the staff recommendation to require either the north side addition or a reduction in the rear addition height.

Ms. Moss confirmed with the architect that the existing dormers would be protected during construction of the rooftop balconies.

Ms. Pates said her opposition to the project was unchanged. Ms. Weitzman said she had reservations about the project because of the impact to the original building. She said the design was sympathetic to the building, but that the scale and mass was too big and she could not support it.

Mr. Whitman and Chairman Davis said they agreed with the staff recommendations. Mr. Davis additionally noted that the project achieved important goals for the City, including filling in gaps in the streetscape.

Mr. Whitman motioned to approve the application in accordance with the staff recommendation, which requires construction of the north addition and requires that rooftop balconies to only be located behind the solid parapet wall. Ms. Irvin seconded. The motion carried 4-2 with Ms. Pates and Ms. Weitzman against.

- F. COA 2020-27 – 1408 Sophia Street/1407 Caroline Street – Paul Janney requests approval of the site planning, scale, and massing of a new two-and-one-half-story, single-family residence on this vacant property.

The applicant, Paul Janney, was present.

Ed Sandtner, 132 Caroline Street, provided written comment on behalf of HFFI in support of the revised drawings for the façade. He recommended option D.

Ms. Irvin said she appreciated the changes to create greater visual weight at the center of the façade to align with the gate. Ms. Moss agreed and said she supported the changes to the gables.

Ms. Pates said she was undecided and was concerned about the size in comparison to the neighbors.

Ms. Weitzman asked for clarification on several of the modified details. Mr. Whitman and Chairman Davis said they were in support of the application. Chairman Davis recommended the new façade option C in order to create symmetry. Ms. Weitzman agreed and said using the board and batten on the gable end was most appropriate.

Mr. Whitman motioned to approve the site planning, scale, and massing of the new residence as submitted. Ms. Weitzman seconded. She added that while the overall size was larger than some

neighboring houses, it is compatible given the specific circumstances of the site. The motion carried 6-0.

- G. COA 2020-38 – 107 Amelia Street – Community Property Group, LLC requests to replace the existing Masonite siding at this commercial building with new composite siding.

The applicant was not present.

Ed Sandtner, 132 Caroline, speaking on behalf of HFFI, provided written comment to say that they agreed with the staff recommendation.

Ms. Pates and Ms. Weitzman said they appreciate the investigative approach to evaluate the original siding before making a decision on replacement. Chairman Davis and Ms. Weitzman discussed the proposed replacement material, LP Smartside. Ms. Weitzman said it was a good siding product, thicker than fiber cement, but that it was important to avoid the stamped wood grain finish.

The application will be included on the September 28 agenda for action.

- H. COA 2020-40 – 201 Caroline Street – Karen Hyland requests to replace the existing diamond-patterned asbestos shingle roof on the original portion of this residence with dimensional asphalt shingles and install half-round gutters at the eaves.

The applicant was not present.

Ed Sandtner, 132 Caroline Street, on behalf of HFFI, provided written comment to say that the diamond pattern of the roof should be maintained.

Ms. Irvin and Ms. Moss said they agreed with the staff recommendation in general and that the applicant should further investigate lightweight composite products in an appropriate pattern. Ms. Pates agreed and said the diamond pattern is important to the character of the residence.

Ms. Weitzman said she was sympathetic to the homeowner's challenge. She said going back to the original wood shingles would be a good solution, or finding a new material in the diamond pattern. Using standard asphalt shingles is not appropriate. Mr. Whitman and Mr. Davis agreed. Board members indicated that they could not support the application as submitted.

The application will be included on the September 28 agenda for action.

- I. COA 2020-41 – 203 Princess Elizabeth Street – Lesa and Mike Carter request to construct a one-story detached garage on the west side of this single-family residence.

Architect Melissa Colombo was present to represent the application.

Ed Sandtner, 132 Caroline Street, on behalf of HFFI, provided written comment in support of the application.

Ms. Weitzman said the impacts from this structure were mostly related to the curb cut and driveway materials. She recommended keeping the curb cut minimal and using an alternative driveway material to concrete. Ms. Colombo confirmed that the curb cut was already present and the paving would be minimized.

The application will be included on the September 28 agenda for action.

- J. COA 2020-42 – 905-909 Caroline Street – Thomas Mitchell requests to make alterations to this commercial building, the former Pitts’ Colonial Theater, including replacing the existing marquee with a new metal-framed marquee and enclosing the recessed entry with glass doors.

Architect Melissa Colombo was present to represent the application. She said she discussed the staff recommendation to use frameless doors with the owner and they understand the reasoning.

Ed Sandtner, 132 Caroline Street, on behalf of HFFI, provided written comment to ask if any of the existing structure of the marquee could be incorporated into the new structure.

Ms. Colombo said that if any original elements are discovered, they will attempt to retain them.

Ms. Irvin confirmed that the metal trusses would be painted and discussed the jamb configuration. Ms. Moss confirmed that the sign on the end of the marquee would be fixed, not swinging. Ms. Moss asked where the decorative gates would be in relation to the doors. Ms. Colombo noted that they weren’t attached to the ground and would move to the interior of the lobby.

Ms. Pates and Ms. Weitzman also agreed with the recommendation to use frameless doors. Ms. Weitzman recommended that the ends of the marquee be solid and enclosed.

The application will be included on the September 28 agenda for action.

- K. COA 2020-45 – 1111 Prince Edward Street – Jessica and Chuck Beringer request to make alterations to the existing detached garage at this residential property, including removing one door, creating an opening in the west elevation, and constructing a chimney.

The architect, Charles Aquino, was present electronically.

Ed Sandtner, 132 Caroline Street, on behalf of HFFI, provided written comment in support of the application.

Mr. Aquino said the fencing would match the existing on site and would follow the height limitations in the code.

Ms. Irvin asked what material and finish would be used for the trellis and brackets. Mr. Aquino said it would be painted wood or metal. Some discussion followed about the visibility of the east elevation. Ms. Schwartz said she would follow up with additional information. Ms. Moss noted that vines could be detrimental to a building and to be cautious applying them to the building. She said the trellis on the façade could obscure the stone lintels.

Ms. Weitzman spoke in support of converting an automotive structure into a structure for people and said it was a creative solution.

Mr. Aquino said the trellis would be attached through the mortar and into the new interior wood structure. Chairman Davis and Mr. Whitman spoke in support of the plan. Chairman Davis asked Ms. Schwartz to follow up with fencing and trellis details as well as determining the visibility of the east elevation.

- L. COA 2020-46 – 100 Hanover Street – Thomas Mitchell requests approval of the site planning, scale, and massing of a new, mixed-use, three-and-one-half-story building on this vacant property.

Angelo Phillos and Burt Pinnock of Baskervill Architects were present electronically.

Ed Sandtner, 132 Caroline Street, on behalf of HFFI, provided written comment in support of the application and recommended changes to some of the detailed elements.

Ms. Irvin asked the applicants to provide a rear elevation. Board members discussed a number of recommendations to modify detailed elements, including modifying or reducing the number of dormers, creating a clear hierarchy of windows between floors, and closely evaluating the appearance of proposed siding materials.

Ms. Pates was concerned about the overall size.

Ms. Weitzman noted that the historic precedent photos provided clear guidance and that the simple materials and exposed framing of the balconies had clear precedent. Chairman Davis said the overall site planning, scale, and massing was appropriate.

The architects said they would work on revisions to address the comments discussed. The application will be included on the September 28 agenda for action.

GENERAL PUBLIC COMMENT

There was no public comment.

STAFF UPDATE

Ms. Schwartz noted that a discussion of conservation districts would be on the September 28 agenda in addition to the action items carried over from tonight.

ADJOURNMENT

Chairman Davis adjourned the meeting at 9:01 p.m.

Carthon Davis III, Chair



**City of Fredericksburg Architectural Review Board
Record of Administrative Review**

Prepared By: Kate Schwartz, Historic Resources Planner

DATE OF APPLICATION: September 18, 2020 GPIN #: 7789-05-9911 FEE PAID

ADDRESS OF PROJECT: 1111 Princess Anne Street

APPLICANT NAME: Nathan Hegna / Hegna Construction LLC

Property Owner Business Owner Architect/Contractor Other _____

PROJECT TYPE:

Sign(s) Fence/Wall Minor Exterior Alteration Light Fixtures

Temporary Emergency Stabilization

Correction ordered by the Building Code Official

PROJECT DESCRIPTION:

Complete supporting documentation received? YES NO

The applicant proposes to install two gas lights and construct a wall on the south side of the property. One copper lantern-style gas fixture, 16 inches in height, will be installed on the north side elevation adjacent to Lewis Street. An existing conduit and patched area is located on this side of the building. The existing connection will be used for the new light and the additional conduit will be removed. The existing lantern-style fixture above the front entry door will be replaced with a new copper gas fixture which is 23 inches in height. Both fixtures are compatible with the character of the site and will not have any adverse impacts.

Construction of a brick wall is proposed along the south side property line with a gate crossing the driveway. The gate will be constructed of six-foot tall square brick piers and brick caps with an arched, black-painted aluminum gate crossing the opening. The gate will cross the driveway on the south side of the house adjacent to the rear block of the house. The wall is proposed to be five feet in height constructed of brick piers with sections of brick topped by wrought iron spanning the piers. A second option for the design, four feet in height and also constructed of piers with brick sections between, has been proposed. Either wall design is appropriate for use and the final design will be selected in coordination with the neighboring property owners at 1107 Princess Anne.

RECOMMENDED ARB ACTION:

Approval of the certificate of appropriateness for the request as submitted, including the option to use either proposed design for the wall on the south side property line.

ARB Meeting Date: October 12, 2020

Kate Schwartz
Zoning Administrator

October 7, 2020
Date

PROPERTY INFORMATION:Construction Date: 1820 Architectural Style: FederalCharacter-Defining Features: Flemish bond brick construction; slate-clad side-gabled roof; modillions lining the eaves; transom with tracery; 9/9 double-hung sash with stone sills and brick lintelsContributing to National Register Historic District? YesPrevious Alterations/ARB Approvals: Fencing in 2018 and 2019; alterations to the Lewis Street elevation in 2018

Additional Notes: _____

APPROVAL CRITERIA

Criteria for evaluating proposed changes are found in City Code § 72-23.1(B)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation. The subject application does or does not meet the criteria as follows:

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
✓			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
✓			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
✓			(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development or that have no historical basis shall be discouraged.
		✓	(4) Most properties change over time; those changes that have acquired historic significance in their own right should be retained and preserved. Restoration of original features may be permitted when substantiated by documentary, physical, or pictorial evidence.
✓			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		✓	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Where severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.

		✓	(7) The surface cleaning of structures shall be undertaken using the gentlest means possible. Sandblasting and other chemical or physical cleaning methods that cause damage to historic building materials shall not be undertaken.
		✓	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
✓			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
✓			(10) New additions, alterations, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Applicable Guidelines from the Historic District Handbook:

Site Planning - Fences and Walls (pg. 71)
Construction Guidelines

1. Fence and wall materials and design should relate to those found in the neighborhood.

Signs (pg. 118)

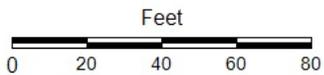
6. Lighting should be understated and in keeping with the character of the building and the Historic District.

SUPPORTING DOCUMENTATION INCLUDED:

- Photographs of existing conditions
- Context photographs
- General site plan and/or site survey
- Product/material specifications for proposed replacement/repair
- Elevation drawings
- Architectural or design detail drawings
- Other

Legend

-  City Boundary
-  WVS_Centerlines Back (12,000)
-  Interstate
-  US Highway
-  VA Primary
-  Others
-  WVS_Centerlines Back (12,000)
-  Interstate
-  US Highway
-  VA Primary
-  Others
-  Parcels
-  Traffic Analysis Zones
-  VDHR National Register Historic District
-  Fredericksburg Historic District
-  Washington Avenue Historic District
-  Technology Zone
-  Stops
-  Route

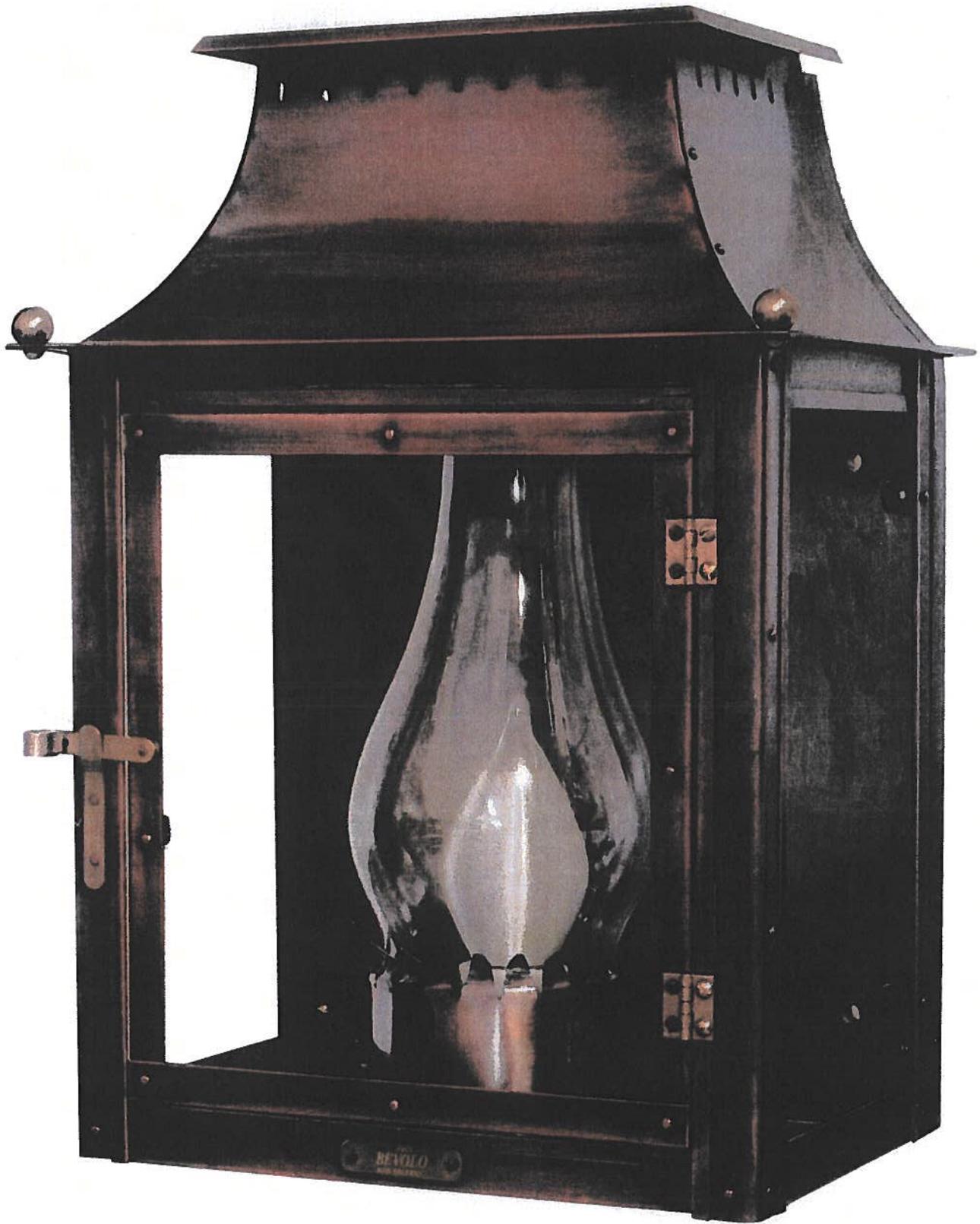


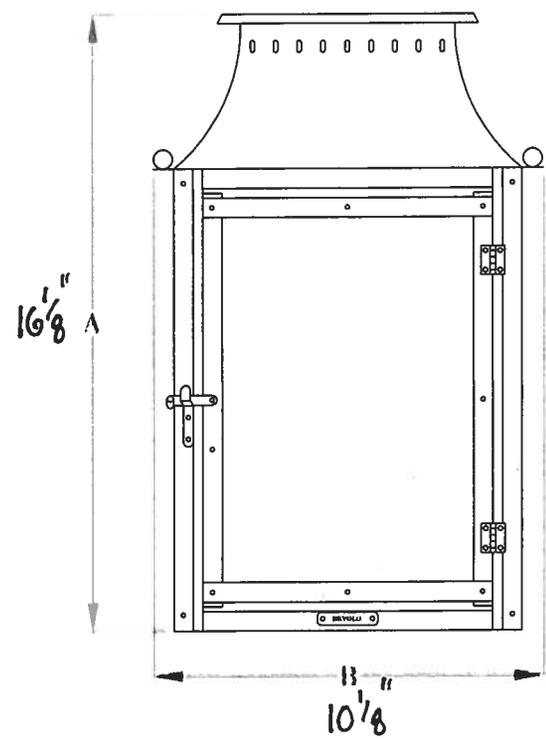
Title: 1111 Princess Anne Street

Date: 10/6/2020

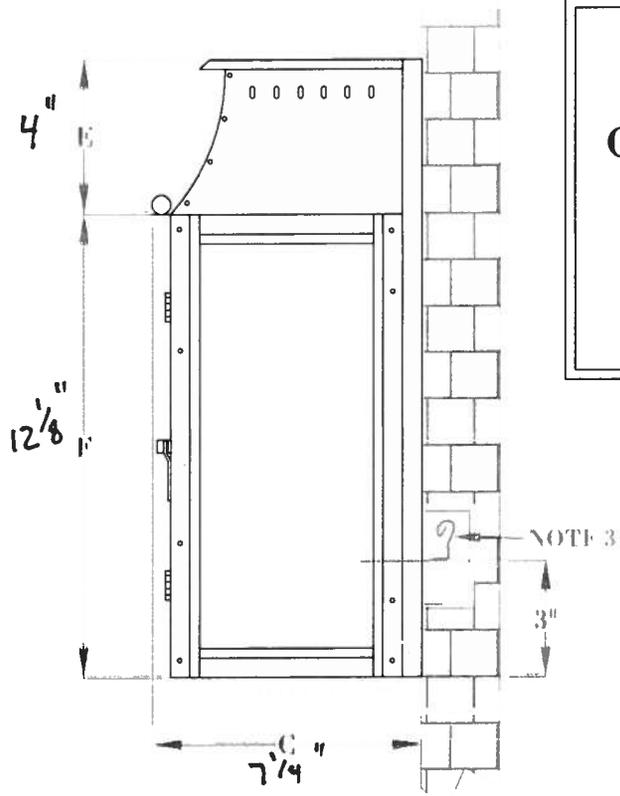
DISCLAIMER: All information depicted on this map shall be treated as confidential information and shall only be used for the sole purpose for which it was provided. Any other use of this map, or the information included thereon, is strictly prohibited. The data shown on this map is for information purposes only and shall not be relied upon for the specific location of map features. The City of Fredericksburg makes no representation or warranty as to the accuracy of the map, or the information shown thereon. This map may not be copied or otherwise made available to any other party in paper or electronic format without written consent from the City of Fredericksburg.

Copper Gas Light
"A"
for Location A





FRONT VIEW
(NTS)



SIDE VIEW
(NTS)

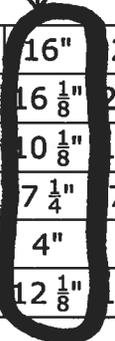
**FLUSH MOUNTED
GAS FIXTURES
CANNOT BE MOUNTED TO
ANY COMBUSTIBLE
MATERIALS INCLUDING
WOOD, VINYL, PVC
OR COMPOSITES**

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS 1/4"
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH 3/16" COPPER GAS LINE AND 3/16" x 1/4" GAS LINE ADAPTOR

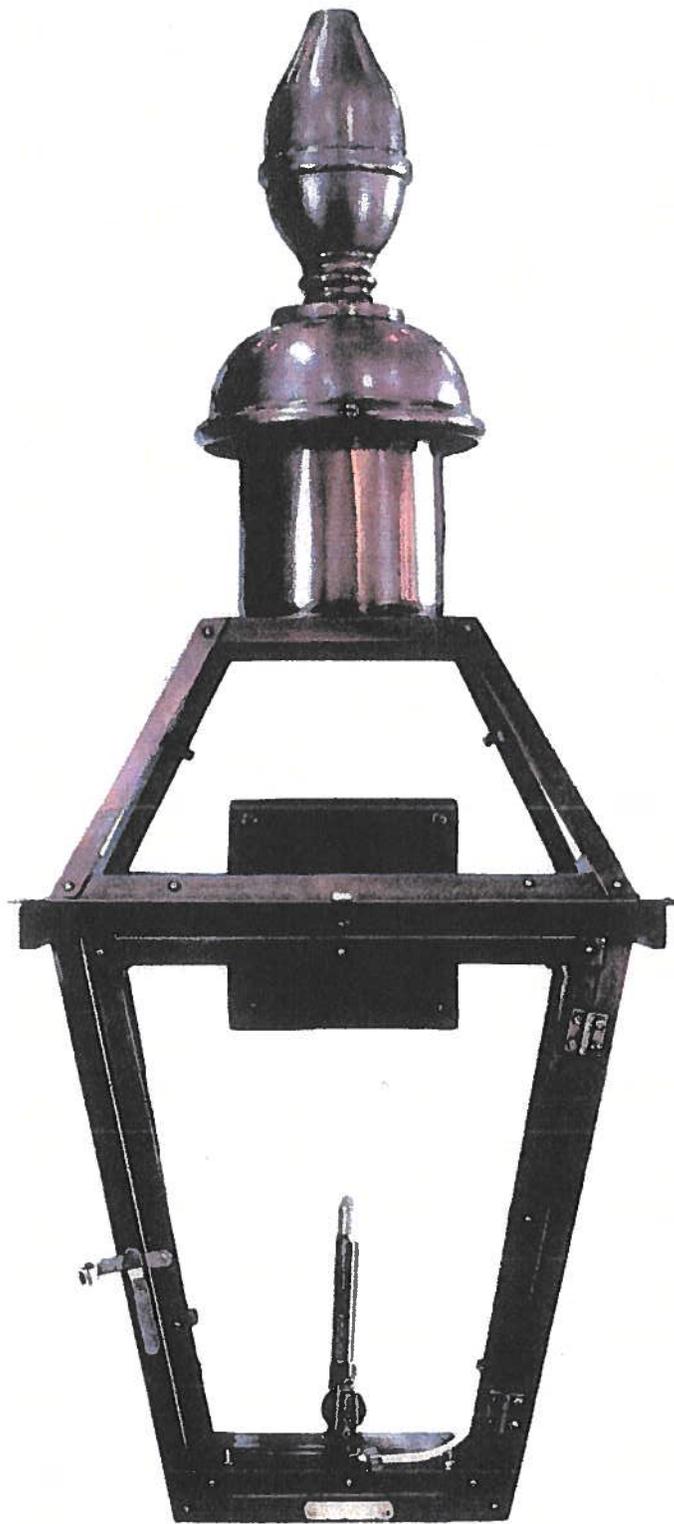
Light to be used
↓

SIZE:	14"	16"	22"
A:	14 1/8"	16 1/8"	22 1/8"
B:	10 1/8"	10 1/8"	10 1/8"
C:	7 1/4"	7 1/4"	7 1/4"
E:	4"	4"	4"
F:	10 1/8"	12 1/8"	18 1/8"

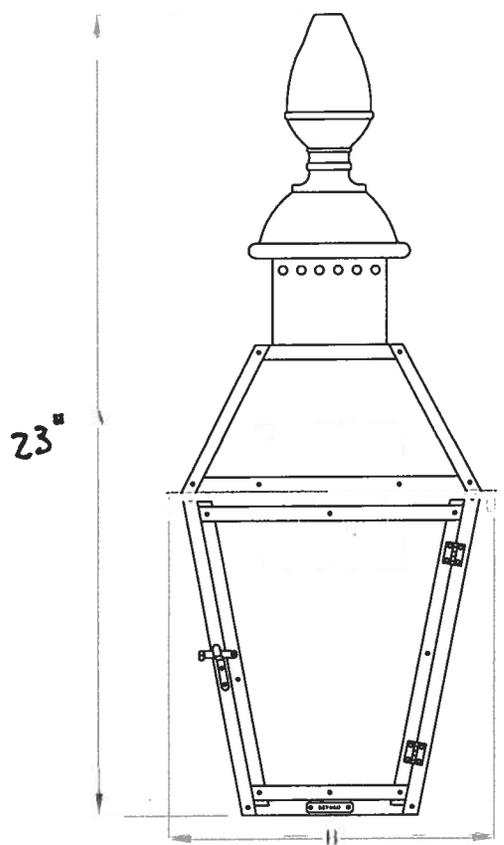


BEVOLO GAS & ELECTRIC LIGHTS			DRW BY:	JJG	COPYRIGHT 2019, BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS & DESIGNS ARE OWNED BY BEVOLO AND REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS AND DESIGNS SHALL NOT BE DUPLICATED IN WHOLE OR PART.	
LIGHT:	WILLIAMSBURG 14", 16", 22"		DATE:	APP. BY:		JJG
BRACKET:	FLUSH MOUNT		9-10-19	REVISION:		3

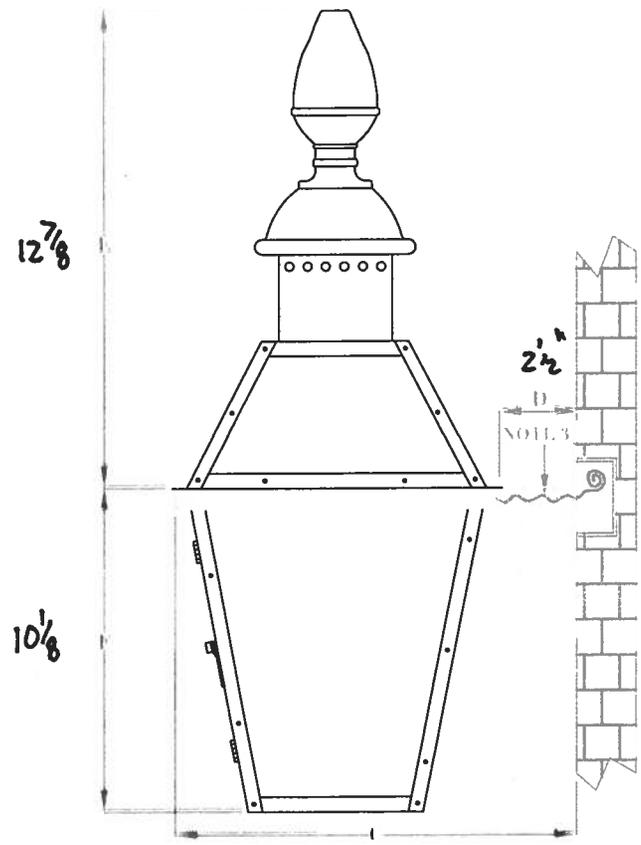
Copper Gas Light
for Location "B"



Location: Copper Gas Light



FRONT VIEW
(NTS)
10 1/2"



SIDE VIEW
(NTS)
13"

7" x 3"
BACK PLATE

TOP VIEW
(NTS-BRACKET ONLY)

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS 1/4"
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH 3/16" COPPER GAS LINE AND 3/16" x 1/4" GAS LINE ADAPTOR

SIZE:	25" 18" FQ	29" 21" FQ	32" 24" FQ
A:	23"	26 7/8"	31 1/8"
B:	10 1/2"	11 1/2"	13 1/4"
C:	13"	14"	15 3/4"
D:	2 1/2"	2 1/2"	2 1/2"
E:	12 7/8"	15 3/4"	18 1/4"
F:	10 1/8"	11 1/8"	12 7/8"

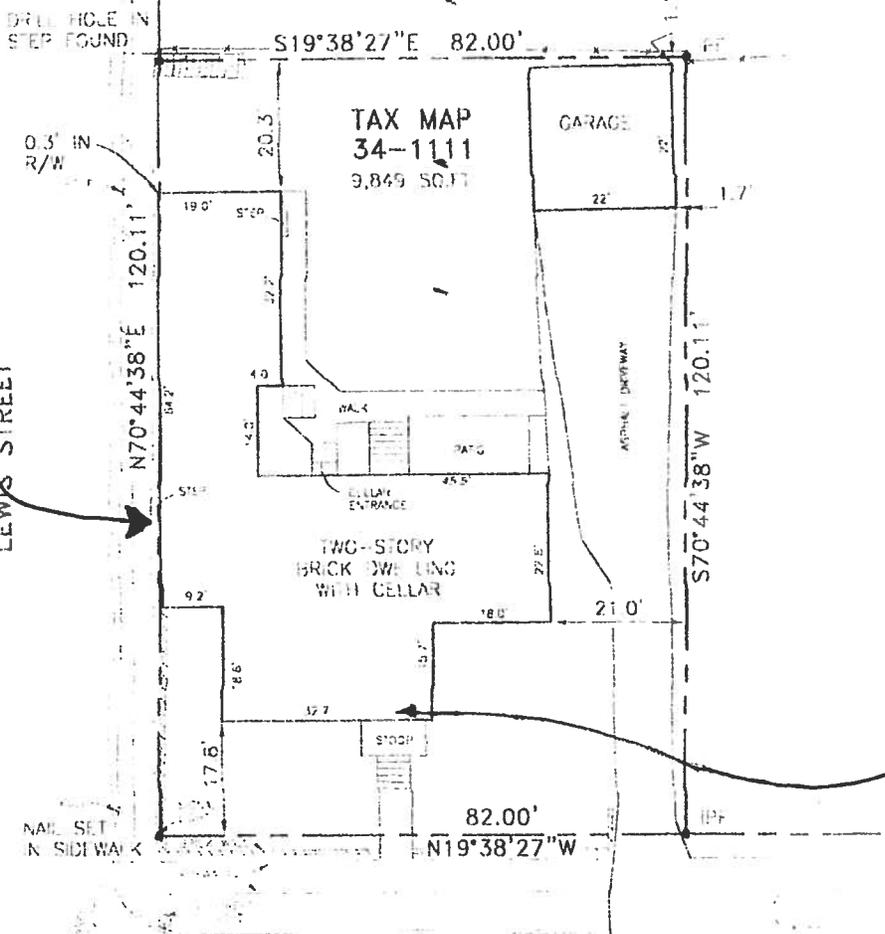
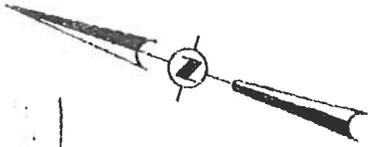
BEVOLO GAS & ELECTRIC LIGHTS

LIGHT:	FRENCH QUARTER - w/ LONDON TOP	DATE:	APP. BY:	MAJ
BRACKET:	ORIGINAL BRACKET MOUNT	9-17-2010	REVISION:	3

COPYRIGHT 2009, BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS & DESIGNS ARE OWNED BY BEVOLO AND REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS AND DESIGNS SHALL NOT BE DUPLICATED IN WHOLE OR PART.

ADDRESS
1111 PRINCESS ANNE STREET
FREDERICKSBURG, VIRGINIA 22401

N/E
WAJCIECHOWSKI
DB 2009 PC 2497
M 34-1107



Proposed Light "A"

Proposed Light "B"

- NOTES
1. NO TITLE REPORT FURNISHED TO THIS SURVEYOR.
 2. SUBJECT TO ALL EASEMENTS AND/OR RESTRICTION OF RECORD OR OTHERWISE.
 3. AS PER FIRM COMMUNITY PANEL No. 5100650037C, DATED 19 SEPTEMBER 2007, THIS PROPERTY IS LOCATED IN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.



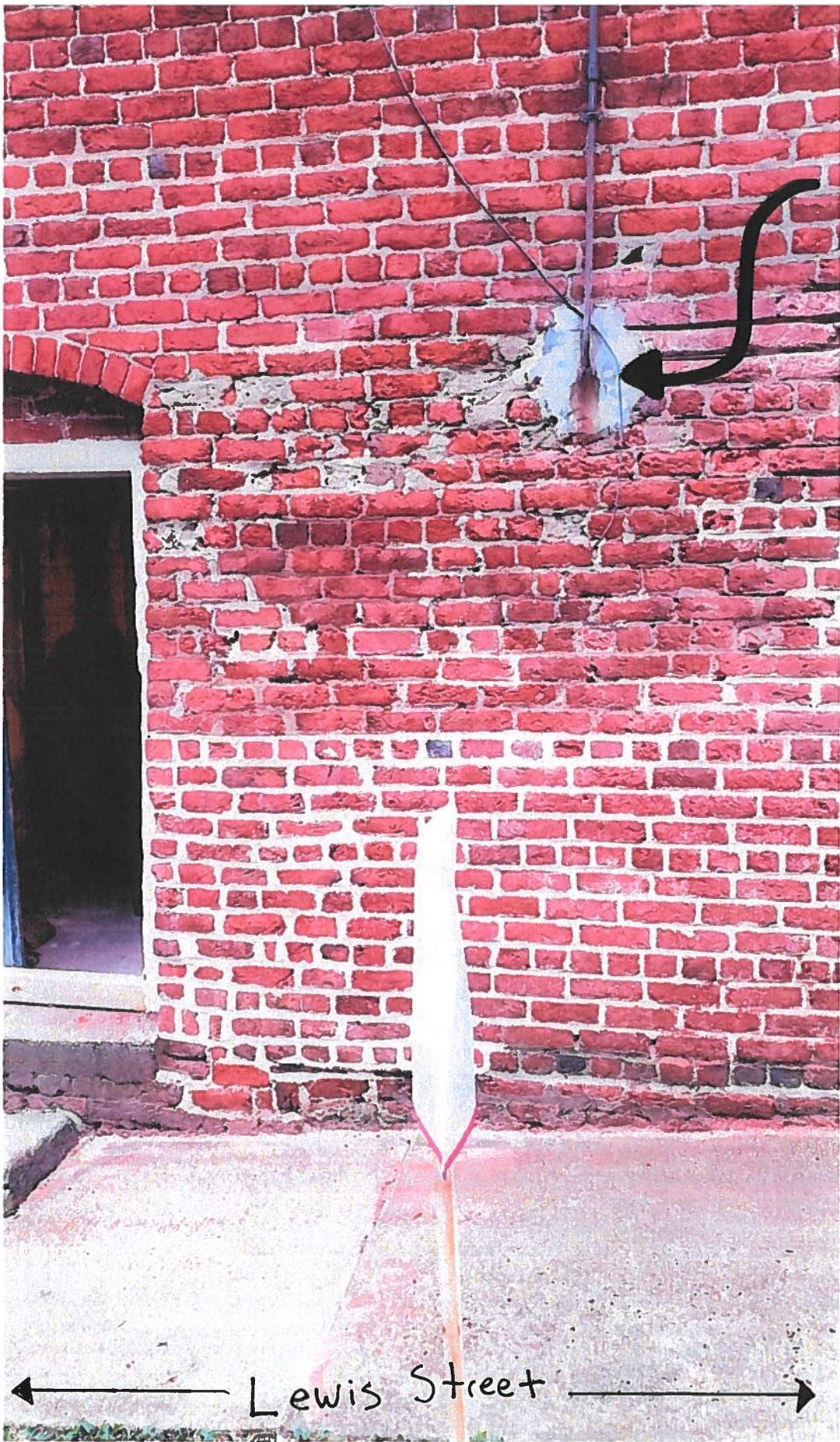
HOUSE LOCATION SURVEY
CITY OF FREDERICKSBURG, VIRGINIA
1111 PRINCESS ANNE STREET
PROPERTY OF THE
BURIAN'S ESTATE
SURVEYED BY: FARMER SURVEYS, INC.
FREDERICKSBURG, VIRGINIA

17 032

DATE: 31 MAY 2017 SCALE: 1"=20'



COPYRIGHT 2017



LOCATION A

Existing Condu
to be remove
and used for
proposed light

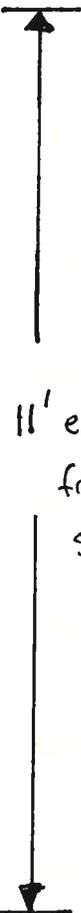
90"
elevation
from
Sidewal

← Lewis Street →



Location B

Existing Light to be removed for proposed light



11' elevation from stoop

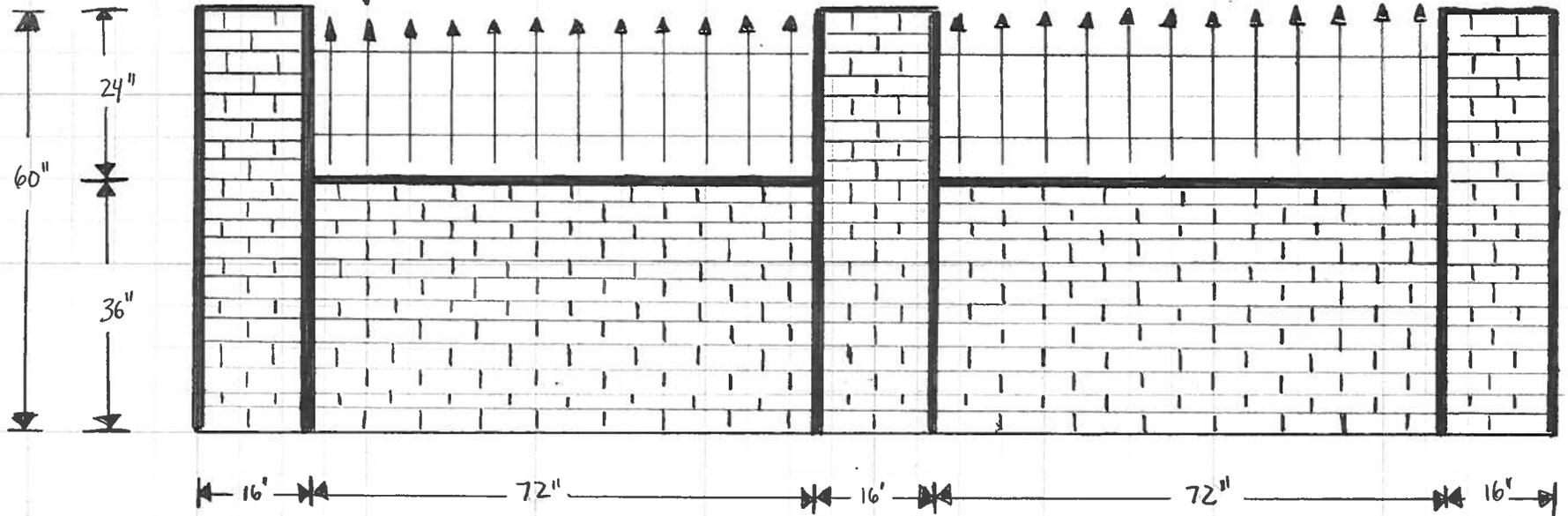
← Princess Anne Street →

1111 Princess Anne
Zijerdi residence

Wall Design Option A

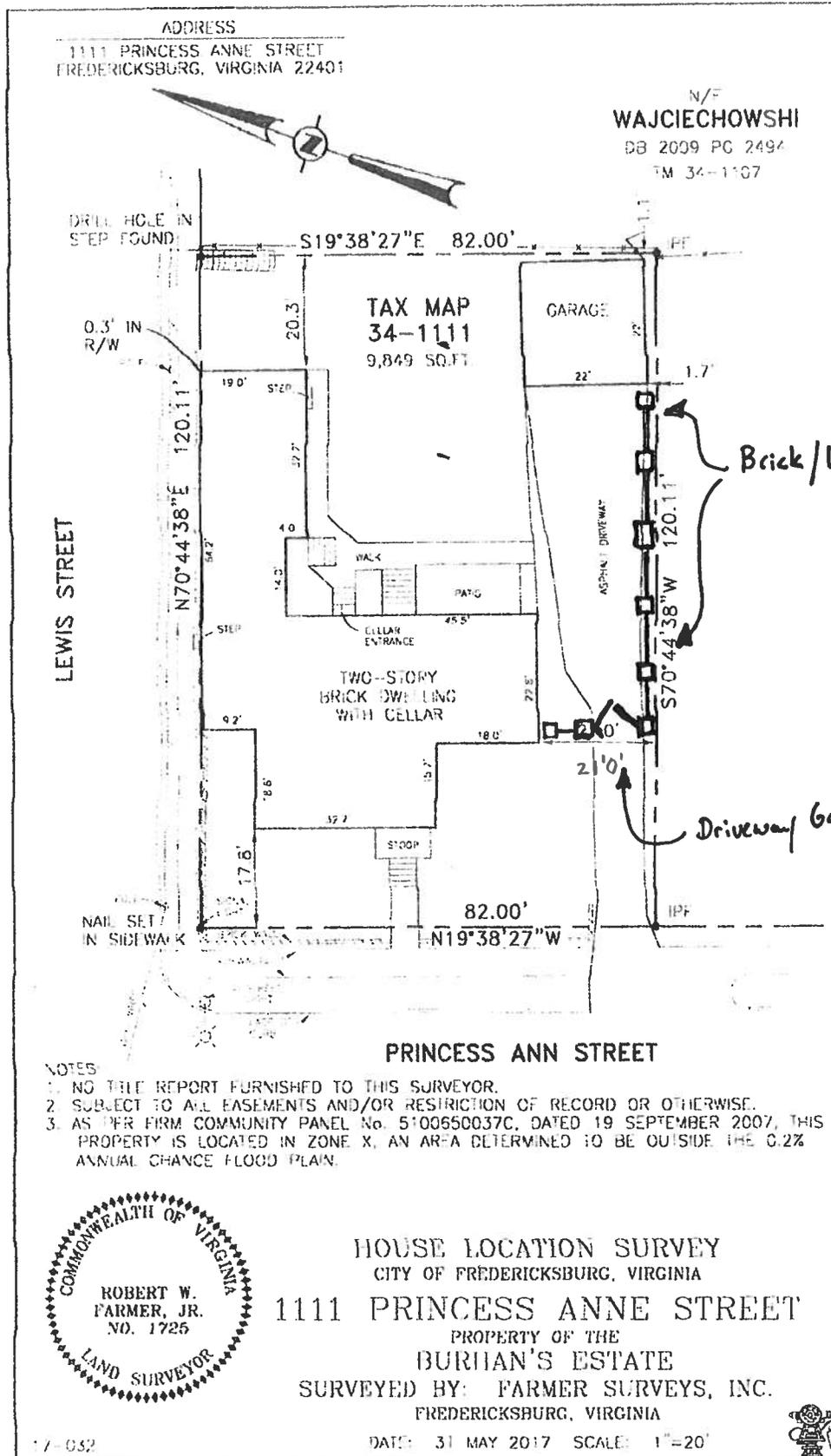
- Wrought Iron
to resemble existing
material on Lewis
Street

- Brick to closely
match existing
brickwall
on Princess
Anne



* 1/2 scale

Driveway Gate / Brick & Wrought Iron Locations





New Brick wall
to closely match
existing brick wal

Drincess Anna

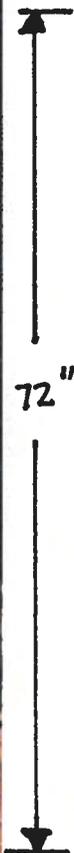


Wrought Iron
to resemble
existing
material
on Lewis
Street Wall

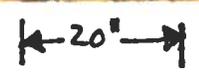
← Lewis Street →

Driveway Gate

- Gate to be 72" tall
- Columns to be 72" tall
- Gate is to be aluminum
- Columns to be brick to match. Brick is to be the same as existing brick on the property
- Columns to be 20" x 20"



72"



20"





Wall design Option B

Wall overall height not to exceed 48"
with lower brick wall @ 40" and top
detail total 8" (Rowlock over stretcher)
as shown above.

Wall will be built of CMU on 24" x 24"
footer with #4 Rebar every 16"

Wall faced with brick and painted white.



City of Fredericksburg Architectural Review Board
Record of Administrative Review

Prepared By: Kate Schwartz, Historic Resources Planner

DATE OF APPLICATION: September 29, 2020 GPIN #: 7789-05-9862 FEE PAID

ADDRESS OF PROJECT: 1107 Princess Anne Street

APPLICANT NAME: Brian McDermott

Property Owner Business Owner Architect/Contractor Other _____

PROJECT TYPE:

Sign(s) Fence/Wall Minor Exterior Alteration _____

Temporary Emergency Stabilization

Correction ordered by the Building Code Official

PROJECT DESCRIPTION:

Complete supporting documentation received? YES NO

The applicant proposes to install a combination brick wall and metal fence along the front and north side of the property. All fencing/wall areas will be limited to 4 feet in height. The brick wall will consist of square brick piers with sections of brick topped by a decorative cap spanning between the piers. The brick wall will be painted. A section at the center of the front property line will consist of iron or black-painted aluminum fencing with vertical posts. A metal gate will cross the driveway, connecting on the north side to a brick wall along the north side property line. The metal gate must be set back at least 18 feet from the front property line to ensure that cars will not block the sidewalk.

The applicants are working with the neighboring property owners at 1111 Princess Anne Street and approval is requested for two design options for the wall on the shared property line. An all-brick wall matching the design of that proposed along the front property line, or a wall composed of brick piers with sections of iron-topped brick spanning the distance between the piers. Both wall designs are appropriate for use. It is recommended that both options be approved and the property owners select one to install.

RECOMMENDED ARB ACTION:

Approval of the certificate of appropriateness for the request including two design options for the north side property line on condition that the gate is set back at least 18 feet from the front property line.

ARB Meeting Date: October 12, 2020

Kate Schwartz

Zoning Administrator

October 7, 2020

Date

PROPERTY INFORMATION:Construction Date: c. 1750 Architectural Style: NeoclassicalCharacter-Defining Features: two-story portico; gable-roofed dormers; two-story stone mass on the south end of the residence; 9/6 and 6/6 double-hung wood sash windows; tracery transomContributing to National Register Historic District? YesPrevious Alterations/ARB Approvals: Additions on the north and rear elevations in 2017; gas lanterns in 2018; rear addition in 1987Additional Notes: Originally constructed for Charles Dick as a one-story residence facing onto the river; alterations reoriented the house toward Princess Anne Street between 1912 and 1919**APPROVAL CRITERIA**

Criteria for evaluating proposed changes are found in City Code § 72-23.1(B)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation. The subject application does or does not meet the criteria as follows:

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
✓			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
✓			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
✓			(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development or that have no historical basis shall be discouraged.
		✓	(4) Most properties change over time; those changes that have acquired historic significance in their own right should be retained and preserved. Restoration of original features may be permitted when substantiated by documentary, physical, or pictorial evidence.
✓			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		✓	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Where severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.

		✓	(7) The surface cleaning of structures shall be undertaken using the gentlest means possible. Sandblasting and other chemical or physical cleaning methods that cause damage to historic building materials shall not be undertaken.
		✓	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
✓			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
✓			(10) New additions, alterations, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Applicable Guidelines from the Historic District Handbook:

Site Planning - Fences and Walls (pg. 71)
Construction Guidelines

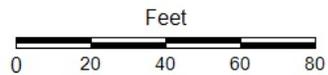
1. Fence and wall materials and design should relate to those found in the neighborhood.

SUPPORTING DOCUMENTATION INCLUDED:

- Photographs of existing conditions
- Context photographs
- General site plan and/or site survey
- Product/material specifications for proposed replacement/repair
- Elevation drawings
- Architectural or design detail drawings
- Other

Legend

-  City Boundary
-  WVS_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
-  WVS_Centerlines Back (12,000)
-  Interstate
-  US Highway
-  VA Primary
-  Others
-  Parcels
-  Traffic Analysis Zones
- VDHR National Register Historic District
-  Fredericksburg Historic District
-  Washington Avenue Historic District
-  Technology Zone
-  Stops
-  Route

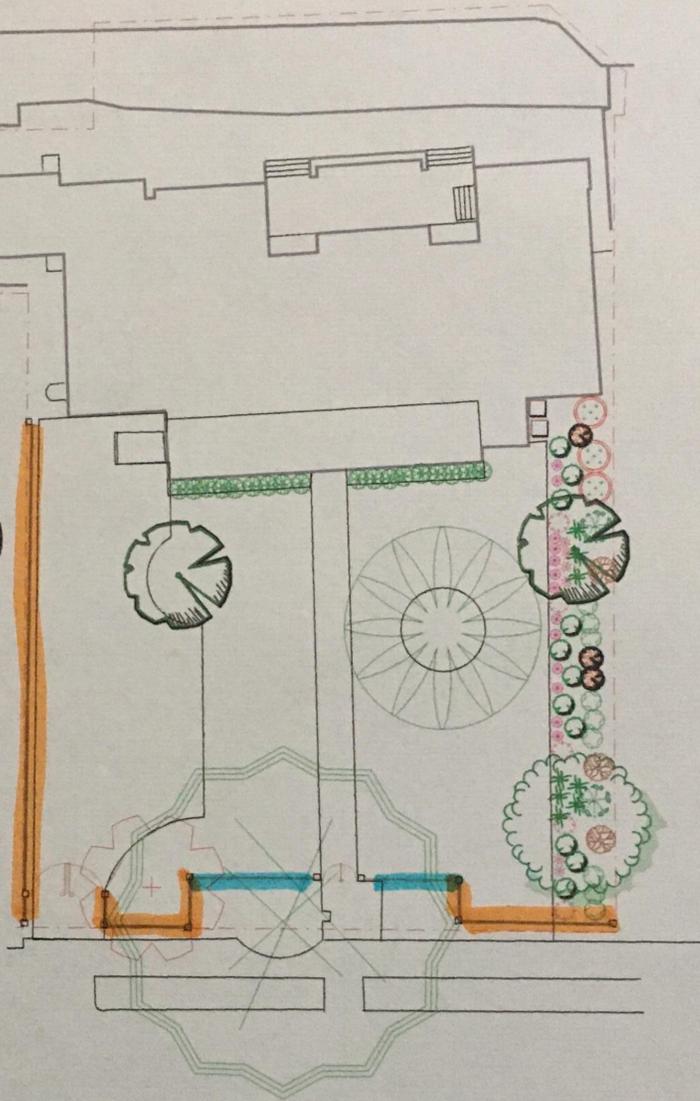


Title: 1107 Princess Anne Street

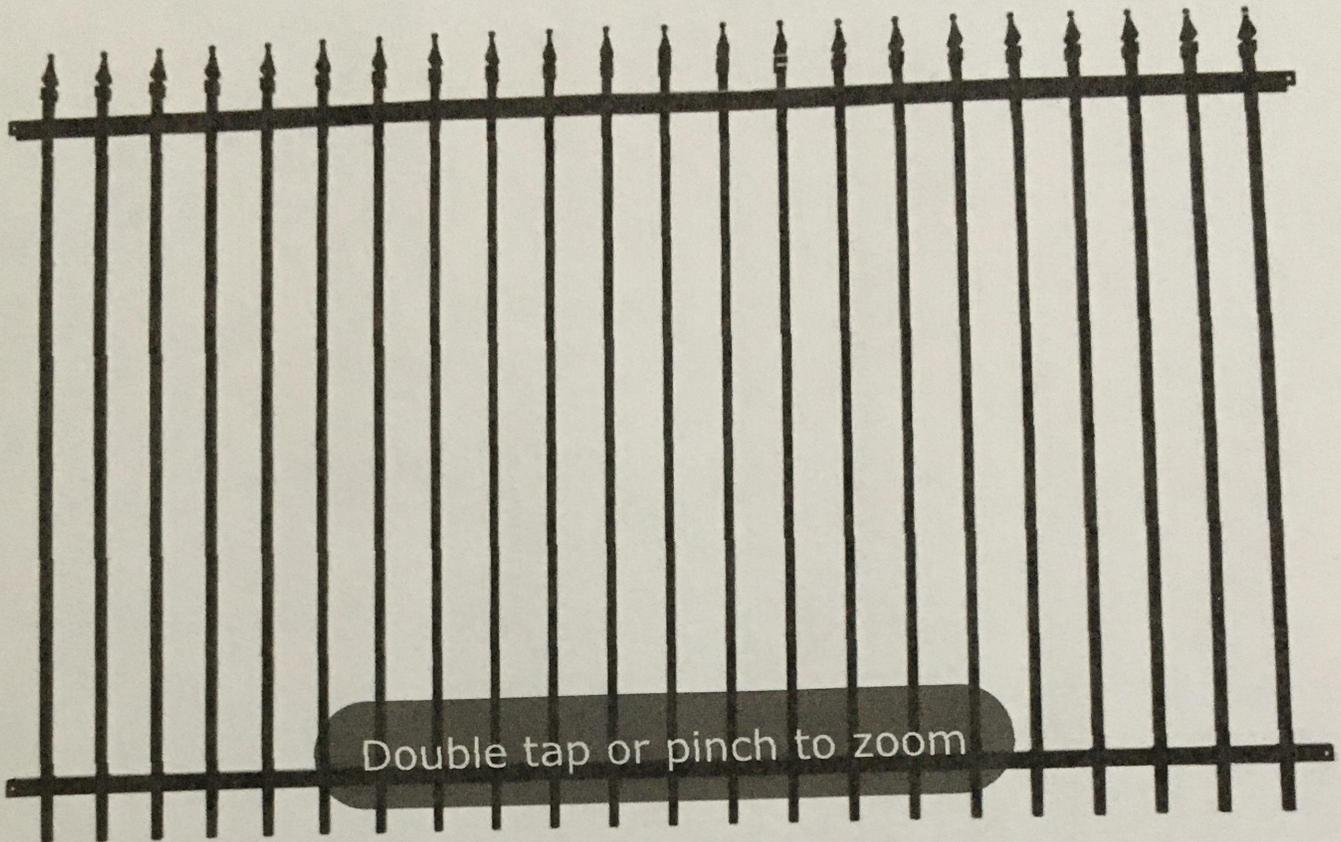
Date: 10/6/2020

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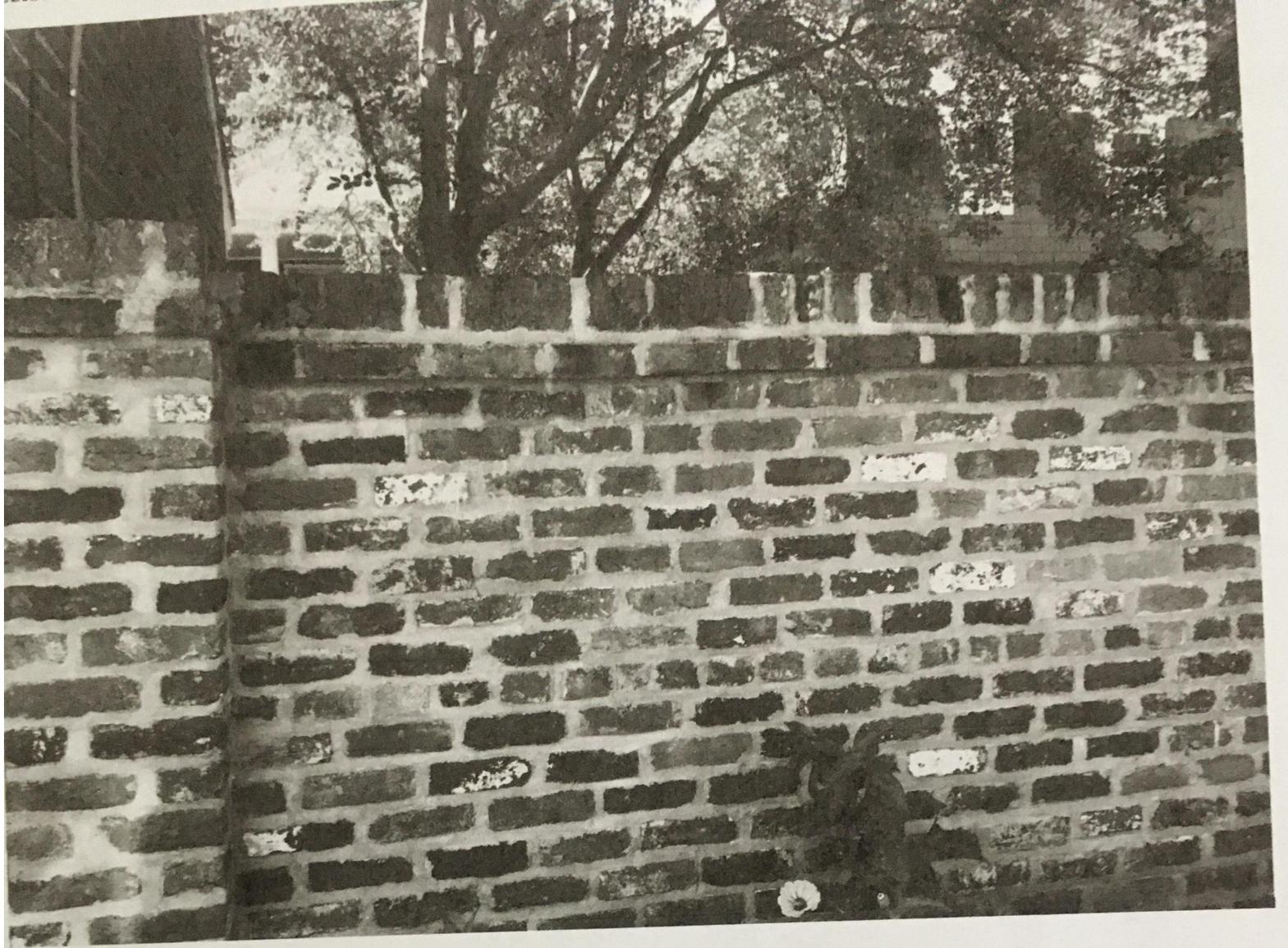
Back wall along side property line beside driveway with manual metal gate. and same style brick wall along part of front sides of property. Walls not to exceed 48" in height.



metalwork fence at front middle of wall with gate @ sidewalk. Metalwork fence will have clear visual access to historic home.



metalwork fence not to exceed 48"
in height and to be historic in
appearance Resembling metal fence
above, and metal fence at the
William Street side of the Confederate
Cemetery.



Wall Design for front property line/Option B for side property line

Wall overall height not to exceed 48"
with lower brickwall @ 40" and top
detail total 8" (Rowlock over stretcher)
as shown above.

Wall will be built of CMU on 24" x 24"
footer with #4 Rebar every 16"

Wall faced with brick and painted white.



Gate will be in one of the styles shown and constructed of iron or painted aluminum

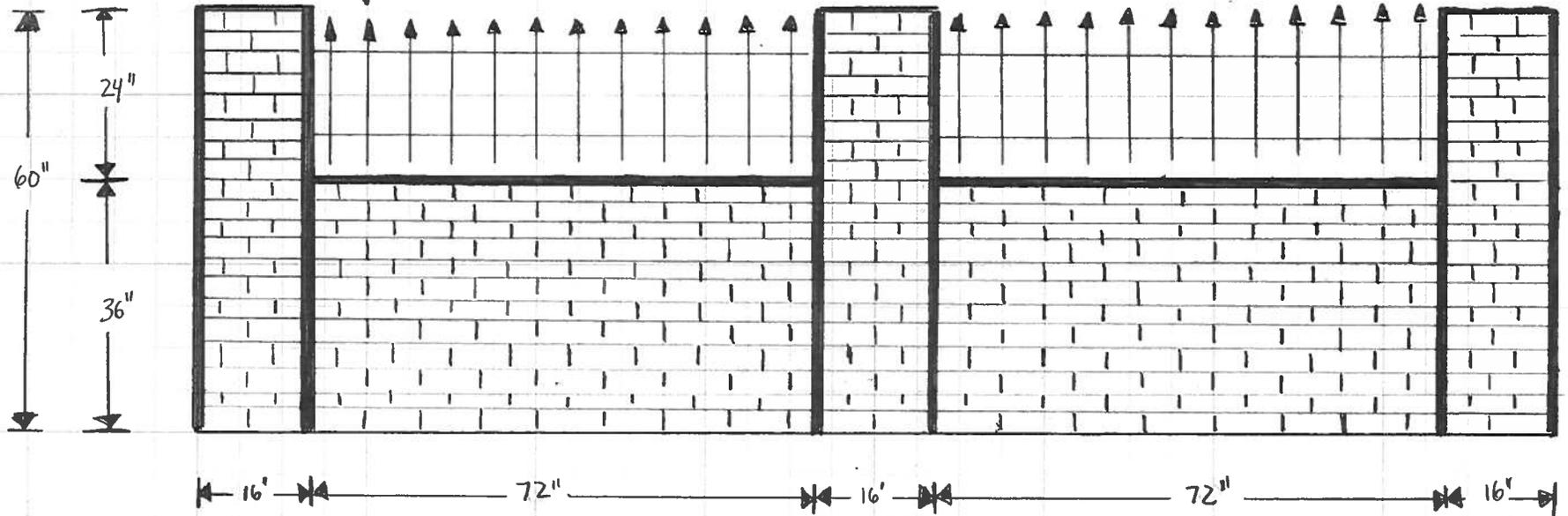


1111 Princess Anne
Zijerdi residence

Wall Design Option A
for side property line

- Wrought Iron
to resemble existing
material on Lewis
Street

- Brick to closely
match existing
brick wall
on Princess
Anne



* 1/2 scale



**City of Fredericksburg Architectural Review Board
Record of Administrative Review**

Prepared By: Kate Schwartz, Historic Resources Planner

DATE OF APPLICATION: September 22, 2020 GPIN #: 7789-15-6892 FEE PAID

ADDRESS OF PROJECT: 1017 Sophia Street

APPLICANT NAME: Peggy Durette

Property Owner Business Owner Architect/Contractor Other _____

PROJECT TYPE:

Sign(s) Fence/Wall Minor Exterior Alteration Mechanical Equipment Railing

Temporary Emergency Stabilization

Correction ordered by the Building Code Official

PROJECT DESCRIPTION:

Complete supporting documentation received? YES NO

The applicant proposes to install railings along the edge of a portion of the flat roof at the rear of the building. Mechanical equipment is located on the roof of this addition and the building code requires safety railings to be installed adjacent to this equipment. The wood railings will wrap the corner of the roof area, will be 42 inches in height, and will be painted to match the building. The railing will include vertical pickets, which must be spaced less than 21 inches apart in order to meet the code requirement. The installation will be minimally visible and will not have any adverse impact on the character of the site or the district.

RECOMMENDED ARB ACTION:

Approval of the certificate of appropriateness for the request on condition that the vertical pickets are spaced less than 21 inches apart in order to meet the building code requirements.

ARB Meeting Date: October 12, 2020

Kate Schwartz

Zoning Administrator

October 7, 2020

Date

PROPERTY INFORMATION:Construction Date: 1960 Architectural Style: CommercialCharacter-Defining Features: brick veneer on front elevation, parapet roof, simple rectangular formContributing to National Register Historic District? YesPrevious Alterations/ARB Approvals: Roof exhaust vent in 1992; alterations to windows and doors in 1992 and 1995; signs and cooler enclosure in 2010; fence in 2011

Additional Notes: _____

APPROVAL CRITERIA

Criteria for evaluating proposed changes are found in City Code § 72-23.1(B)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation. The subject application does or does not meet the criteria as follows:

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
✓			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
✓			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
✓			(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development or that have no historical basis shall be discouraged.
		✓	(4) Most properties change over time; those changes that have acquired historic significance in their own right should be retained and preserved. Restoration of original features may be permitted when substantiated by documentary, physical, or pictorial evidence.
✓			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		✓	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Where severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.

		✓	(7) The surface cleaning of structures shall be undertaken using the gentlest means possible. Sandblasting and other chemical or physical cleaning methods that cause damage to historic building materials shall not be undertaken.
		✓	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
✓			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
✓			(10) New additions, alterations, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Applicable Guidelines from the Historic District Handbook:

Roofs (pg. 80)

10. Install new elements such as vents and skylights without diminishing the original design of the building. New skylights, for instance, should be installed so as not to be visible from primary elevations.

SUPPORTING DOCUMENTATION INCLUDED:

- Photographs of existing conditions
- Context photographs
- General site plan and/or site survey
- Product/material specifications for proposed replacement/repair
- Elevation drawings
- Architectural or design detail drawings
- Other

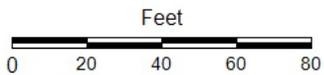
Legend

- City Boundary
- WVS_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
- WVS_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
- Parcels
- Traffic Analysis Zones
- VDHR National Register Historic District
- Fredericksburg Historic District
- Washington Avenue Historic District
- Technology Zone
- Stops
- Route



Title: 1017 Sophia Street

Date: 10/6/2020



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Wood Railings 30" beyond both sides
of hood system @ 42" TALL, PAINTED
SAME Color as building



**City of Fredericksburg Architectural Review Board
Record of Administrative Review**

Prepared By: Kate Schwartz, Historic Resources Planner

DATE OF APPLICATION: September 30, 2020 GPIN #: 7789-15-3339 FEE PAID

ADDRESS OF PROJECT: 1004 Caroline Street

APPLICANT NAME: Caroline Morris

Property Owner Business Owner Architect/Contractor Other _____

PROJECT TYPE:

Sign(s) Fence/Wall Minor Exterior Alteration _____

Temporary Emergency Stabilization

Correction ordered by the Building Code Official

PROJECT DESCRIPTION:

Complete supporting documentation received? YES NO

The applicant proposes to install signs for a retail business at this location. One projecting sign will hang from the existing bracket at the left side of the facade and will be 30 inches wide by 20 inches tall. One decal, 23 inches wide by 20 inches tall will be attached to the glass entry door. Additional decals will span the top and bottom of the large display window, 96 inches wide by 14 inches in height and 89 inches wide by 3 inches in height respectively. The sign allowance of 27.5 square feet is shared with one other tenant of the building. The two businesses signs together account for exactly the sign allowance permitted. The signs proposed are compatible with the character of the site and the district.

RECOMMENDED ARB ACTION:

Approval of the certificate of appropriateness for the request as submitted.

ARB Meeting Date: October 12, 2020

Kate Schwartz

Zoning Administrator

October 7, 2020

Date

PROPERTY INFORMATION:

Construction Date: 1924 Architectural Style: Art Deco

Character-Defining Features: Flemish bond brick facade, basketweave brick detailing, large plate glass display windows and recessed entry, 6/6 double-hung sash paired windows

Contributing to National Register Historic District? Yes

Previous Alterations/ARB Approvals: Signs in 2016 and 2018

Additional Notes: _____

APPROVAL CRITERIA

Criteria for evaluating proposed changes are found in City Code § 72-23.1(B)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation. The subject application does or does not meet the criteria as follows:

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
✓			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
✓			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
✓			(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development or that have no historical basis shall be discouraged.
		✓	(4) Most properties change over time; those changes that have acquired historic significance in their own right should be retained and preserved. Restoration of original features may be permitted when substantiated by documentary, physical, or pictorial evidence.
✓			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		✓	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Where severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.

		✓	(7) The surface cleaning of structures shall be undertaken using the gentlest means possible. Sandblasting and other chemical or physical cleaning methods that cause damage to historic building materials shall not be undertaken.
		✓	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
✓			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
✓			(10) New additions, alterations, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Applicable Guidelines from the Historic District Handbook:

City Code § 72-23.1(D)4 Signs

The ARB shall consider the following in determining the appropriateness of any application for a sign proposed within the HFD: (a) The sign shall be integrated architecturally with the building.

(b) Placement should not obscure significant architectural features or details of the building.

(c) All signs shall meet the requirements of §72-59, Signage.

Signs (Historic District Handbook, pg.117-118)

1. A sign should fit the architecture of its building and not obstruct defining elements.

2. The number of signs should be compatible with the building and should not cause visual clutter.

3. The size of each sign and the total area of signs should match the character of the building and of the Historic District. Exact sign allowance should be verified with the Planning Office.

4. Sign design and graphics should be coordinated with the character of the building and the nature of the business.

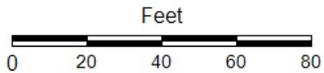
5. Materials should relate to the building. Traditional sign materials include wood, glass, raised individual letters, and painted letters on wood or glass.

SUPPORTING DOCUMENTATION INCLUDED:

- Photographs of existing conditions
- Context photographs
- General site plan and/or site survey
- Product/material specifications for proposed replacement/repair
- Elevation drawings
- Architectural or design detail drawings
- Other

Legend

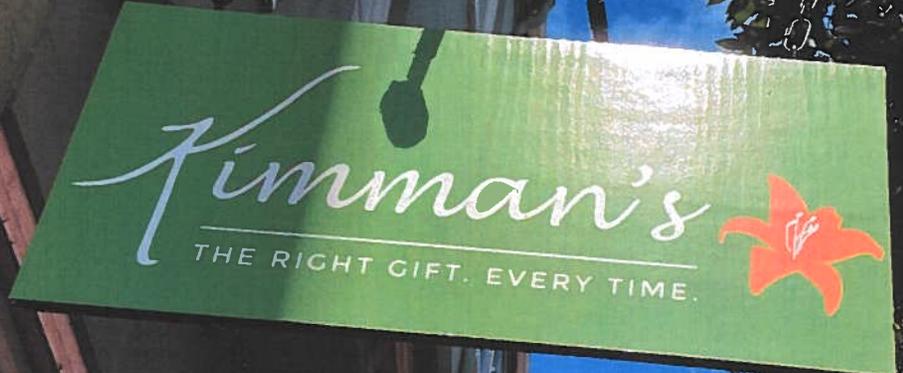
- City Boundary
- WVS_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
- WVS_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
- Parcels
- Traffic Analysis Zones
- VDHR National Register Historic District
- Fredericksburg Historic District
- Washington Avenue Historic District
- Technology Zone
- Stops
- Route

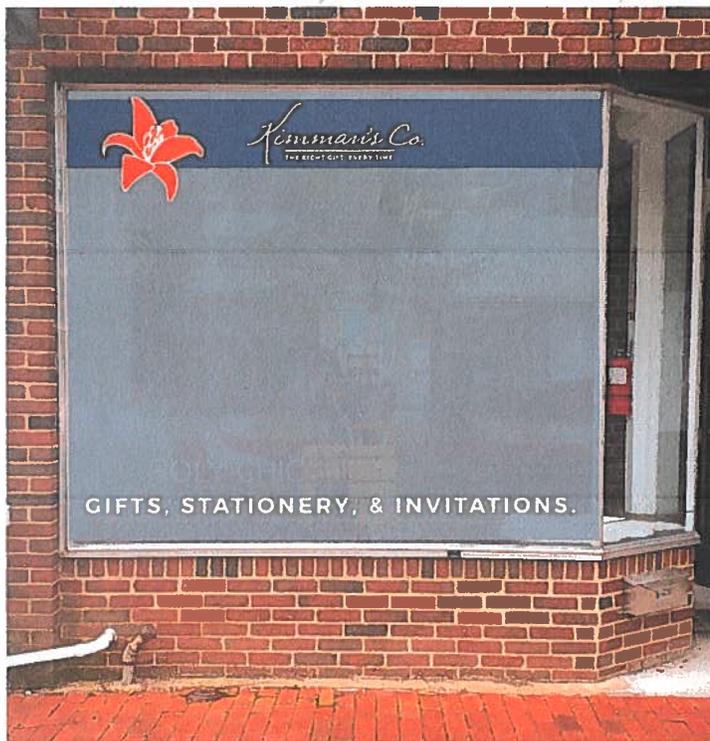


Title: 1004 Caroline Street

Date: 10/6/2020

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571 331 8759
www.metronovacreative.com
Need to schedule a meeting?



[Quoted text hidden]



caroline morris <kimmansco@gmail.com>

Sign info for Kimman's

1 message

caroline morris <kimmansco@gmail.com>

Wed, Sep 30, 2020 at 12:14 PM

To: caeckles@fredericksburgva.gov

This green sign is our current sign at 1004. We are using the same board and putting a skim over it with our new color which is cobalt blue. I do not have a mock up of this sign. It is the same blue as the vinyl that is going on the window.

Thank you SO much for your help!



--
Caroline Morris
Kimman's Co.
820 Caroline St.
Fredericksburg, VA 22401
540 310 4800
www.kimmans.com
<https://www.facebook.com/Kimmansco/>
Instagram: kimmansco

3 attachments

signage 1004 1.jpg
620K



City of Fredericksburg Architectural Review Board
Record of Administrative Review

Prepared By: Kate Schwartz, Historic Resources Planner

DATE OF APPLICATION: September 24, 2020 GPIN #: 7789-15-7205 FEE PAID

ADDRESS OF PROJECT: 916 Sophia Street

APPLICANT NAME: Laurie Peterson

Property Owner Business Owner Architect/Contractor Other _____

PROJECT TYPE:

Sign(s) Fence/Wall Minor Exterior Alteration _____

Temporary Emergency Stabilization

Correction ordered by the Building Code Official

PROJECT DESCRIPTION:

Complete supporting documentation received? YES NO

The applicant proposes to install one projecting, building-mounted sign for a retail business at this location. The sign will hang from a metal bracket that will be installed above the door. The bracket will project out 40 inches from the face of the wall. The double-sided sign will be constructed of double-sided, routed high density urethane with an MDO core. The hanging sign will be 2 feet 11 inches wide and 3 feet tall. The 8.8 square foot sign falls within the allowance for this property. The applicant must ensure that 8 feet of clearance is provided between the sidewalk and the bottom of the sign.

RECOMMENDED ARB ACTION:

Approval of the certificate of appropriateness for the request on condition that 8 feet of clearance is provided between the sidewalk and the bottom of the sign and the bracket is attached through the building's mortar joints.

ARB Meeting Date: October 12, 2020

Kate Schwartz

Zoning Administrator

October 7, 2020

Date

PROPERTY INFORMATION:Construction Date: 1957 Architectural Style: Colonial Revival/CommercialCharacter-Defining Features: Fixed multi-light display window; brick detailingContributing to National Register Historic District? YesPrevious Alterations/ARB Approvals: Siding in recessed entry and replacement doors in 1992;
sign in 2017Additional Notes: This structure was built as an addition to the one-story structure at 917 Caroline St.**APPROVAL CRITERIA**

Criteria for evaluating proposed changes are found in City Code § 72-23.1(B)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation. The subject application does or does not meet the criteria as follows:

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
✓			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
✓			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
✓			(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development or that have no historical basis shall be discouraged.
		✓	(4) Most properties change over time; those changes that have acquired historic significance in their own right should be retained and preserved. Restoration of original features may be permitted when substantiated by documentary, physical, or pictorial evidence.
✓			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		✓	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Where severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.

		✓	(7) The surface cleaning of structures shall be undertaken using the gentlest means possible. Sandblasting and other chemical or physical cleaning methods that cause damage to historic building materials shall not be undertaken.
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✓			(10) New additions, alterations, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Applicable Guidelines from the Historic District Handbook:

City Code § 72-23.1(D)4 Signs

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SUPPORTING DOCUMENTATION INCLUDED:

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- Context photographs
- General site plan and/or site survey
- Product/material specifications for proposed replacement/repair
- Elevation drawings
- Architectural or design detail drawings
- Other

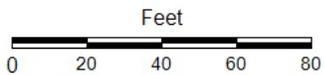
Legend

-  City Boundary
-  WVS_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
-  WVS_Centerlines Back (12,000)
-  Interstate
-  US Highway
-  VA Primary
-  Others
-  Parcels
-  Traffic Analysis Zones
- VDHR National Register Historic District
-  Fredericksburg Historic District
-  Washington Avenue Historic District
-  Technology Zone
-  Stops
-  Route



Title: 916 Sophia Street

Date: 10/6/2020



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RENAISSANCE & RENDEZVOUS

DF HDU Blade Sign - Qty: 1

Blade sign to hang above door facing Sophia St.



REVISIONS

1. TBD
2. TBD
3. TBD
4. TBD

SIGN

DATE

DRAWING # RGR_Fredericksburg_01

DATE 9/4/2020

SALES REP Hope

DESIGNER Troy

CLIENT APPROVAL

SITE LOCATION 916 Sopia St. Fredericksburg VA 22401

SHEET NUMBER

1.0 R1

PROOF IS USED FOR FINAL PRODUCTION. PLEASE LOOK OVER CAREFULLY. IF art is approved, Please PRINT, SIGN and/or FAX proof back to 540.899.9554 or EMAIL confirmation of approval. NOTICE: Customer is solely responsible for proof reading and content of proof once it is approved. Color can vary slightly from rendering as every screen displays differently. Signs are also not set to scale and may vary in size once installed. You must review the proof and sign prior to our production of this order. *Reproduction of designs without written consent from Sign Enterprise is strictly prohibited.*


SignEnterprise

RENAISSANCE & RENDEZVOUS

DF HDU Blade Sign- Qty: 1

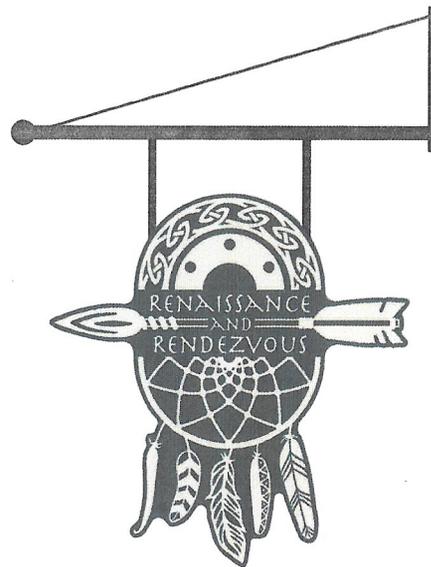
SQ FT: 8.75

SPECIFICATIONS:

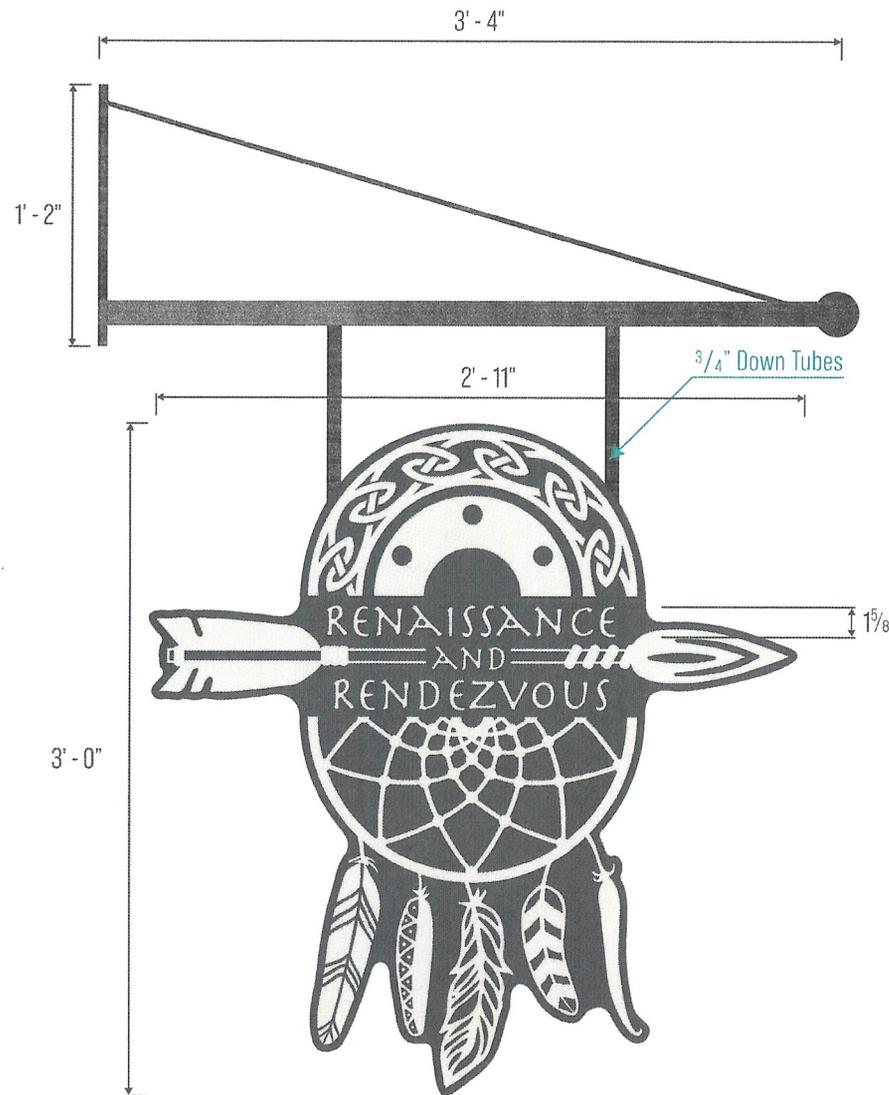
1. Double-faced blade sign with two 3/4" routed HDU faces with 3/4" MDO in between.
2. Tan logo and text to be raised portion of routed sign.

COLORS/MATERIALS:

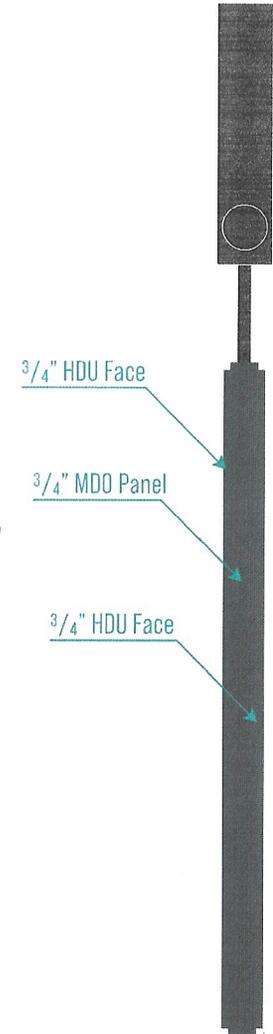
- PMS Warm Gray 2C
- PMS 282 C



ALTERNATE SIDE VIEW



END VIEW



DRAWING # RGR_Fredericksburg_01

DATE 9/4/2020

SALES REP Hope

DESIGNER Troy

REVISIONS

1. Change to .75" down tubes. 9/23/20 - AB
2. TBD
3. TBD
4. TBD

SIGN

CLIENT APPROVAL

SITE LOCATION

Fredericksburg, VA

DATE

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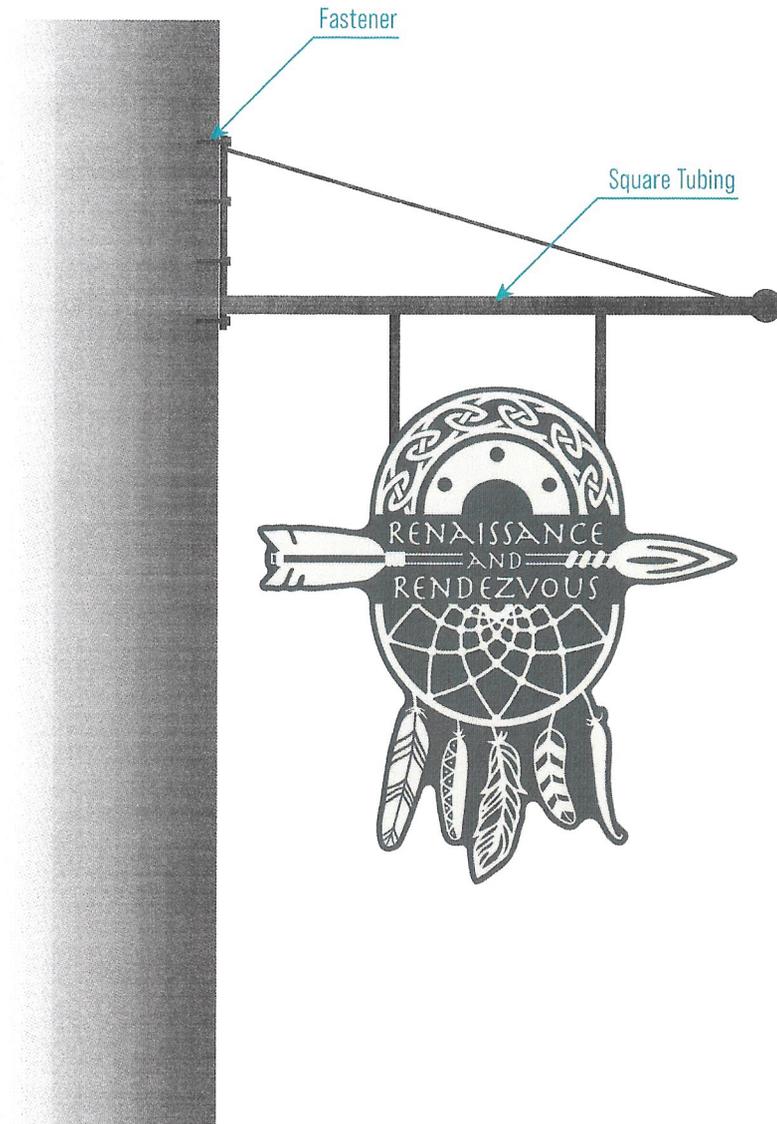
SHEET NUMBER

1.0 R1

MOUNTING SPECS

Sign Enterprise will build all signs to withstand 90 mph, 3-second wind gusts.

FASTENER SCHEDULE		
	3/8" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATION (EXCL. TIP)
	3/8" DIA. THREADED ROD	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS.
	3/8" RED HEAD L.D.T. (LARGE DIAMETER TAPCON)	FOR USE WITH CONCRETE BLOCK, BRICK OR CONCRETE. EMBED A MIN. OF 2 1/2".
	3/8" DIA. ROD WITH ADHESIVE	FOR USE WITH CONCRETE. EMBED A MIN. OF 2".
	3/8" DIA. ROD WITH ADHESIVE	FOR USE WITH MASONRY AND BRICK. EMBED A MIN. OF 3 3/8".
	3/8" DIA. ROD WITH ADHESIVE	FOR USE WITH CONCRETE BLOCK. EMBED A MIN. OF 2".
	3/8" DIA. SLEEVE ANCHOR	FOR USE WITH CONCRETE, MASONRY AND BRICK. EMBED A MIN. OF 3 3/8".



DRAWING # RGR_Fredericksburg_01

DATE 9/4/2020 SALES REP Hope DESIGNER Troy

REVISIONS

1. New page. 9/23/20 - AB
2. TBD
3. TBD
4. TBD

SIGN

CLIENT APPROVAL _____ DATE _____

SITE LOCATION Fredericksburg, VA



SHEET NUMBER

1.1 R1



MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: October 7, 2020 (for the October 12, 2020 hearing)
SUBJECT: Certificate of Appropriateness for new construction at 1408 Sophia Street

ISSUE

Paul Janney requests approval of the detailed architectural design of a new two-and-one-half-story residence to be constructed on this vacant property.

RECOMMENDATION

Approval of the request for the Certificate of Appropriateness with the following conditions:

1. The porch roof should be altered to a hipped profile at both ends.
2. The second floor window above the main entry should align with the other second floor windows (align the sills).
3. The standing seam metal roofs must have crimped seams.
4. The finials on the historic wall must remain in place. Gas lanterns may be mounted to the face of the columns through the mortar joints.

A final vote on the application cannot occur until October 26, 2020 due to the required procedures for electronic meetings.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

Site Planning – Continuity of Street Edge (Historic District Handbook, pg. 69)

1. New buildings should be sited to reinforce the traditional street edge.

Building Scale (Historic District Handbook, pg. 74)

4. Architectural features - such as porches, entrances, storefronts, and other decorative elements - should be used to reinforce the human scale of the Historic District.

Building Massing (Historic District Handbook, pg. 75)

1. Building form should relate to the existing streetscape. If most of the building forms are simple, then the form of a new building should respect that characteristic.
3. The orientation of new residential dwellings should be compatible with the neighboring houses in the block.

BACKGROUND

The Architectural Review Board approved the site planning, scale, and massing of a new residence to be constructed on this vacant lot on September 14, 2020. The applicant is returning to request approval of the final detailed architectural design of the house. The applicant proposes to construct a new residence on a vacant lot on the west side of Sophia Street near the northern end of the Historic District. The property extends from Caroline Street through to Sophia Street. The property was formerly the site of an eighteenth-century residence facing onto Caroline Street which was destroyed or heavily damaged during the Civil War and rebuilt after the war. The building was demolished in 2011 and the site has been vacant since that time. The rear portion of the property, located closest to Sophia Street, was used as the rear entrance to the site. Brick walls with a curving entrance and wrought-iron gate at the center line the edge of the property and an accessory structure was once located on the rear of portion of the property. The new residence has been designed to retain and preserve the historic wall and entrance. The application should be evaluated using the criteria in City Code §72-23.1(D)1:

4. *Roof*

The residence is topped by side-gabled roof with several intersecting gables. Two slightly projecting bays with enclosed front-facing gables are centered on the front elevation in order to create a clear central mass that aligns with the historic gate entrance. A lower side gabled mass projects from rear of the north side elevation and a one-story, side-gabled mass with a crossing gable-roofed screen porch is located along the rear elevation. The eave overhang is approximately one foot and simple gable returns define the ends of the structure. The full-width front porch is sheltered by a roof that terminates in a shed at one end, but is hipped at the other end where it wraps around to the north side elevation over the garage entry. It is recommended that the left/south side of the porch roof be altered to a hipped roof to match.

5. *Windows*

The windows are a mix of casement and double-hung sash, specified as Jeld-Wen aluminum-clad wood windows with simulated divided lights with interior spacer bars. The double-hung windows have a two-over-two light pattern and are placed in single, double, and triple configurations. Two-light casement windows are used in the gable ends and on the side elevations. The windows on the front elevation have a clear hierarchy between floors and are carefully aligned across the façade.

6. *Doorways*

The main entry is located to the left of the projecting central bay and includes a double-leaf, solid wood entry door with six lights. A matching single-leaf door is located at the center of the north side elevation.

7. *Storefronts*

Not applicable to this residential structure.

8. *Exterior Architectural Elements*

A full-width, one-story porch spans the façade and is supported by boxed columns with paneled bases with a 10-inch frieze above. The porch and house are constructed on a solid brick foundation and brick steps lead to the main and side entries. A 12-inch trim board wraps the structure above the foundation, at the top of the first-story, continuing the line of the porch frieze around the entire building, and at the eave line, wrapping the entire building. Metal roofs enclose the bottoms of the front-facing gables. A brick chimney is located at the rear of the screened porch on the rear elevation.

9. *Materials*

The wood-framed dwelling will be clad in smooth Hardie fiber cement lapped siding with an eight-inch reveal above a two-foot brick foundation. All trim elements, included molded window surrounds, fascia, soffits, and trim boards, will be constructed of smooth fiber cement trim. The front gable ends will be clad in Hardie fiber cement board-and-batten siding. The porch columns will be constructed of wood. The primary roof will be clad in architectural grade asphalt shingles and the lower roofs will be clad in standing seam metal. The garage door will be constructed of painted aluminum.

10. *Miscellaneous Details*

Rubbed bronze, lantern-style, gas light fixtures are proposed at each entrance. A chandelier-type fixture will hang under the porch roof at the main entry and wall-mounted fixtures will flank the garage door and side entry. A new painted aluminum gate will be constructed to match the design of the existing damaged iron gate. New gas lanterns are also proposed to replace the cast finials that currently top the gate posts. It is not clear if these finials are historic, but as no research exists to show that they are not, they should be retained in place. It is recommended that lanterns be mounted to the column faces if desired, attached through the mortar joints.

In general, the design of this new residential structure draws from the character of neighboring historic homes, but is clearly differentiated by some modern details and materials. Most elements of the design align with the standards and guidelines for the district; however, minor alterations are recommended to resolve potential maintenance issues and ensure compatibility with the simple characteristics of similar dwellings. The following changes are recommended as conditions:

1. The porch roof should be altered to a hipped profile at both ends.
2. The second floor window above the main entry should align with the other second floor windows (align the sills).
3. The standing seam metal roofs must have crimped seams.

4. The finials on the historic wall must remain in place. Gas lanterns may be mounted to the face of the columns through the mortar joints.

With these changes, approval of the application is recommended.

APPROVAL CRITERIA

Criteria for evaluating new construction are found in City Code § 72-23.1(D)1.

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
No building or structure shall be erected or reconstructed within the HFD, unless approved by the ARB as being architecturally compatible with the historic landmarks, buildings, structures and areas located therein. The ARB shall, in making its decisions, consider the characteristics of a proposed building or structure as they affect and relate to the district, including the following elements:			
X			(1) Site planning: continuity of street edge, spacing between buildings, fences and walls, parking
X			(2) Building scale: size, height, facade proportions
X			(3) Building massing: form, roof shape, orientation
X			(4) Roof: shape, pitch, overhang, dormers, skylights, chimneys
X			(5) Windows: type, shape and proportion, rhythm and balance, blinds/shutters
X			(6) Doorways: placement and orientation, type
		X	(7) Storefronts: materials, architectural details
X			(8) Exterior architectural elements: entrances, porches and steps, cornices
X			(9) Materials: wall surfaces, foundation, roof
X			(10) Miscellaneous details: trim, gutters and leaders, louvers/vents, lighting, public utilities

Attachments:

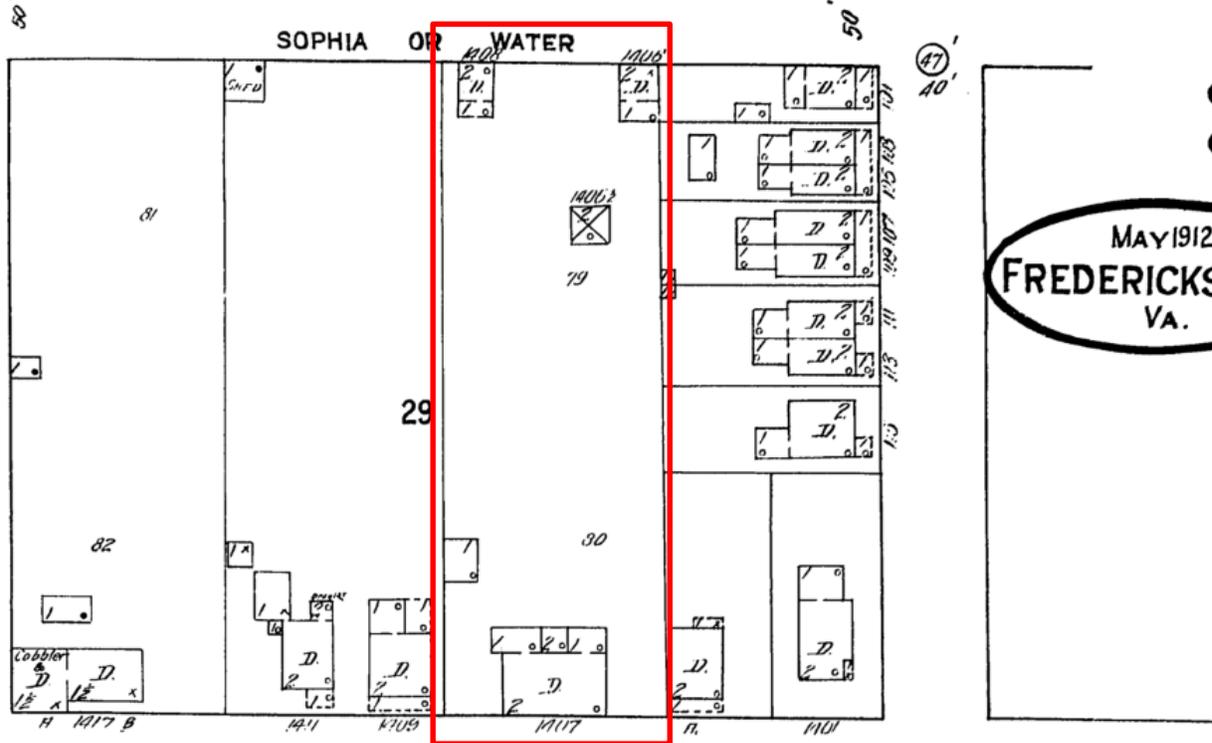
1. Aerial photograph and site view
2. Sanborn Fire Insurance Maps, 1912 and 1919
3. Context photographs
4. Reference images
5. Elevations and material specifications



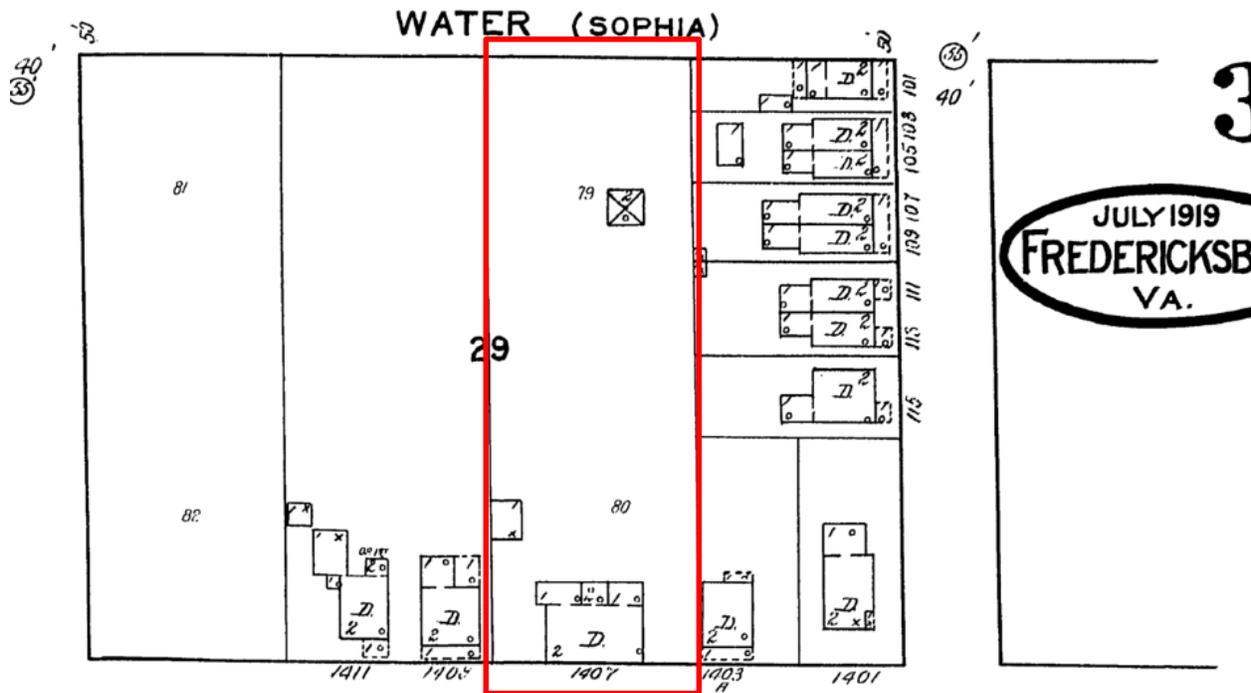
AERIAL



VIEW FACING WEST



1912 Sanborn Fire Insurance Map



1919 Sanborn Fire Insurance Map



View from Sophia Street, Facing North



View from Sophia and Pitt Streets, Facing South



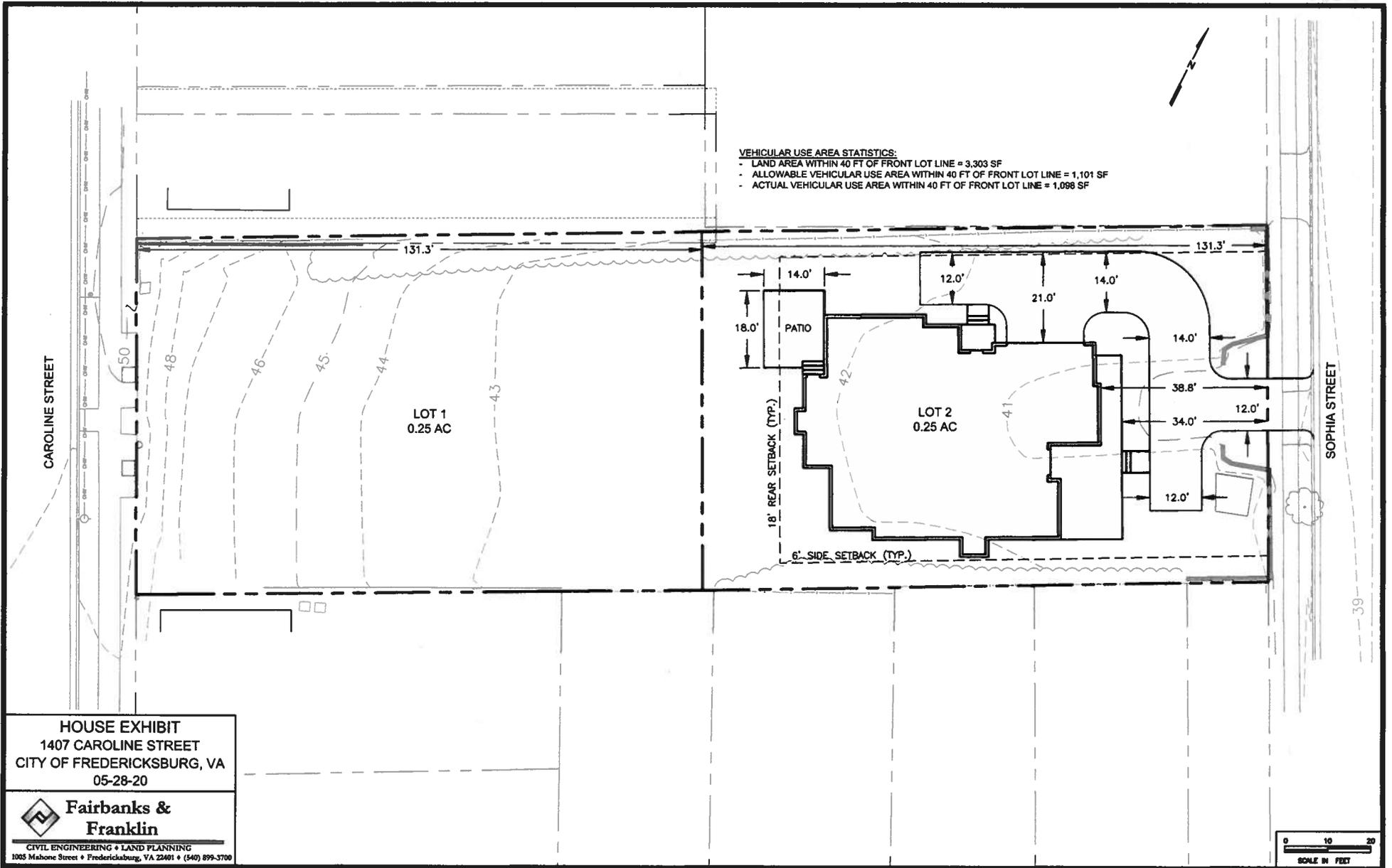
View from Sophia Street, Facing South



View of Historic Gate

Reference images showing a similar residence design to the one proposed:







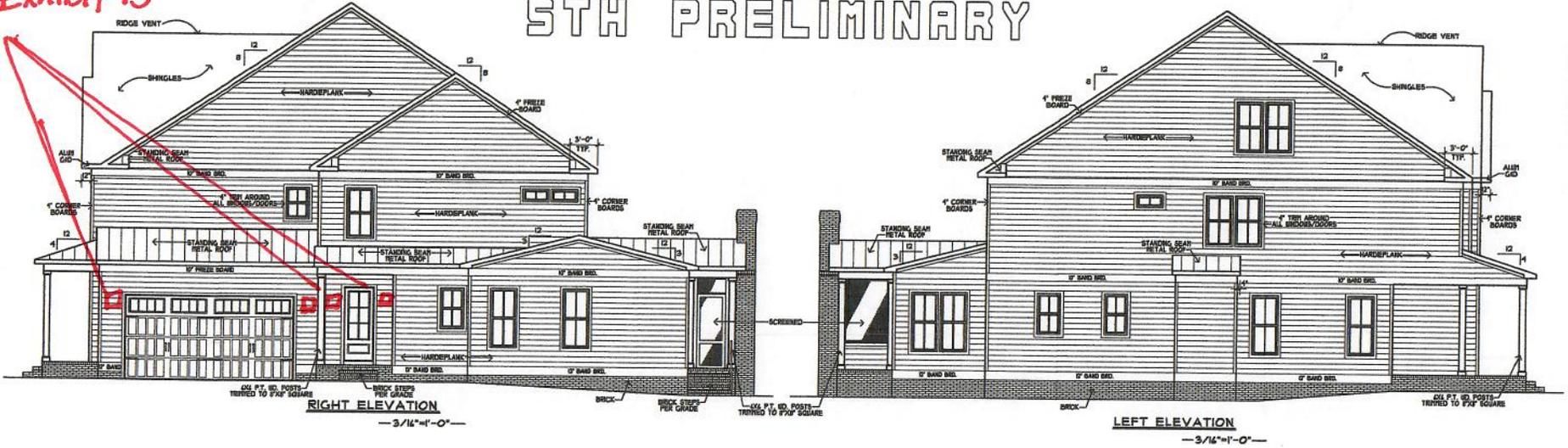
OPTION C

Exhibit D

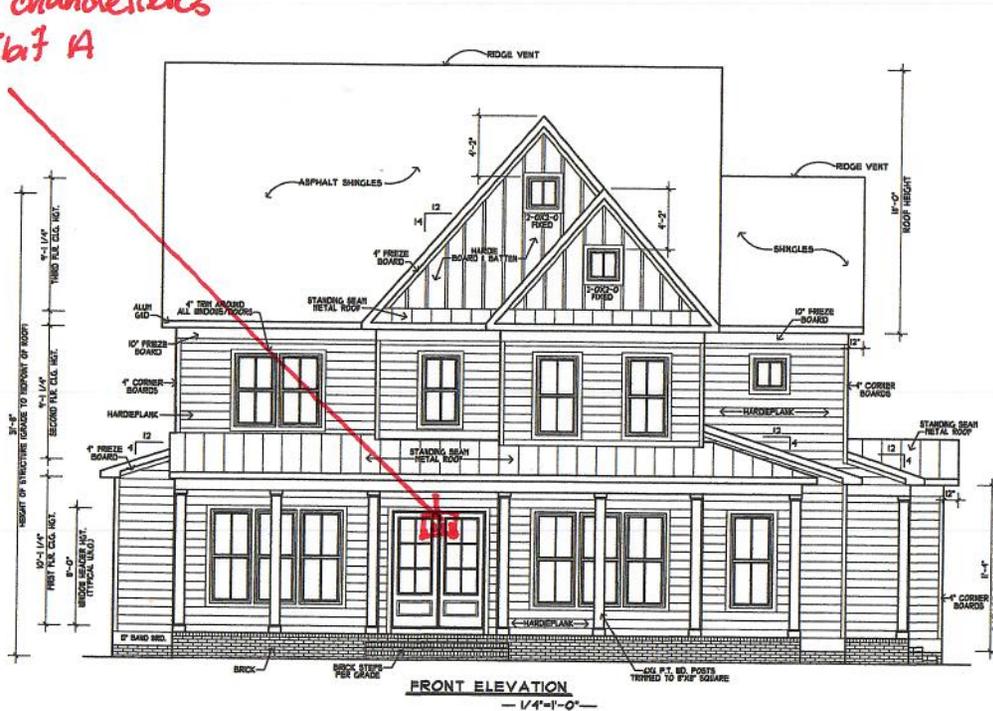
Exhibit C

Exhibit B

5TH PRELIMINARY



Two chandeliers
Exhibit A



SQUARE FOOTAGE	
1ST FLOOR	2018
2ND FLOOR	280
3RD FLOOR	449
GARAGE	562
FRONT PORCH	449
SCR. PORCH	324
SIDE PORCH	46

APPLICABLE CODE:
VIRGINIA RESIDENTIAL CODE 2015 EDITION

REVISIONS

PAUL JANNEY INC.
1309 FRANKLIN STREET
FREDERICKSBURG, VA 22401
540-801-5808

PRECISION DRAFTING SERVICES LLC
MICHAEL B JENKINS, DESIGN DRAFTER
50 CHET ATKINS COURT
FREDERICKSBURG, VA. 22405
540-222-1641 mkb@precisiondraftingva.com

DATE: 9/25/20
SCALE: AS SHOWN
JOB NO.: 1449



2078 4228
2150 487
4228 4897

Clearance & Open Box Sale

SHOP DEALS



BELLACOR.

Exhibit A

- PRO
- ACCOUNT
- HELP
- CART 0

What are you shopping for?

LIGHTING FURNITURE DECOR **DEALS**

Lighting Fixtures > Outdoor Lighting > Outdoor Hanging Lighting > Outdoor Pendants

BC# 2229092



12" x 22"

⊕ Hover to zoom



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KICHLER

Exhibit 3

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[Lighting Ideas](#)

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[For Professionals](#)

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DELISON COLLECTION

Delison™ 14" 1 Light Wall Light Rubbed Bronze™

\$154.99*

49331RZ (Rubbed Bronze)



★★★★★ 5.0 (5)

[Write a review](#)

[Ask a question](#)

Created with minimalistic, arts and craft décor in mind, the 1-light outdoor wall light with Rubbed Bronze from Delison™ delivers pure and durable craftsmanship. With its clean, crisp lines and trapezoid sides, Delison™ is ideal for rustic or updated lodge styled exteriors.

Exhibit C

ESTATE

The Old Allegheny

Item 3701

Elegant yet rugged, our Old Allegheny Lamp was a familiar fixture in early American cities and settlements. Its large, four-sided design conveys functionality while its foundry-cast construction can withstand the gales of the Eastern Seaboard. Simple lines make the Old Allegheny ideal for traditional styles, especially when enhanced by the subtle sparkle of beveled panes.



Post Mount



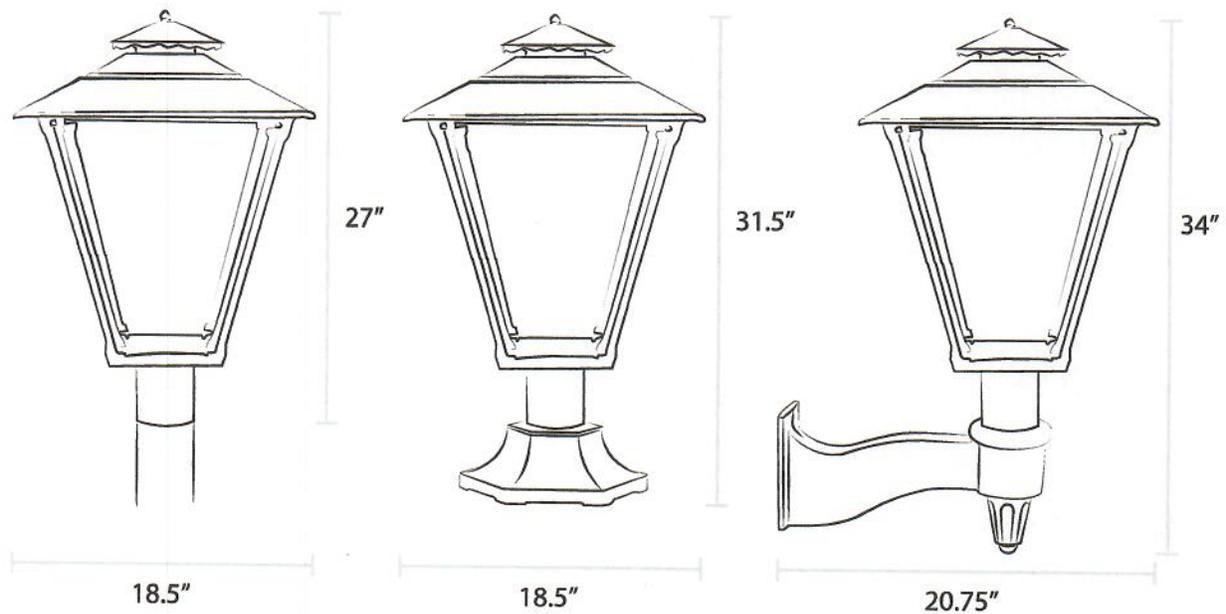
Wall Mount



Pier Mount

As shown with Universal finial

The Old Allegheny



Product Overview:

- Sand cast aluminum
- Certified valve
- Flat tempered glass included; additional glass options available*
- Universal finial included; decorative finials available*

Installation Options:

- Post mount fits standard 3" outside diameter post
- For wall mount, combine with our Universal Bracket
- For pier mount, combine with our Large Six-Sided Pier Mount with 3" outside diameter stud

Illumination Options:



Mantle Gas



Open Flame Gas



GasGlow® LED*



Candelabra Base

Finish Options:

- Available in all finish options

**Additional charges may apply*

Exhibit D

ONLINE

FENCE SUPPLY.COM

THE FENCE PROS FOR OVER 20 YEARS

(980) 355-2749

Your Fencing Professionals

Pool Fencing Professionals

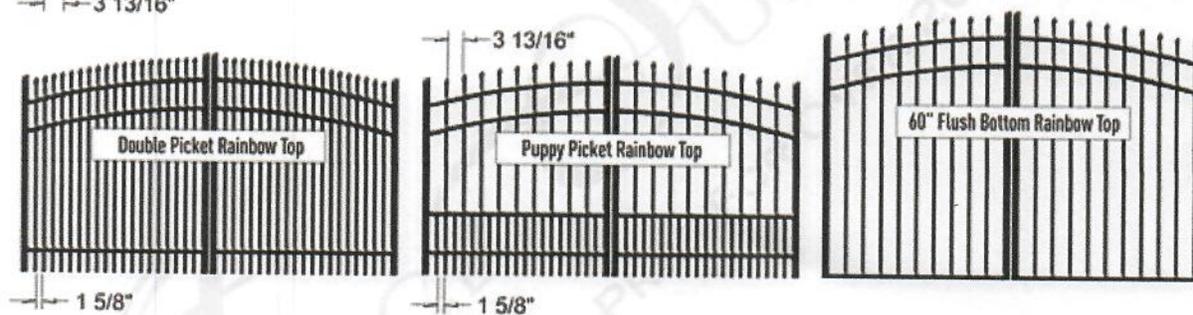
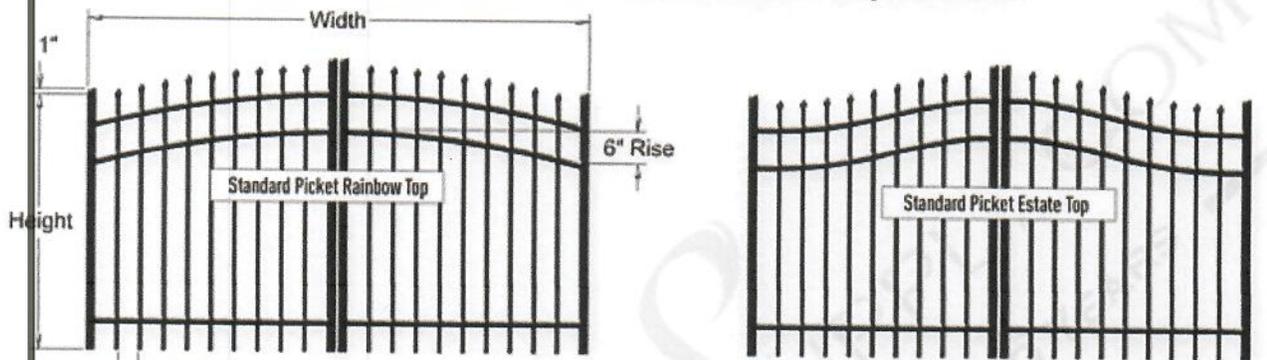
Style A Residential Aluminum Double Gates - 3 Rail Picket Top

Specifications

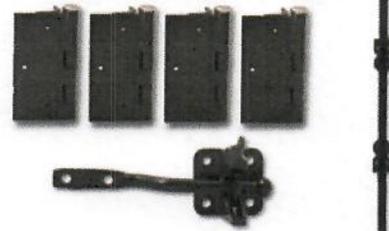
Material: 6063-T6 Aluminum • Pickets: 5/8" sq. x .050" Wall • Rails: 1" sq. x .055" Wall • Gate Uprights: 1 1/2" sq. x .090" Wall
PPG TGIC Polyester Powder Coating • Welded Construction • All Gates Are Assembled and Ready For Installation



Picket Detail



All Gates Include (4) 5" Spring Loaded Gate Hinges, (1) Drop Rod & (1) Standard Gate Gravity Latch
Color Matched To Gate
(Additional Latch & Hinge Options Are Available)



Available Heights: 36", 48", 54", 60" Flush Bottom, 60" & 72"

Available Widths: 96" (8ft), 120" (10ft) & 144" (12ft)

Available in Rainbow or Estate Top Designs

Available in Standard Picket, Double Picket & Puppy Picket Configurations



Style A Pool Code Approved Heights

Standard Picket Design: 60" Flush Bottom & 72" • Double Picket Design: 48", 54", 60" & 72"

Please Note That 36" Height & Any Puppy Picket Design Gates Do Not Meet Pool Code

Style A Residential Aluminum Double Gates

LANDMARK[®] SERIES

Designer Roofing Shingles



CertainTeed
SAINT-GOBAIN

LANDMARK® COLOR PALETTE



Silver Birch



Cobblestone Gray



Weathered Wood



Driftwood



Moire Black



Mission Brown



Resawn Shake



Cottage Red



Birchwood



Georgetown Gray



Colonial Slate



Pewter



Heather Blend



Burnt Sienna



Hunter Green



Atlantic Blue

HardiePlank®

Thickness 5/16 in
Length 12 ft planks

SELECT CEDARMILL® & SMOOTH

	Width	5.25 in*	6.25 in	7.25 in	8.25 in
Exposure	4 in		5 in	6 in	7 in
Prime Pcs/Pallet	360		308	252	230
ColorPlus Pcs/Pallet	324		280	252	210
Pcs/Sq	25.0		20.0	16.7	14.3

SELECT CEDARMILL®



	Width	5.25 in*	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™					✓
DREAM COLLECTION™	✓	✓	✓	✓	✓
PRIME	✓	✓	✓	✓	✓

* SMOOTH



	Width	5.25 in*	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™					✓
DREAM COLLECTION™	✓	✓	✓	✓	✓
PRIME	✓	✓	✓	✓	✓

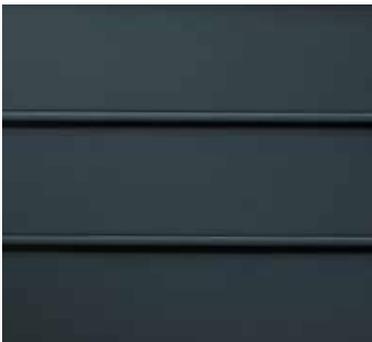
BEADED CEDARMILL®



BEADED CEDARMILL® & BEADED SMOOTH

Width	8.25 in
Exposure	7 in
ColorPlus Pcs/Pallet	210
Pcs/Sq	14.3
STATEMENT COLLECTION™	_____
DREAM COLLECTION™	✓
PRIME	_____

BEADED SMOOTH



*5.25 in widths not available in Virginia District for HZ5® product zones.

HardiePanel®

HardiePanel® vertical siding delivers style and substance. When combined with HardieTrim® boards, it achieves the rustic board-and-batten look that defines cottage charm. The covered seams contribute to a well-insulated home.

Its crisp, clean lines make HardiePanel vertical siding a smart choice for strong, contemporary designs.



HardiePanel®
Vertical Siding
Evening Blue

HardieTrim®
Batten Boards
Evening Blue

True to your needs of
PERFORMANCE AND BEAUTY.

HardiePanel®

Thickness 5/16 in

SELECT CEDARMILL®, SMOOTH, STUCCO & SIERRA 8

	Size 4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
Prime Pcs/Pallet	50	50	50
ColorPlus Pcs/Pallet	50	–	50
Pcs/Sq	3.2	2.8	2.5

SELECT CEDARMILL®



	Size 4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
STATEMENT COLLECTION™			✓
DREAM COLLECTION™	✓		✓
PRIME	✓	✓	✓



SMOOTH



	Size 4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
STATEMENT COLLECTION™			✓
DREAM COLLECTION™	✓		✓
PRIME	✓	✓	✓

STUCCO



	Size 4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
STATEMENT COLLECTION™			
DREAM COLLECTION™	✓		✓
PRIME	✓	✓	✓

SIERRA 8



	Size 4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
STATEMENT COLLECTION™			
DREAM COLLECTION™			
PRIME	✓	✓	✓

HardieTrim®

Form meets function at every angle with HardieTrim® boards. With an authentic look, HardieTrim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

Better than wood, it will complement your long-lasting, lower maintenance James Hardie® siding – adding punctuation to your design statement.

HardieTrim®
Boards
Khaki Brown

HardiePlank®
Lap Siding
Navajo Beige

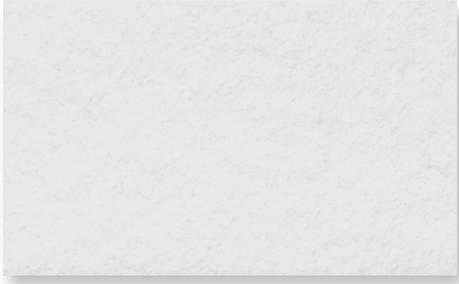
The performance you require.

THE DISTINCTIVENESS YOU DESIRE.

HardieTrim®

Length 12 ft boards

NT3® BOARDS SMOOTH



4/4 SMOOTH

Thickness	.75 in				
Width	3.5 in	5.5 in	7.25 in	9.25 in	11.25 in
ColorPlus Pcs/Pallet	312	208	156	104	104

STATEMENT COLLECTION™	✓	✓	✓	AW	✓
DREAM COLLECTION™	✓	✓	✓	✓	✓
PRIME					

5/4 SMOOTH

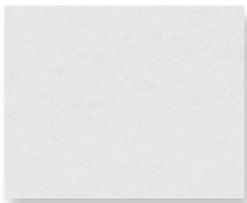
Thickness	1 in					
Width	3.5 in	4.5 in	5.5 in	7.25 in	9.25 in	11.25 in
ColorPlus Pcs/Pallet	240	200	160	120	80	80

STATEMENT COLLECTION™	✓	✓	✓	✓	AW	✓
DREAM COLLECTION™	✓	✓	✓	✓	✓	✓
PRIME						

AW - Arctic White only. Not available in the standard trim product Statement Collection™ color offering.

BATTEN BOARDS

SMOOTH



RUSTIC GRAIN®



SMOOTH & RUSTIC GRAIN®

Thickness	.75 in
Width	2.5 in
Prime Pcs/Pallet	190
ColorPlus Pcs/Pallet	437

STATEMENT COLLECTION™	✓
DREAM COLLECTION™	✓
PRIME	✓

HardieSoffit®

A home is only as strong as its weakest point. HardieSoffit® panels reinforce your work by protecting the vulnerable gap between eaves and exterior walls.

Available in vented, non-vented and a range of pre-cut sizes, these panels complete your design and help protect it from moisture and pests.

VENTILATION BENEFITS

Using vented soffit improves ventilation in the attic space and reduces the chance of water vapor condensation that can lead to issues such as mold and mildew growth, stained ceilings and damage to the framing of the house.

In warm climates, HardieSoffit panels allow hot, humid air to escape, which not only helps prevent condensation in the attic, but can also help reduce air conditioning costs.

In cool climates, HardieSoffit panels help prevent condensation from forming on the interior side of the roof sheathing and reduce the chances of roof-damaging ice dams.



HardieSoffit®
Panels
Dream Collection™
product

For complete confidence
EVERY DETAIL MATTERS.

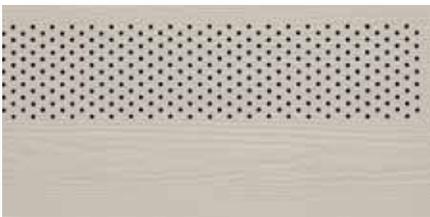
HardieSoffit®

Thickness 1/4 in

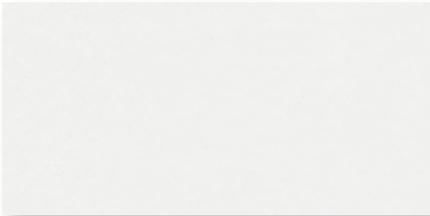
VENTED SMOOTH



VENTED SELECT CEDARMILL®



NON-VENTED SMOOTH



NON-VENTED SELECT CEDARMILL®



BEADED PORCH PANEL



VENTED SMOOTH & SELECT CEDARMILL®

Length	12 ft	12 ft	8 ft
Width	12 in	16 in	24 in
Prime Pcs/Pallet	200	150	100
ColorPlus Pcs/Pallet	216	156	50

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
STATEMENT COLLECTION™	✓		
DREAM COLLECTION™	✓	✓	✓
PRIME	✓	✓	✓

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
STATEMENT COLLECTION™			
DREAM COLLECTION™	✓	✓	✓
PRIME	✓	✓	✓

NON-VENTED SMOOTH & SELECT CEDARMILL®

Length	12 ft	12 ft	8 ft	8 ft
Width	12 in	16 in	24 in	48 in
Prime Pcs/Pallet	200	150	100	50
ColorPlus Pcs/Pallet	216	156	50	–

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
STATEMENT COLLECTION™	✓	AW	AW	
DREAM COLLECTION™	✓	✓	✓	
PRIME	✓	✓	✓	✓

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
STATEMENT COLLECTION™				
DREAM COLLECTION™	✓	✓	✓	
PRIME	✓	✓	✓	✓

BEADED PORCH PANEL

Thickness	1/4 in	STATEMENT COLLECTION™	_____
Length	8 ft	DREAM COLLECTION™	✓
Width	48 in	PRIME	✓
Prime Pcs/Pallet	50		
ColorPlus Pcs/Pallet	50		

AW - Arctic White only. Not available in the standard trim product Statement Collection™ color offering.

STATEMENT COLLECTION™

Make your next home stand out with our Statement Collection™ products. Carefully curated by our design experts specifically for your market, the collection brings together the most popular James Hardie ColorPlus® siding and trim styles, textures, and colors. This stunning selection is locally stocked and designed for simplicity - making it easier than ever to get a beautiful, long-lasting home exterior.

ColorPlus® Technology

Plank, Panel, Shingle and Batten Color Offering



Trim Color Offering



Soffit Color Offering



Colors shown are as accurate as printing methods will permit. Please see actual product sample for true color.

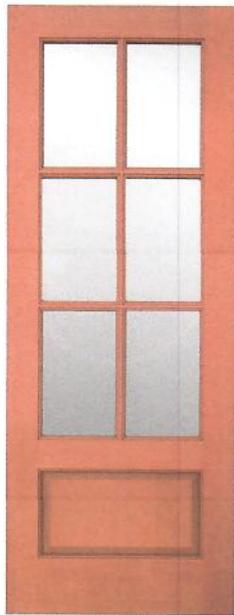


Authentic Wood Exterior Doors 5106-8'0" Glass Panel

Many options will influence the price of your door.
To get an estimate, contact your JELD-WEN dealer.

WHERE TO BUY (/EN-US/WHERE-TO-BUY?PID=148330)

GET HELP ON YOUR PROJECT (/EN-US/GET-HELP?PID=148330&JWCT_GETHELP=PRODUCTPAGE)



Model Overview

PROJECT TYPE

New construction and replacement

MAINTENANCE LEVEL

Moderate

WARRANTY

5 Year Warranty

GLASS

Energy efficient.

HARDWARE

1 Hinge Option
3 Hinge Finishes

CONSTRUCTION

Construction

MATERIALS

2 Wood Options

EXTRAS

Sidelights Available

Model Details & Options

Authentic Wood Exterior Door: 5106-8'0" Glass Panel

Materials

WOOD OPTIONS



Hemlock

This wood features a fine-textured, straight-grained appearance. It is light and bright in color, varying from a creamy, nearly white to a light, straw-red color. Sometimes hemlock may have a slight lavender cast, especially around the knots and in the transition area between the spring and summer wood growth rings. This wood often contains small mineral deposits, but is free of pitch and is not likely to splinter. While wood darkens over time with exposure to sunlight, hemlock often remains true to its original, freshly milled pastel color. Accepts stain and paint well.



Authentic Wood Exterior Door: 5106-8'0" Glass Panel

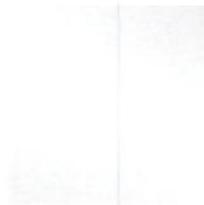
Meranti Mahogany

One of the most recognizable species and is typically used for the finest furniture and cabinetry. Its color ranges from reddish brown to a deep, rich red and it stains well for a superior finish. The wood displays a prominent growth ring figure, with grain that is straight or interlocked. This wood offers less expansion and contraction than most other hardwoods. Meranti mahogany is open grained so it needs grain filler when finishing.

Glass

ENERGY EFFICIENT GLASS

Our optional high-performance Low-E insulating glass lowers energy costs, helps homes stay cooler in the summer and warmer in the winter, reducing the fading of interior furnishings and condensation. It also delivers greater visible light transmittance than tinted glass. Clear glass consists of two panes of glass, sealed with an airspace and the perimeter of the unit is sealed. This option offers maximum visible light transmittance and superb energy efficiency in most climates. With Low-E glass, ENERGY STAR® qualified versions of this product are likely available. This means they meet or exceed the minimum energy efficiency criteria for your climate region. For more information, ask your dealer how to order JELD-WEN ENERGY STAR qualified products specific to your area.



Clear



Clear Bevel

Hardware

HINGE OPTIONS

Authentic Wood Exterior Door: 5106-8'0" Glass Panel

**Hinges**

Our hinges are available in three different finishes, so you can choose one to match or complement the other hardware for your door.

HINGE FINISHES

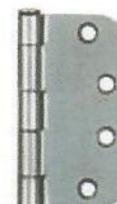
Our hinges are available in three different finishes, so you can choose one to match or complement the other hardware for your door. Our hinges are available in three different finishes, so you can choose one to match or complement the other hardware for your door.



Brass Hinge (US3)



Bronze Hinge (US10B)

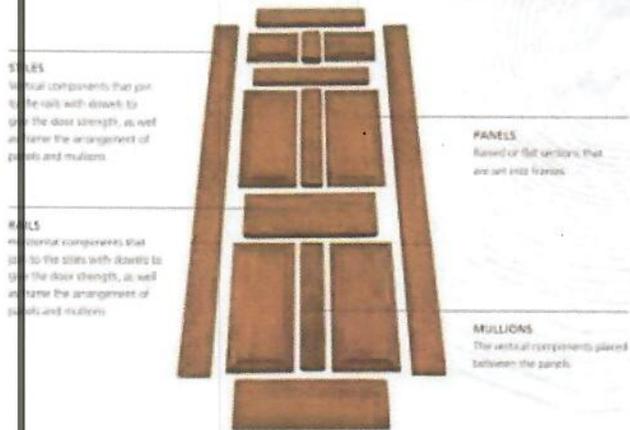


Nickel Hinge (US15)

Construction & Framing

CONSTRUCTION

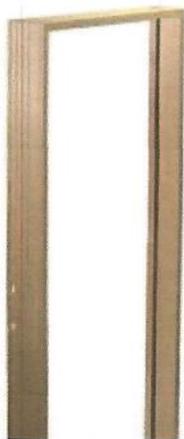
Authentic Wood Exterior Door: 5106-8'0" Glass Panel



Construction

A wood door is not just a slab of wood. Wood doors are often called stile and rail because of the individual components that come together to make up the door. Stiles, rails, panels and mullions are machined with great accuracy and attention to detail to ensure a perfect fit. It takes skilled craftsmen many hours to build doors that live up to our quality and aesthetical standards. JELD-WEN® Authentic Wood Doors are constructed with beauty in mind and lasting performance at heart. Traditionally, wood doors were made using stile and rail components machined out of solid lumber. Wood is a living organism that expands and contracts based on changes in temperature and humidity, and the bigger the piece, the more it moves. Many older wood doors show signs of these “changes” with warped stiles or split panels. JELD-WEN Authentic Wood Doors feature an “engineered” core construction with premium wood veneers on top for the best performance and stain finish quality, as well as matching solid wood sticking and edgebands for an even stain match. With JELD-WEN’S Authentic Wood Doors, your doors are truly reliable to the core.

FRAME OPTIONS

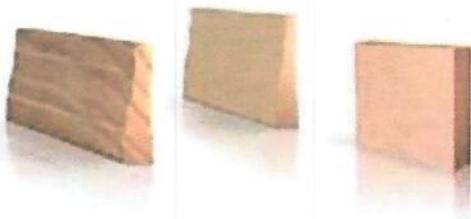




Authentic Wood Exterior Door: 5106-8'0" Glass Panel

AuraLast Wood Frames

AuraLast The Worry-Free Wood® Exterior Door Frame is the industry's only all-pine, worry-free frame. It can be tooled and machined like standard wood frames, but delivers the durability of a more expensive, less versatile - and less attractive - composite frame. Each AuraLast wood door frame provides superior, environmentally friendly protection against wood decay, water saturation and termites, and this protection will not be compromised when the surface is broken during installation (unlike traditional dip-treated wood). AuraLast The Worry-Free Wood frame is available in finger-joint pine, primed for painting and clear pine for staining. The frame also stains evenly and consistently.



Casings

Our casing selection allows you to choose the perfect interior door trim for your home's architectural style. We offer a range of sizes in three general styles. All casing options will match the wood option chosen for your door. Casings are available in 2-1/4" Colonial (left), 3-1/4" Colonial (middle) and 2-1/4" Flat or Craftsman (right).

Energy & Sustainability

SUSTAINABLE SOLUTIONS



JELD-WEN.
WINDOWS & DOORS

W-2500 Wood With Traditional Sash
Clad-Wood Window
Double-Hung

Architectural Design Manual



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Trim & Sill Nose Options	8
Mullion Options	9

Section Details

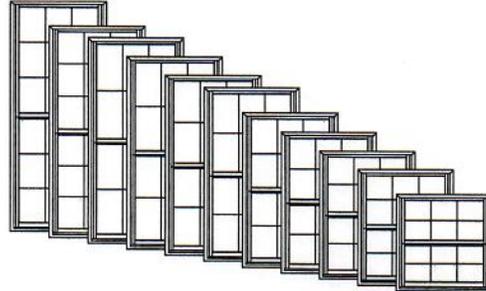
Operator Sections	10
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Pocket Operator Sections	12
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GENERAL INFORMATION



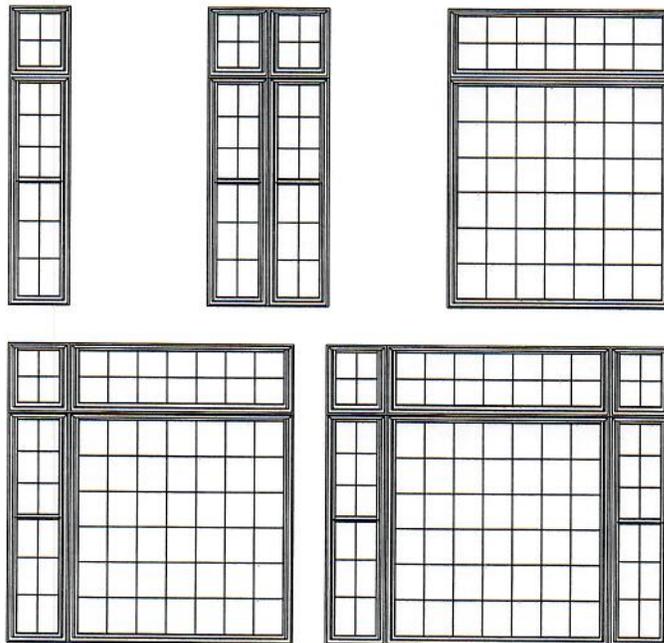
Dimensional Windows

W-2500 With Traditional Sash Clad-Wood Double-Hung windows may be specified as "dimensional", by adjusting the desired rough opening width or height.

W-2500 With Traditional Sash Clad-Wood Double-Hung windows are available in operating or stationary (non-venting) configurations.

Multiple Assemblies

W-2500 With Traditional Sash Clad-Wood Double-Hung windows may be mullered to other clad-wood awning windows, or to other clad-wood window products to fulfill a variety of architectural design needs.

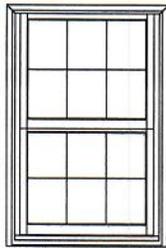




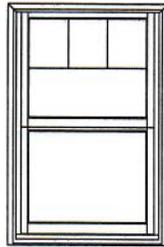
GRID PATTERNS

W-2500 With Traditional Sash Clad-Wood Double-Hung windows are available with removable grilles, Grilles Between Glass (GBG), or Simulated Divided Lites (SDL) in various widths and styles. The standard grid patterns are shown below.

Special grid patterns can include a wide variety of straight line and radius patterns. Non-standard patterns are subject to factory approval.



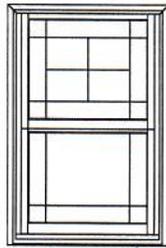
Colonial



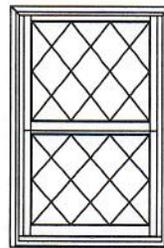
Colonial From Top Down



Prairie



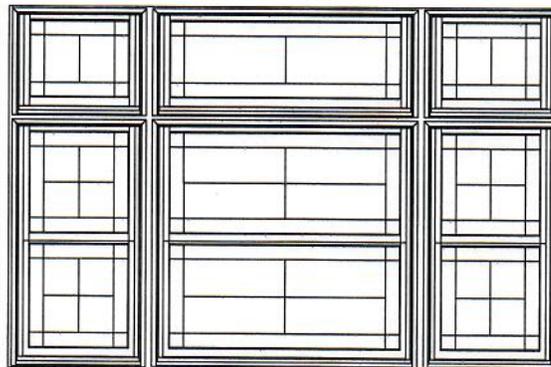
Uneven



Diamond

Bar Alignment

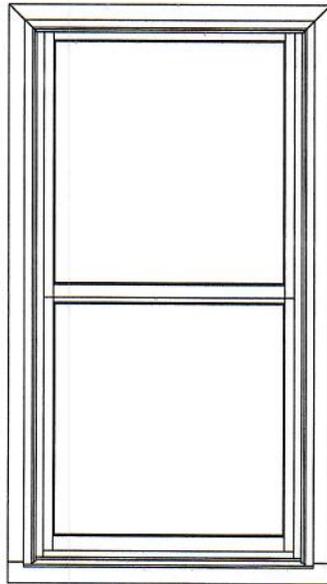
Alignment of bars from product to product is often required by fine architectural design. SDL, GBG, and wood grilles may be specified with bars aligned.



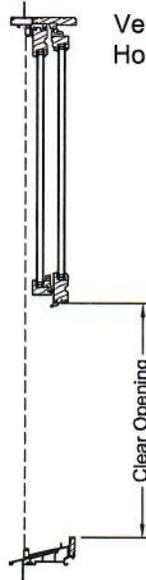


CLEAR OPENING FORMULAS & OPERATION

Clear Opening Formulas



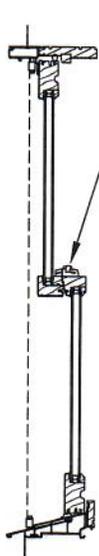
Standard Sash



Clear Opening Formulas
Vertical: $(\text{Frame Height} / 2) - 3 \frac{15}{16}"$
Horizontal: $\text{Frame Width} - 3 \frac{9}{16}"$

Daylight Opening Formulas
Vertical: $(\text{Frame Height} / 2) - 3 \frac{5}{16}"$
Horizontal: $(\text{Frame Width} - 5 \frac{11}{32}"$

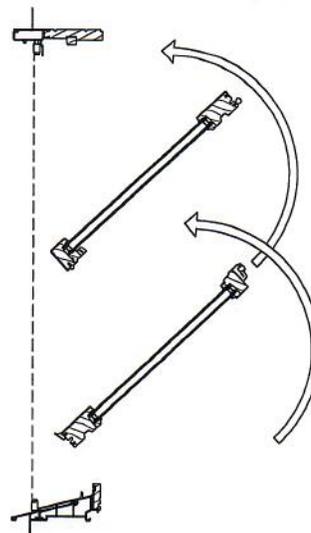
Operation & Sash Tilting



Double-Hung Operation:
When the sash are locked at the check rails the sash are closed and sealed in the sash opening of the frame.



When the sash are unlocked the lower sash travels vertically to any position desired. The upper sash can also be positioned as desired.



Sash Tilting for Washing:
The W-2500 With Traditional Sash Clad Double-Hung window will allow the sash to be tilted or removed for easy cleaning.

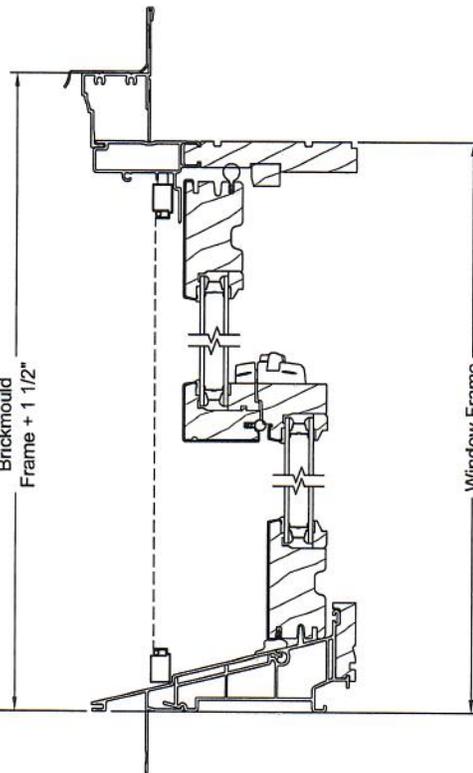
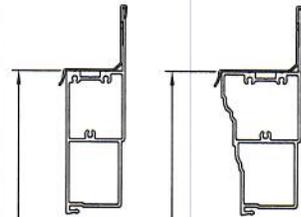
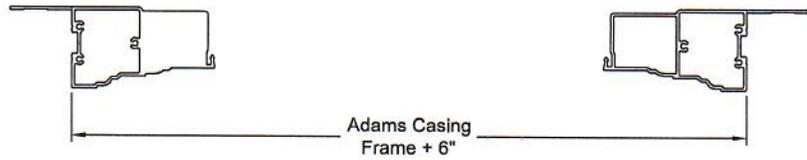
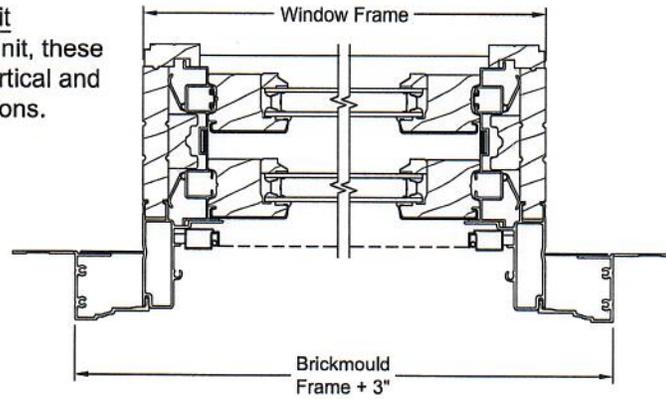


UNIT SIZING

Trim - 4 Sides of Unit
When applied to 4 sides of unit, these dimensions apply to both vertical and horizontal window sections.

Rough Opening
The frame size of the window plus 3/4"

Masonry Opening
The overall size of the window, including trim, plus 1/2".

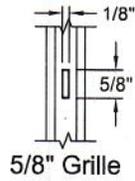


Trim - 3 Sides of Unit
When applied to 3 sides of unit, with Standard Sill Nose, these dimensions apply to vertical window sections only.

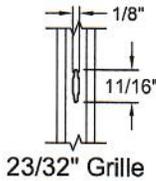


GRID & GLAZING OPTIONS

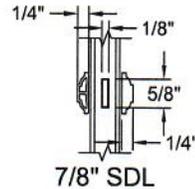
Operating Grilles



5/8" Grille

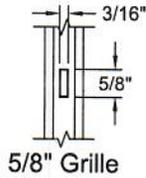


23/32" Grille

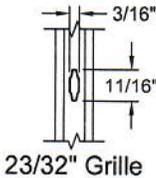


7/8" SDL

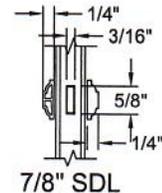
Picture Grilles



5/8" Grille

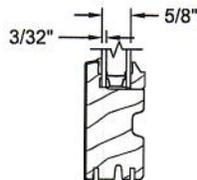


23/32" Grille

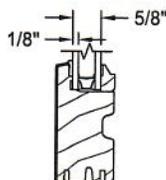


7/8" SDL

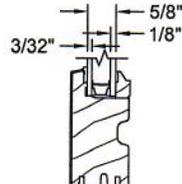
Glazing Options



Double-Hung
SS//SS



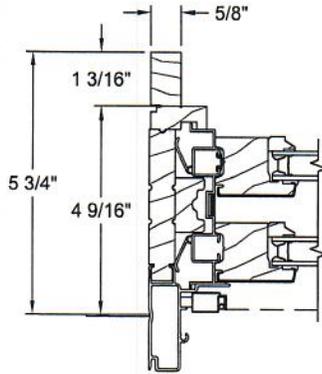
Double-Hung
DS//DS



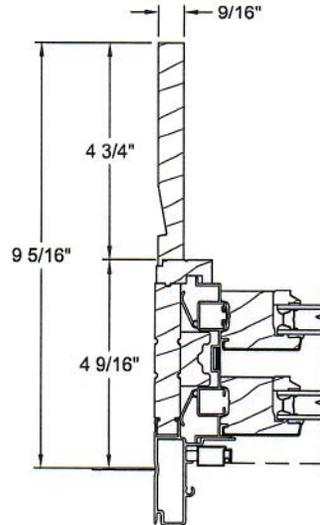
Double-Hung CA
Urban Fire Code



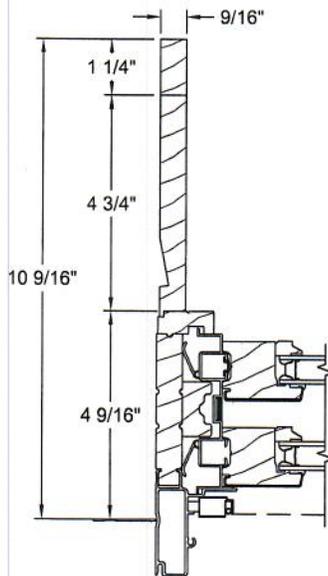
JAMB EXTENDER & PREP FOR STOOL OPTIONS



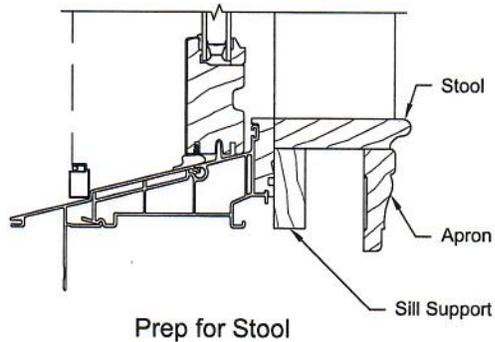
5 3/4" Wall 4/4 (21/32")
Jamb Thickness (Option)



9 5/16" Wall Max
1-PC Jamb Extender



10 9/16" Wall
Max Wall Depth

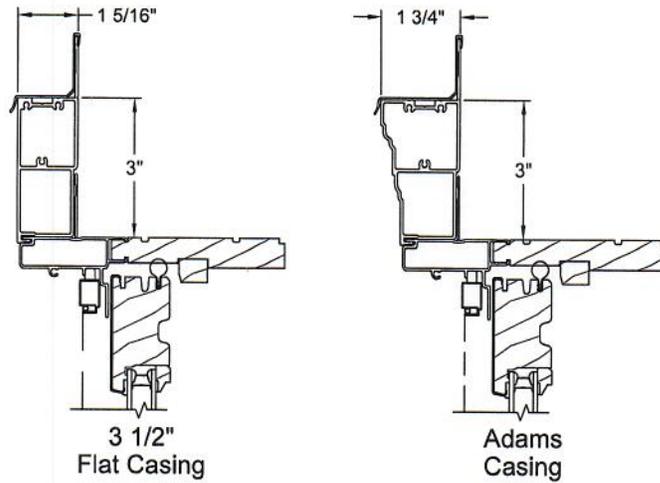
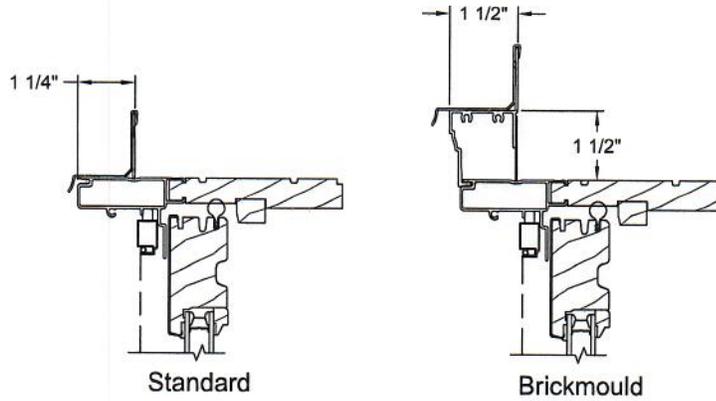


Note: Stool, apron, and sill support are applied by trim carpenter after window is installed and are not provided by JELD-WEN. Unit is shipped without sill jamb extenders.

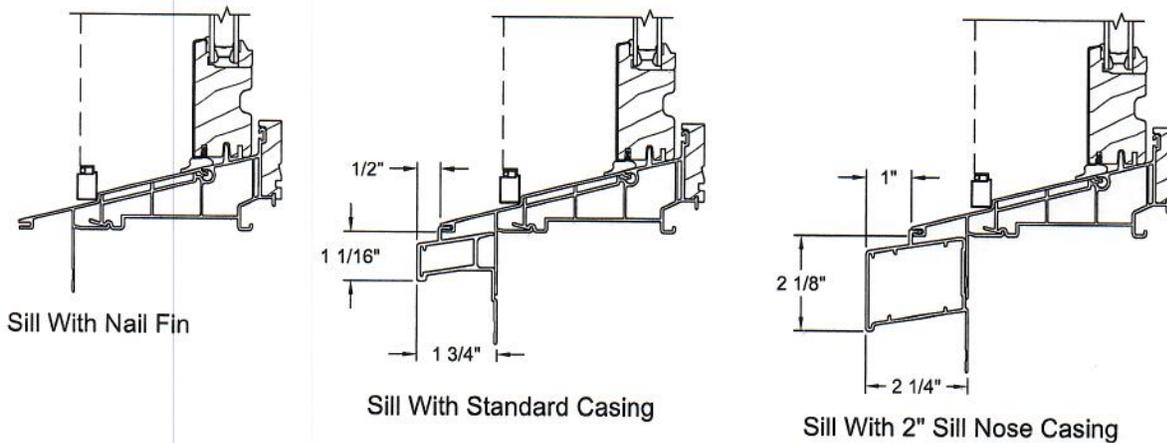


TRIM & SILL NOSE OPTIONS

Trim Options

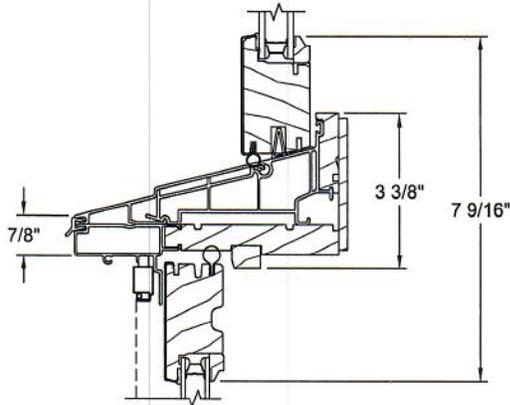


Sill Nose Options

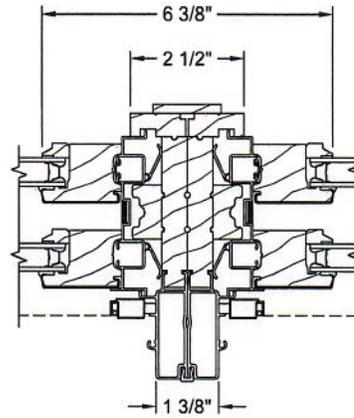




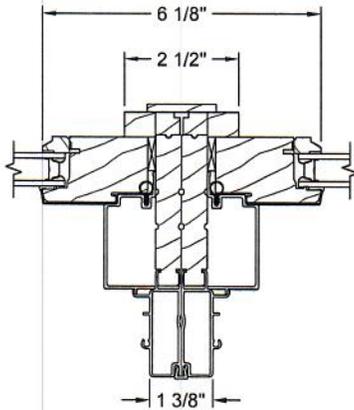
MULLION OPTIONS



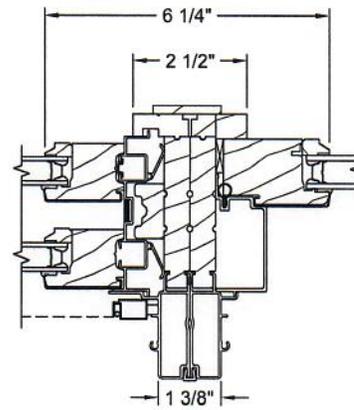
Double-Hung
Picture/Transom



Double-Hung / Double-Hung



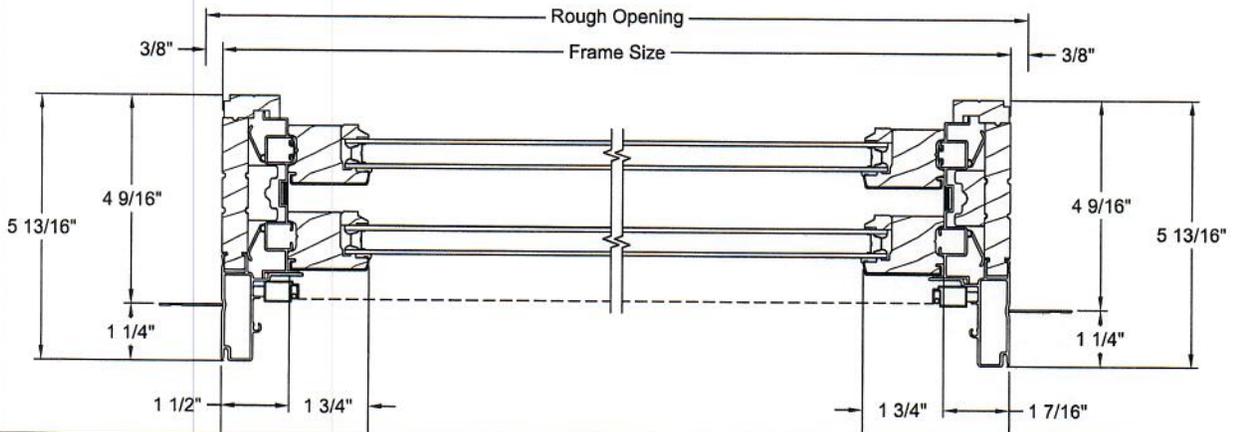
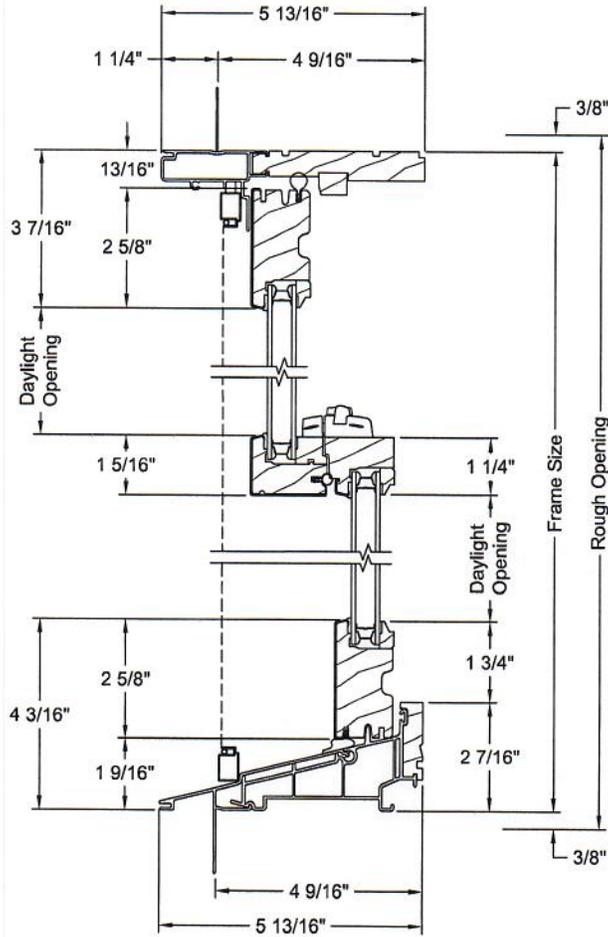
In-Sash Picture/Transom / In-Sash Picture/Transom



Double-Hung / In-Sash Picture/Transom

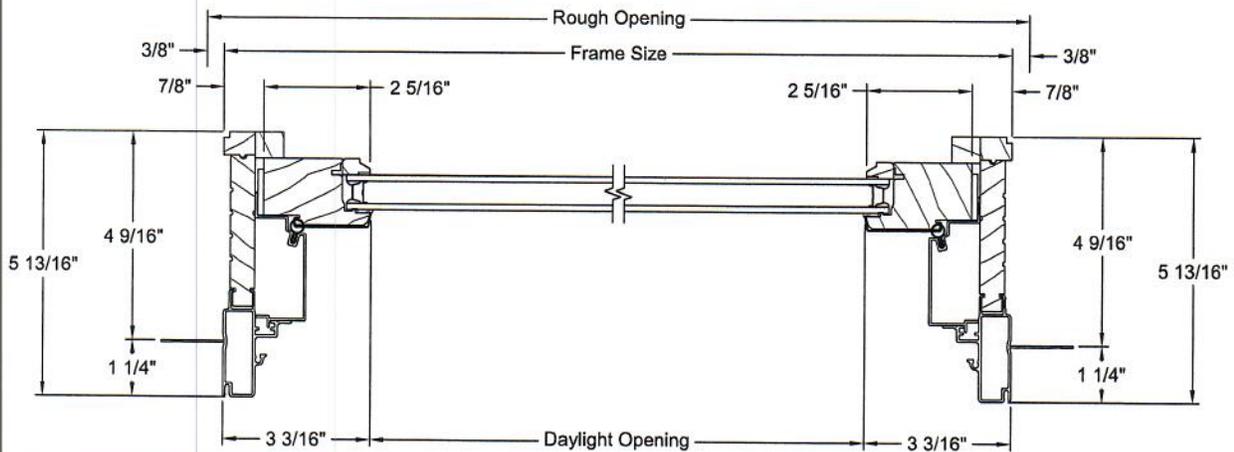
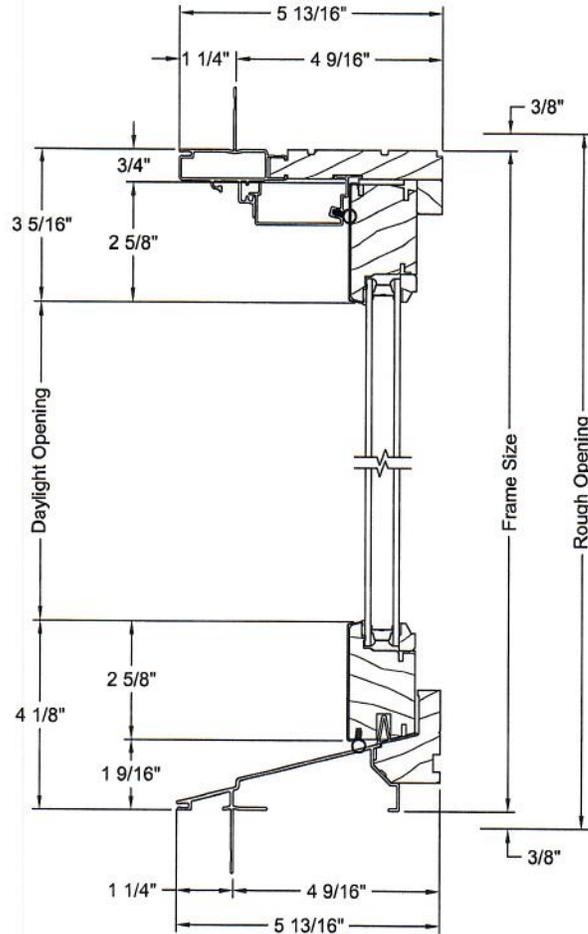


STANDARD OPERATOR



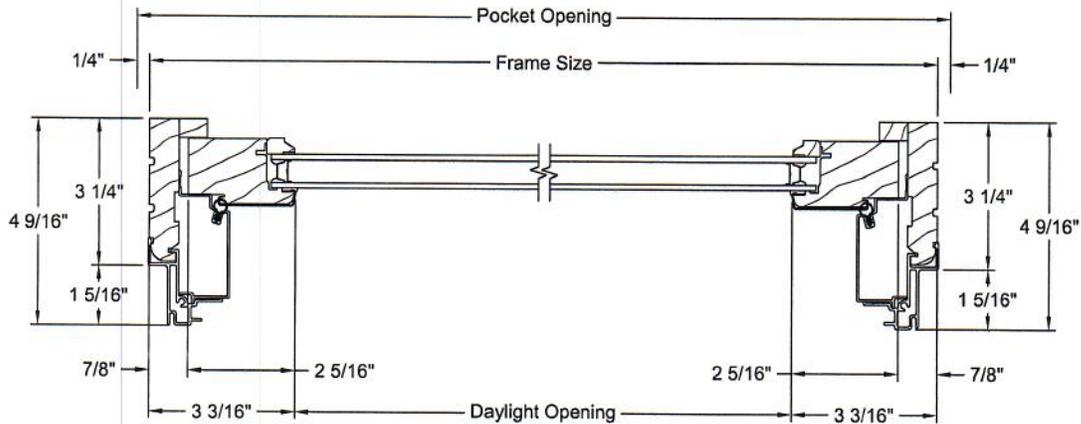
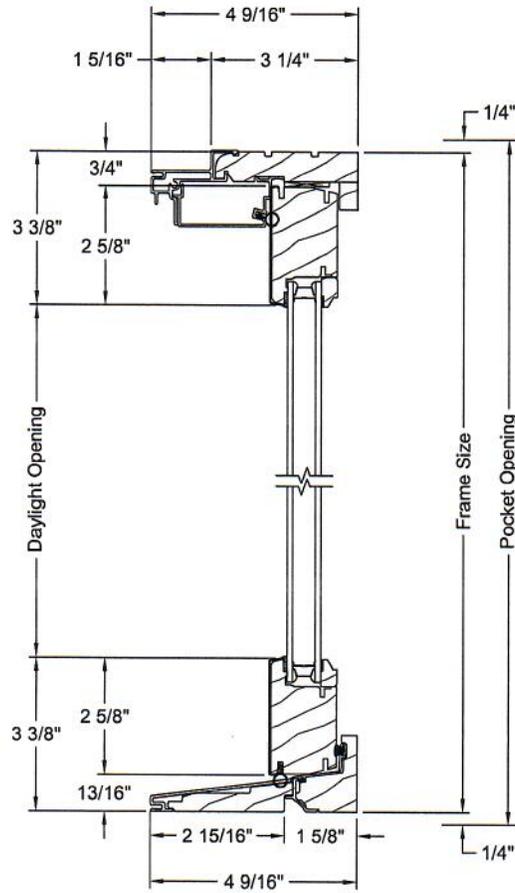


STANDARD STATIONARY



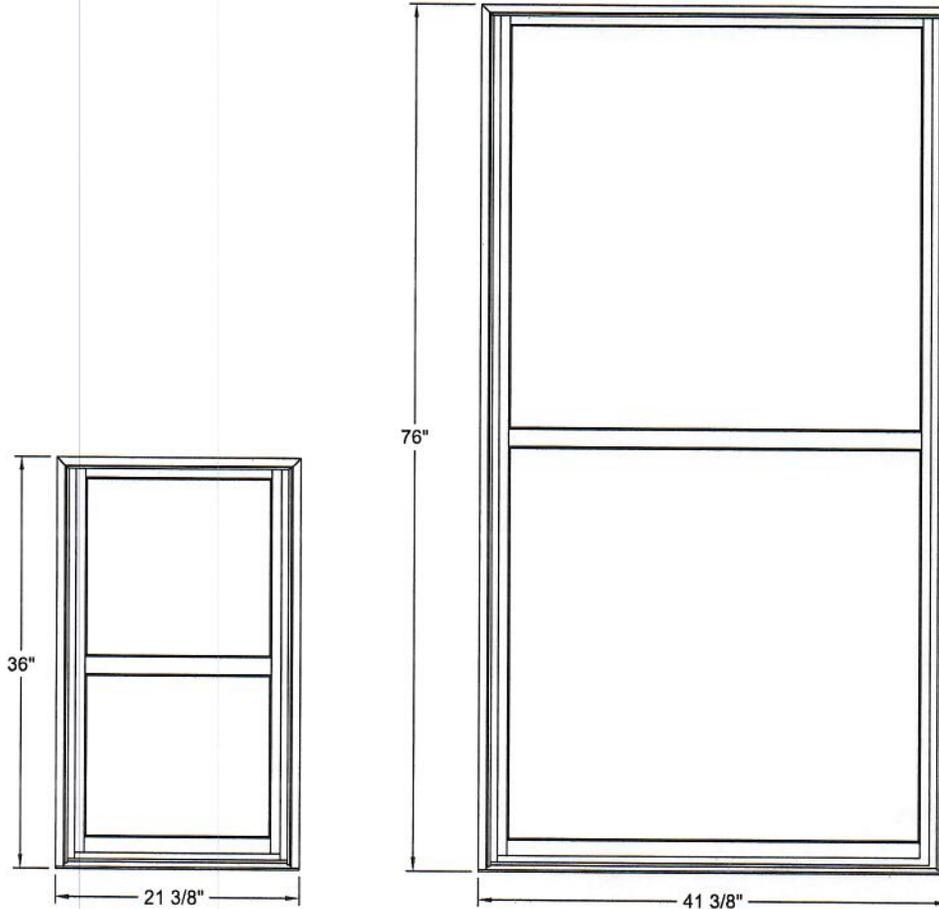


POCKET STATIONARY





MIN - MAX SIZING



Minimum Size

Maximum Size

Standard Widths				
21 3/8"	25 3/8"	29 3/8"	33 3/8"	41 3/8"

Standard Heights				
36"	40"	48"	52"	56"
60"	64"	68"	72"	76"

Standard Widths - Nominal				
19 1/4"	23 1/4"	27 1/4"	31 1/4"	35 1/4"

Standard Heights - Nominal				
36 1/4"	41 1/4"	47 1/4"	53 1/4"	59 1/4"
65 1/4"	71 1/4"			



JELD-WEN.
WINDOWS & DOORS

W-2500 Wood
Wood Window
Double-Hung Sash Pack

Architectural Design Manual

CRILL PROPIET

PURITY CLAS 26 OL THIS



TABLE OF CONTENTS

Product Information

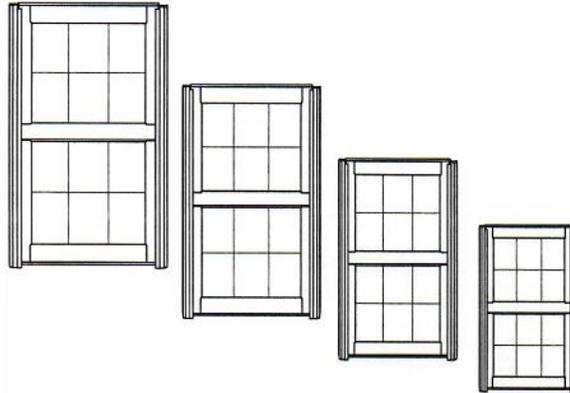
General Information.....	2
Grid Patterns	3
Grid Options	4

Section Details

Operator Sections	5
Stationary Sections	6



GENERAL INFORMATION



Clad-Wood Sash Pack

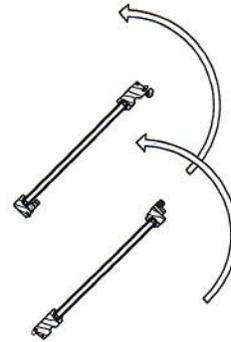
The W-2500 Wood Double-Hung Sash Pack is designed to be a sash replacement for your current double-hung windows. They are built to your specific width and height requirements. W-2500 Wood Double-Hung Operator Sash Packs feature fully operating upper and lower sashes which can be tilted or removed for easy cleaning, as well as two jamb liners and a head stop. The Stationary Sash Pack contains only the one required sash.



Sash Closed



Upper & Lower
Sash Operating



Sash Tilting

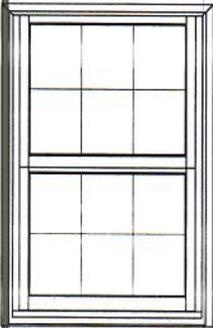
Wood Double-Hung Sash Pack Min/Max Sizing	
Size	Width x Height
Minimum Size	20" x 30"
Maximum Size: Width	44" x 78"
Maximum Size: Height	36" x 90"



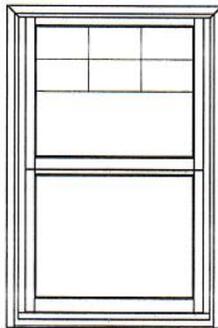
GRID PATTERNS

W-2500 Wood Double-Hung windows are available with removable grilles, Grilles Between Glass (GBG), or Simulated Divided Lites (SDL) in various widths and styles. The standard grid patterns are shown below.

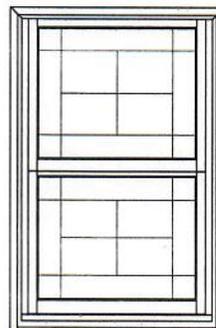
Special grid patterns can include a wide variety of straight line and radius patterns. Non-standard patterns are subject to factory approval.



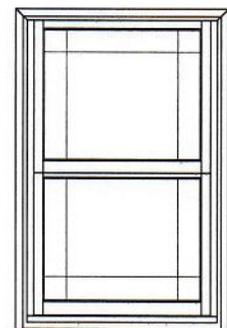
Colonial



Colonial From
Top Down



Uneven



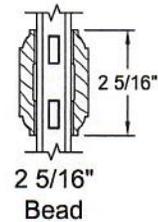
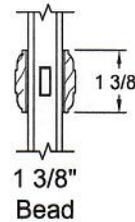
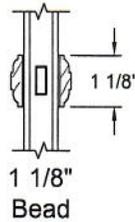
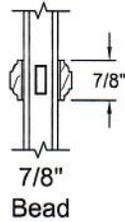
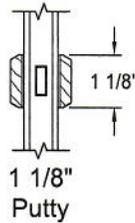
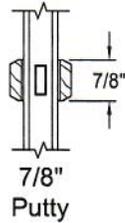
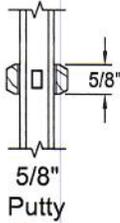
Prairie



GRID OPTIONS

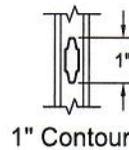
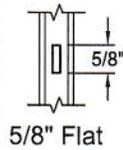
Exterior ← → Interior

SDL Options

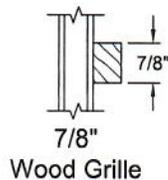
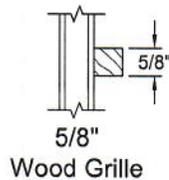
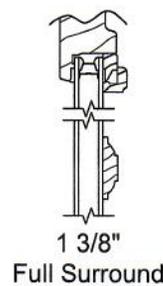
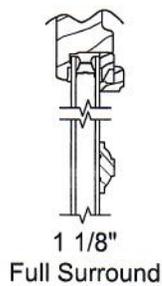
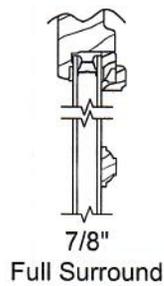


Note: Various Combinations of the SDL Bars Shown are Available

GBG Options

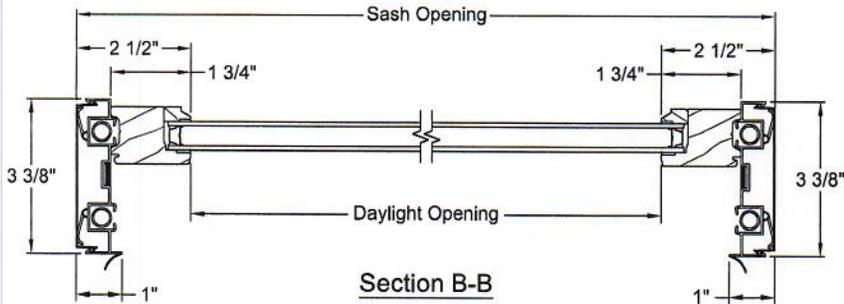
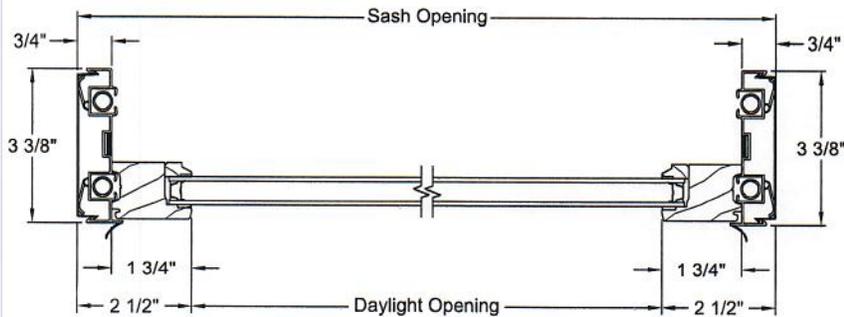
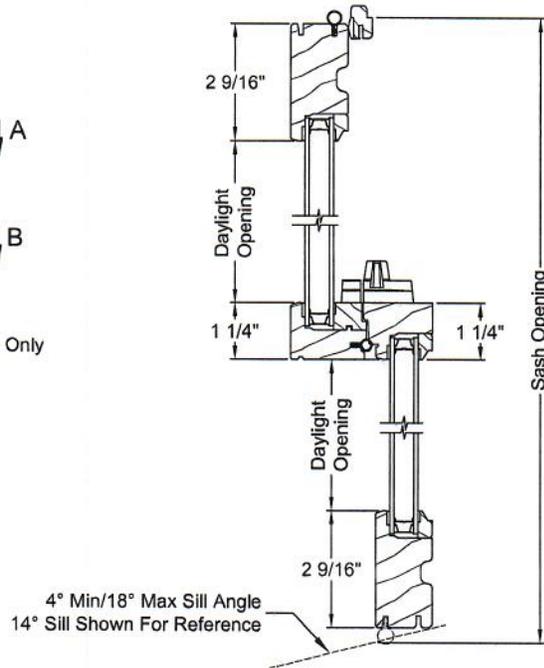
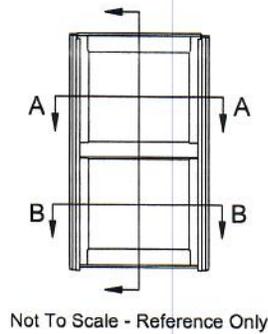


Grille Options





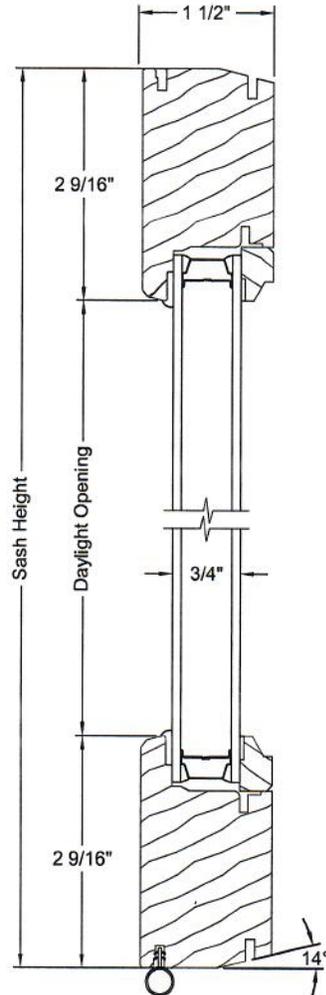
OPERATOR SECTIONS



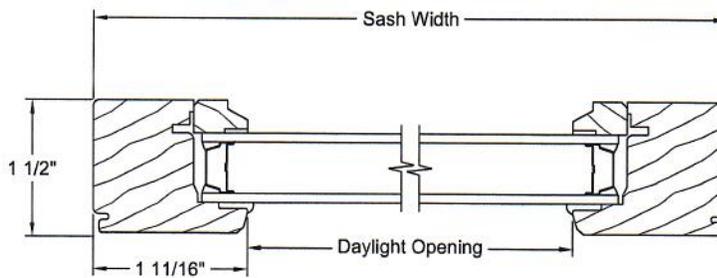
Note: Operator Sash Pack Consists Of Upper & Lower Sash With 2 Jamb Liners And A Head Stop.



STATIONARY SECTIONS



Vertical Section



Horizontal Section

Note: Stationary Sash Pack contains only one sash.



MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: October 7, 2020 (for the October 12, 2020 meeting)
SUBJECT: Certificate of Appropriateness for exterior alteration at 806 Princess Anne Street

ISSUE

John Nere requests approval to construct an accessible entry ramp along the south side of this commercial building.

RECOMMENDATION

Approval of the Certificate of Appropriateness for the request with the following conditions:

1. The Trex decking will have a smooth finish without faux graining.
2. The skirt boards/trim will be constructed of wood or a composite material with a smooth, painted finish.

A final vote on the application cannot occur until October 26, 2020 due to the required procedures for electronic meetings.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

Standard 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Standard 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

BACKGROUND

This commercial building was constructed c.1810 in the Greek Revival style. One-and-one-half stories in height and topped by a front-gabled roof, the building is constructed of brick laid in American bond and rests on a solid, stucco-covered foundation. The roof is covered in standing seam metal with a heavy, molded bargeboard, cornice returns, and a frieze. A series of gabled dormers, added in 2016, rise from the roof slopes. There is a single lunette window with a heavy

molded surround in the gable end. Nine-over-nine, wood, double-hung sash windows are typical. The entrance on the façade has a single-leaf, paneled wood door with ornate molded surround, pediment, and tracery fanlight. The dwelling is a contributing structure in the Historic District. The applicant proposes to construct an ADA-accessible ramp in the narrow alley between the subject building and the neighboring structure at 804 Princess Anne Street. The ramp will start approximately two feet back from the front wall of the building and extend back to a raised, paved area at the rear of the building. The accessible entry on the rear elevation is not visible. The 36-inch wide ramp will be set 18 inches off of the building wall and abut the side wall of the neighboring building.

The ramp will be constructed of wood framing topped with Trex PVC decking. Freestanding, black-painted, steel railings will line both sides of the ramp. PVC skirt boards are proposed to line the north side to hide the gap and framing under the ramp. The ramp design and location are compatible with the character of the site and the district; however, it is recommended that an alternate material be used for the skirt boards. PVC decking with a smooth finish has generally been considered acceptable for use in the Historic District due to the limited visibility of installation locations; however, the skirt boards should be constructed of a material that has a smooth painted finish, such as Boral or a similar composite. With these conditions, approval of the application is recommended.

APPROVAL CRITERIA

Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

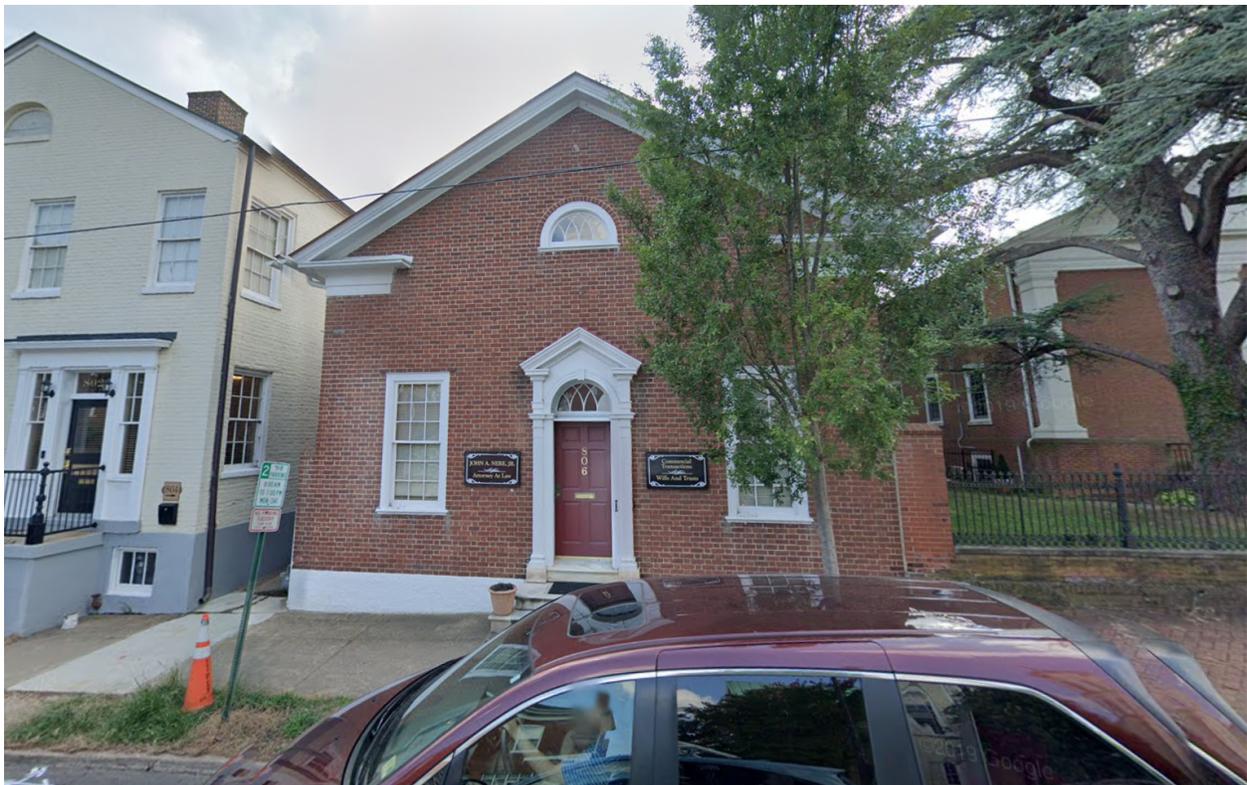
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		X	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

1. Aerial photograph and front elevation view
2. Views from the public right-of-way
3. Existing conditions drawing
4. Design details



AERIAL



FRONT (EAST) ELEVATION



Existing Conditions

N/F
 TRUSTEES OF THE PRESBYTERIAN CHURCH FREDERICKSBURG, VIRGINIA
 LR # 20020001868
 PB 17 PG. 116
 GPIN #7789-14-3570
 810 PRINCESS ANNE STREET

N:6794555.01
 E:11781391.14

N 27°02'10" W 21.37'

N/F
 CYMROT
 DB 216 PG 522
 GPIN #7789-14-4540
 800 PRINCESS ANNE STREET

ALLEY WAY IS AN EGRESS/EGRESS
 EASEMENT FOR 800 AND
 804 PRINCESS ANNE STREET PER
 DEED BOOK 54 PAGE 192
 DEED BOOK 78 PAGE 1
 DEED BOOK 191 PAGE 117

N:6794548.85
 E:11781412.82

N 26°24'03" W 15.13'

PROPERTY LINE ALONG
 FACE OF WALL
 PER DB 60 PG. 173

N/F
 CYMROT
 DB 216 PG 522
 GPIN #7789-14-4540
 800 PRINCESS ANNE STREET

ALLEY 8.0'

AC UNIT

GUTTER

14.5'

EXISTING BUILDING

2 STORY BRICK BUILDING
 #806 PRINCESS ANNE STREET
 GPIN #7789-14-4527
 1807 SF

N/F
 APL LLC
 LR # 090000664
 GPIN #7789-14-4534
 804 PRINCESS ANNE STREET

S 63°30'33" W 39.67'

ALLEY

PROPERTY LINE ALONG
 FACE OF WALL
 DB 54 PG 192

4' EASEMENT
 DB 54 PG. 192

0.7' ROOF OVERHANG & GUTTER

1.1' ROOF OVERHANG

31.0'

SURVEYOR'S SEAL

74.68' TO CONC POST
 (74.83 DEEDS)
 HANOVER STREET

BUILDING
 CORNER
 0+0.15

ROOF OVERHANG

3.2'
 1.4'
 CONC STEPS

ROOF OVERHANG

DRILL
 HOLE
 0+0.16

1.4' CONCRETE SKIRT
 N 63°14'55" E 56.06'

1.1' ROOF OVERHANG
 BRICK WALL

BRICK WALL

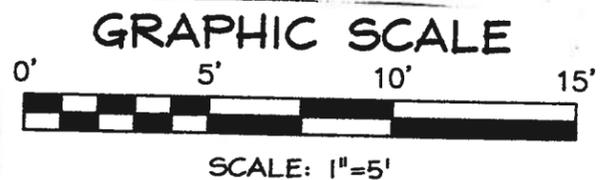


The KNISELEY GROUP, Inc.
 LAND DEVELOPMENT CONSULTANTS

LAND PLANNING
 LAND SURVEYING
 SURVEY ENGINEERING

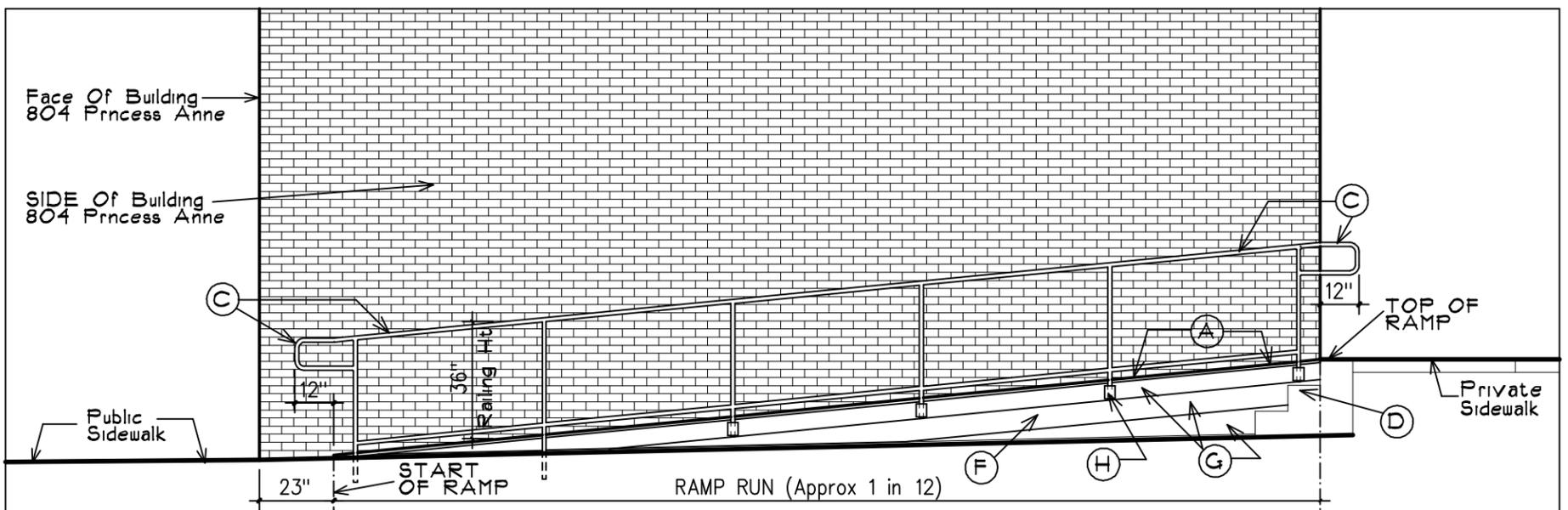
705 CAROLINE STREET
 FREDERICKSBURG, VA 22401
 PHONE: 540.656.2092
 FAX: 540.656.2094

SIDEWALK



BOUNDARY SURVEY
 806 PRINCESS ANNE STREET
 THE LAND OF
 JOHN A. NERE, JR.

PRINCESS ANNE STREET
 60' R/W

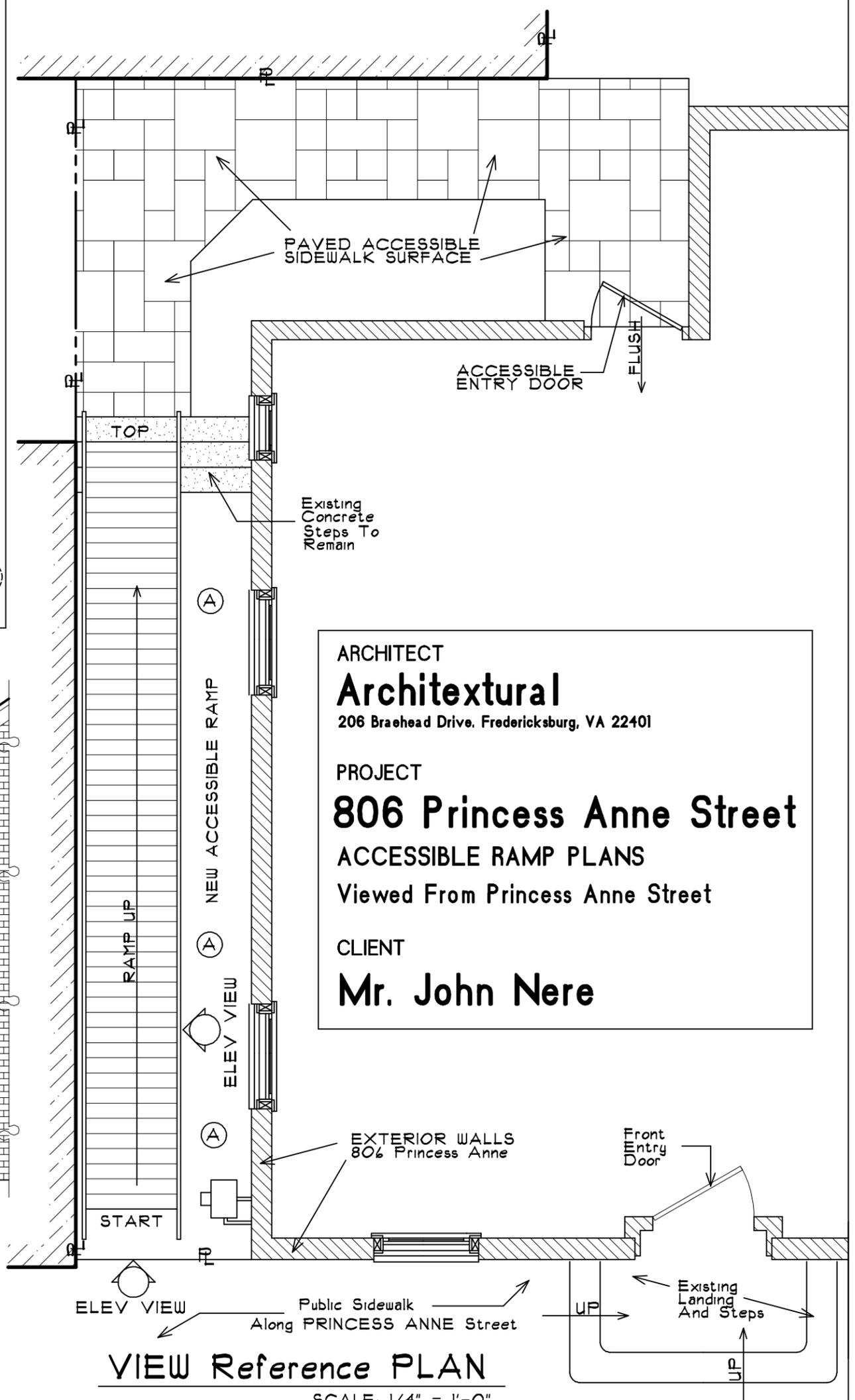


RAMP SIDE ELEVATION

SCALE: 1/4" = 1'-0"

KEY to Note Bubbles

- A = TREX PVC Decking For Ramp Surface
- B = TREX PVC Edge Decking Boards
- C = Steel Railings Painted Black
- D = Exist. Concrete Steps To Remain
- E = Exist Gas Meter
- F = Pressure Treated Lumber Structure Supporting Ramp
- G = PVC (White) Trim Skirt Boards
- H = Steel Brackets (Black) Anchoring Railing To Skirt Boards
- J = Free Standing Rails (Not Attached To Adjacent Walls)**



ARCHITECT

Architextural

206 Braehead Drive, Fredericksburg, VA 22401

PROJECT

806 Princess Anne Street

ACCESSIBLE RAMP PLANS

Viewed From Princess Anne Street

CLIENT

Mr. John Nere

RAMP ENTRY ELEVATION

SCALE: 1/4" = 1'-0"

REV 1 = 10/01/2020

VIEW Reference PLAN

SCALE: 1/4" = 1'-0"



MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: October 7, 2020 (for the October 12, 2020 meeting)
SUBJECT: Certificate of Appropriateness for exterior alteration at 101-103 William Street

ISSUE

Thomas Mitchell requests to replace fourteen wood windows and two entry doors at this commercial property.

RECOMMENDATION

Approval of the Certificate of Appropriateness for the following project components:

1. Replacement of the two entry doors and window 10, including modifications to the masonry openings, as proposed.
2. Installation of window #4 in the covered opening as proposed.

The replacement of windows 1, 2, 3, 5, 6, 7, 8, 9, 11, 12, 13, and 14 should be continued to allow for further assessment. Repair and replacement of wood framing and sills in-kind is recommended. The existing sashes should be repaired and consolidated where possible. If sashes are beyond repair, the applicant should pursue individual sash replacements rather than complete new window units.

A final vote on the application cannot occur until October 26, 2020 due to the required procedures for electronic meetings.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

Windows (*Historic District Handbook*, pg. 84-85)

1. Retain original windows.
2. Keep painted surfaces well painted.
3. Avoid water infiltration by ensuring caulk and glazing putty are intact and in good condition.
4. Ensure sills slope away from the building so water will run off rather than forming puddles.
5. Repair original windows by patching, splicing, consolidating, or reinforcing. Wood may appear to be rotten because of peeling paint or separation of joints, yet still be

sound and able to be repaired. Rotted parts can be replaced, as necessary, without replacing the entire window.

6. Windows should only be replaced when they are missing or beyond repair. Replacement should be based on physical evidence and photo documentation rather than the availability of stock windows or windows from other buildings. Avoid changing the physical and visual characteristics of windows by using inappropriate materials or finishes that alter the sash, depth of reveal, muntin configuration, glazing, or appearance of the frame.
7. Avoid changing the number, location, size, or glazing pattern of a building's windows by cutting new openings, enlarging existing openings, blocking in windows, or installing replacement sash that does not fit the window opening.
8. Uncover and repair covered-up windows. If a window is no longer needed for its intended use, it should be retained (even if the interior opening is covered). In these instances, the glass can be frosted or painted black, or the window shuttered so it appears from the exterior to be used.

Doors (Historic District Handbook, pg. 89)

1. Retain original doors.
2. Repair original doors by patching, splicing, consolidating, or reinforcing. Wood may appear to be rotten because of peeling paint or separation of joints, yet still be sound and able to be repaired. Rotted parts can be replaced, as necessary, without replacing the entire door.
3. Doors should only be replaced when they are missing or beyond repair. Replacement should be based on physical evidence and photo documentation rather than the availability of stock doors or doors from other buildings. Avoid changing the physical or visual character of doors by using inappropriate materials, finishes, or details.
4. Avoid changing the number, location, or size of doors by cutting new openings, enlarging existing openings, blocking in door openings, or installing replacement doors that do not fit the original openings.

BACKGROUND

This commercial building was constructed c.1820 in the Federal style. Two-and-one-half stories in height and topped by a side-gabled, standing seam metal clad roof, the building is constructed of brick laid in American bond. Two parged brick chimneys with corbelled caps rise from the front roof slope. 101 and 103 William were originally constructed as one building, but the fenestration patterns on the two portions of the building have changed over time. Nine-over-six, wood, double-hung sash windows are typical on the second floor. Two single-leaf entry doors and a large, multi-light display window line the first floor of 103 William. A pent roof tops the first story of 101, which includes a central entry flanked by large four-light display windows. This is a contributing structure in the Historic District.

The applicant proposes to replace fourteen wood double-hung sash windows and two wood entry doors at this property due to their severely deteriorated condition. The applicant has submitted a detailed assessment of the windows that shows deterioration including rotted wood, damaged muntins and glazing, and warped components. In general, the deterioration is concentrated at the sills and lower rails of the windows. One window is missing and has been boarded over, and none of the windows are currently operable. One large multi-light display window on the front elevation has a sill located below the level of the sidewalk, which has led to substantial moisture issues. This is also the case at one of the two entry doors to be replaced.

The proposed replacement windows are aluminum-clad solid wood windows, Westchester Core Guard Plus, manufactured by Sierra Pacific. In general, the proposed windows match the dimensions and details of the existing windows. The overall height of the unit proposed to replace windows 1, 2, 5, 6, 7, and 9 does vary by 1.5 inches. This dimension would need to be modified to match the existing to ensure that no blocking in of the openings is required. Additionally, details on the muntin profile have not been provided.

The request to modify the openings for the large window and door that terminate below grade is appropriate as a method to resolve an ongoing maintenance and condition issue at the property. The original brick lintel is clearly visible above the altered door and the masonry modifications will return the elevation to an earlier appearance. The replacement doors will be constructed of solid wood and match the style of the existing doors. The new trim will be smooth Boral composite. Approval of the alteration of window 10 and the replacement of two doors as proposed is recommended.

The Historic District guidelines require that full window replacement be used as a method of last resort for historic windows. While the assessment shows that there has been substantial deterioration at the property, the individual sashes do appear to be in repairable condition with muntins still intact. The replacement of windows 1, 2, 3, 5, 6, 7, 8, 9, 11, 12, 13, and 14 should be continued to allow for further assessment. Repair and replacement of wood framing and sills in-kind is recommended. The existing sashes should be repaired and consolidated where possible. If sashes are beyond repair, the applicant should pursue individual sash replacements rather than complete new window units.

APPROVAL CRITERIA

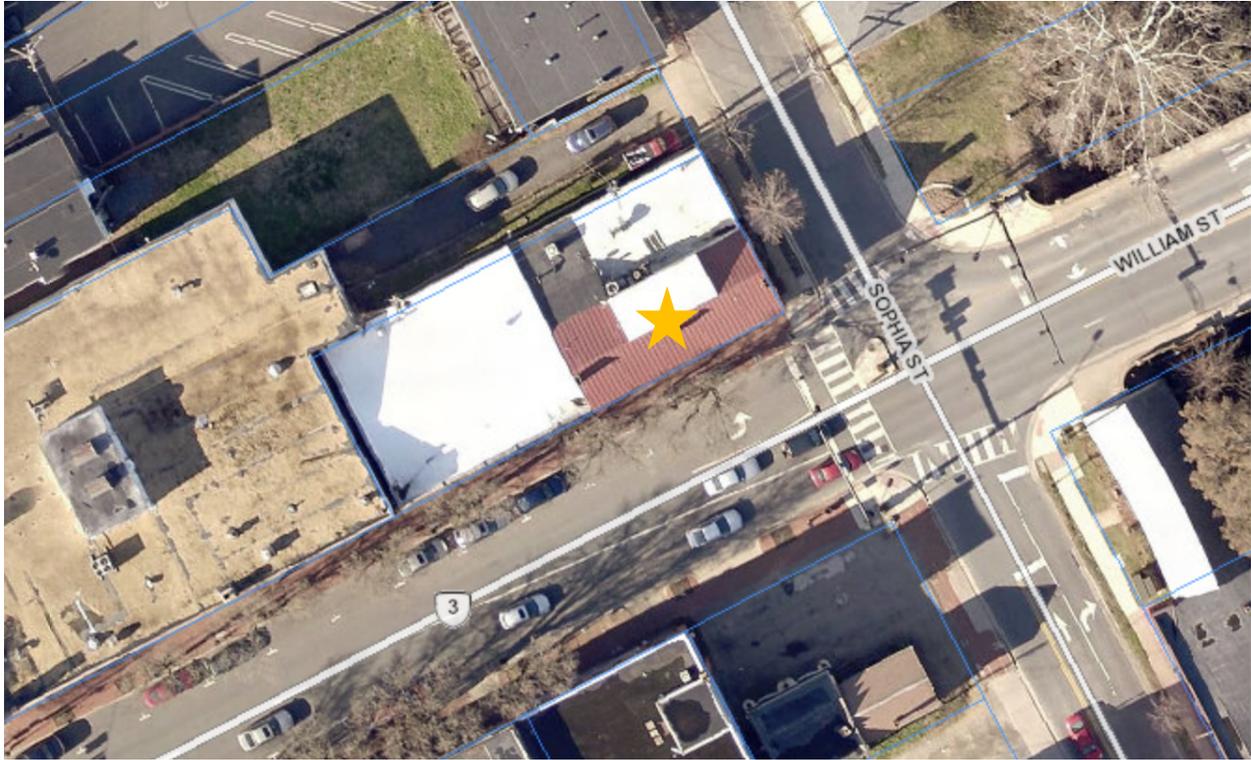
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.

X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
X			(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

1. Aerial photograph and front elevation view
2. Window assessment
3. Proposed replacement details



AERIAL



FRONT (SOUTH) ELEVATION

**Rappahannock
Restoration, Inc.**

Jason Gallant, General contractor
7377 Marmion Lane
King George, Virginia 22485
(540) 220-3856 - rapprest@me.com
Virginia Class A Contractor (RBC, CBC)
License: 2705115877

9/24/20

Architectural Review Board
City of Fredericksburg
715 Princess Anne Street, Room 209
Fredericksburg, Virginia 22401

Certificate of Appropriateness – 101-103 William Street

To the Historic Resources Planner and members of the Architectural Review Board,

We are applying for approval to remove and replace fourteen windows and two entrance doors at 101-103 William Street.

The existing windows are in advance stages of disrepair and should be replaced. Please see our attached window assessment matrices and photographs which document the condition of the windows.

None of the windows are fully operable and many have deteriorated elements which are beyond repair. Additionally the window sills in most locations are deteriorated and will require the windows be removed in order to be replaced. While the windows are removed work will be performed to repair the masonry surrounding the windows including mortar point-up and brick replacement.

New windows will be double-hung, aluminum-clad wooden core windows, Westchester Core Guard Plus, manufactured by Sierra Pacific. We propose to install replacement units which match the light patterns, muntin width, rail and stile width as close to the existing windows as close as possible.

In one instance (window #4) we are seeking approval to install a window where the former window was removed and the opening has been boarded over.

We are requesting permission to modify the size of window #10. The existing sill falls below the surface of the brick pavers at 103-1/2 William Street and has no protection against moisture. We would like to shorten the overall height of this unit by two inches to create a more substantial sill and place some distance between the window and the sidewalk.

Due to deterioration two doors located at 103 and 103-1/2 William Street need to be replaced. These wooden doors and the surrounding trim are not historic. We propose to replace these doors with new units that are 3-0 by 6-8 with profiles to match the existing units.

The new doors will be made of solid wood and painted. New trim will be Boral composite material with the smooth side facing out.

The door at 103-1/2 is not at the elevation of the sidewalk. There is a significant step down of about 9" from the sidewalk to the threshold of the door. We are seeking permission to alter the masonry opening for this door and restore it to its former height, even with the sidewalk. The masonry modification will bring the top of the door even with the top of the door at 103 William Street.

Thank you for your kind attention to our application and assistance with our project.

Sincerely,
Jason Gallant



Window Assessment Evaluation Matrix

Architectural Review Board

715 Princess Anne Street, Fredericksburg, VA 22401 • (540) 372-1179 • ksschwartz@fredericksburgva.gov

If your application for a Certificate of Appropriateness includes the replacement of windows on an elevation visible from a public right-of-way, please complete this evaluation form and submit with your application. The evaluation is used to determine the need to replace existing windows based on their condition.

Demonstrated need is shown in the form of a window assessment. The assessment needs to correspond to numbered photos of each window to be replaced. Items such as window glazing, glass, or finishes (paint) are typically easily repairable and as such are not considered conditions that warrant window replacement. Lintel and sill conditions are structural issues and could warrant window replacement depending on severity. Repair of existing elements does not require a Certificate of Appropriateness or permit approval.

Property Address: **101-103 Amelia Street**

Instructions

Please make sure completed form is legible. Forms that are not legible will be returned and the review of the application could be put on hold. Using one line per window, evaluate each window proposed for replacement. Evaluate each window based on the overall condition and not just one component. For further information concerning the preservation of historic wood or metal windows, please refer to the *National Park Service Preservation Brief #9: The Repair of Historic Wooden Windows* and the *National Park Service Preservation Brief #13: The Repair and Thermal Upgrading of Historic Steel Windows*.

Frame and Sash Section Value Explanations

Repair Class 1: Window component needs only normal routine maintenance to upgrade a window to “like new” condition. This normally includes: some degree of interior and exterior paint removal, removal and repair of sash (including reglazing where necessary), simple repairs to the frame, weather stripping and reinstallation of the sash, and repainting. *If these types of repairs are required, enter the number 1 in the cell.*

Repair class 2: The window is operationally sound, but shows some additional degree of physical deterioration than repair type 1. Components can be repaired using simple processes, such as patching or consolidation, and then painted to achieve a sound condition, good appearance, and greatly extended life. *If these types of repairs are required, enter the number 2 in the cell.*

Repair class 3: Components are so badly deteriorated that they cannot be stabilized. Repair would involve replacing the deteriorated parts with new matching pieces, or splicing new wood into existing members. Most cases could involve removal of the sash and/or the affected parts of the frame and reproduction of damaged or missing parts by a carpenter or woodworking mill. *If these types of repairs are required, enter the number 3 in the cell.*

Name of Applicant/Representative: **Jason Gallant, Rappahannock Restoration, Inc.**

Address: **7377 Marmion Lane, King George, VA 22485**

E-Mail: **rapprest@me.com**

Phone: **(540) 220-3856**

Years of Experience in Historic Window Repair: **25 years**

Window Assessment

Description of Window				General Information						Frame		Sash					Proposed Treatment	
Window #	Style	Width & Height	Material	Historic?	Paint Condition?	Square?	Operable?	Glazing Condition?	Weather-stripping?	Sill & Lintel	Jamb	Sash Only Replacement?	Bottom Rail	Rails & Stiles	Muntins	Meeting Rail	Total Value	Proposed Treatment
3a	Double-Hung 1:1	36"x78"	wood	Yes	Poor	Yes	No	Very Poor	No	2	2	No	3	1	1	1	10	Replace deteriorated bottom rail, use epoxy repair on rotten sill and jamb, repair glazing and add weather-stripping
EXAMPLE																		
1	9:6	28-1/2" x 57"	Wood	Yes	Poor	No	No	Very poor	No	3	3	No	3	2	1	3	15	Replace with aluminum-clad window
2	9:6	28-1/2" x 57"	Wood	Yes	Poor	No	No	Very poor	No	3	3	No	3	3	3	3	18	Replace with aluminum-clad window
3	9:6	28-1/2" x 57"	Wood	Yes	Poor	No	No	Very poor	No	3	3	No	3	2	1	3	15	Replace with aluminum-clad window
4	No sashes, window boarded up	31-1/4" x 50-1/2"	None															Replace with aluminum-clad window

*Reprint additional sheets as needed

Window Assessment

Description of Window				General Information						Frame		Sash					Proposed Treatment	
Window #	Style	Width & Height	Material	Historic?	Paint Condition?	Square?	Operable?	Glazing Condition?	Weather-stripping?	Sill & Lintel	Jamb	Sash Only Replacement?	Bottom Rail	Rails & Stiles	Muntins	Meeting Rail	Total Value	Proposed Treatment
3a	Double-Hung 1:1	36"x78"	wood	Yes	Poor	Yes	No	Very Poor	No	2	2	No	3	1	1	1	10	Replace deteriorated bottom rail, use epoxy repair on rotten sill and jambs, repair glazing and add weather-stripping
EXAMPLE																		
5	9:6	28-1/2" x 57"	Wood	Yes	Poor	Yes	Yes	Poor	No	3	3	No	2	2	1	3	14	Replace with aluminum-clad window
6	9:6	28-1/2" x 57"	Wood	Yes	Poor	Yes	No	Poor	No	3	3	No	2	2	2	3	15	Replace with aluminum-clad window
7	9:6	28-1/2" x 57"	Wood	Yes	Poor	Yes	No	Poor	No	3	3	No	2	2	1	3	14	Replace with aluminum-clad window
8	9:6	28-1/2" x 57"	Wood	Yes	Poor	Yes	No	Poor	No	3	3	No	2	2	1	3	14	Replace with aluminum-clad window

*Reprint additional sheets as needed

Window Assessment

Description of Window				General Information						Frame		Sash					Proposed Treatment	
Window #	Style	Width & Height	Material	Historic?	Paint Condition?	Square?	Operable?	Glazing Condition?	Weather-stripping?	Sill & Lintel	Jams	Sash Only Replacement?	Bottom Rail	Rails & Stiles	Muntins	Meeting Rail	Total Value	Proposed Treatment
3a	Double-Hung 1:1	36"x78"	wood	Yes	Poor	Yes	No	Very Poor	No	2	2	No	3	1	1	1	10	Replace deteriorated bottom rail, use epoxy repair on rotten sill and jams, repair glazing and add weather-stripping
9	9:6	28-1/2" x 57"	Wood	Yes	Very poor	No	No	Very poor	No	3	3	No	3	3	3	3	18	Replace with aluminum-clad window
10	4:4	70" x 77"	Wood	Yes	Very poor	No	No	Very poor	No	3	2	No	3	3	3	2	16	Replace with aluminum-clad window
11	1:1	27-1/2" x 62"	Wood	No	Poor	Yes	No	Very poor	No	3	3	No	2	2	N/A	3	13	Replace with aluminum-clad window
12	1:1	27-1/2" x 62"	Wood	No	Poor	Yes	No	Very poor	No	3	3	No	2	2	N/A	3	13	Replace with aluminum-clad window

EXAMPLE

*Reprint additional sheets as needed

Window Assessment

Description of Window				General Information						Frame		Sash					Proposed Treatment	
Window #	Style	Width & Height	Material	Historic?	Paint Condition?	Square?	Operable?	Glazing Condition?	Weather-stripping?	Sill & Lintel	Jams	Sash Only Replacement?	Bottom Rail	Rails & Stiles	Muntins	Meeting Rail	Total Value	Proposed Treatment
3a	Double-Hung 1:1	36"x78"	wood	Yes	Poor	Yes	No	Very Poor	No	2	2	No	3	1	1	1	10	Replace deteriorated bottom rail, use epoxy repair on rotten sill and jams, repair glazing and add weather-stripping
13	1:1	27-1/2" x 62"	Wood	No	Poor	Yes	No	Very poor	No	3	3	No	2	2	N/A	3	13	Replace with aluminum-clad window
14	1:1	27-1/2" x 62"	Wood	No	Poor	Yes	No	Very poor	No	3	3	No	2	2	N/A	3	13	Replace with aluminum-clad window

*Reprint additional sheets as needed

Windows 1, 2, 5, 6, 7, 8 and 9



Community Planning and Building

Window Comparison—Single and Double-Hung

Architectural Review Board

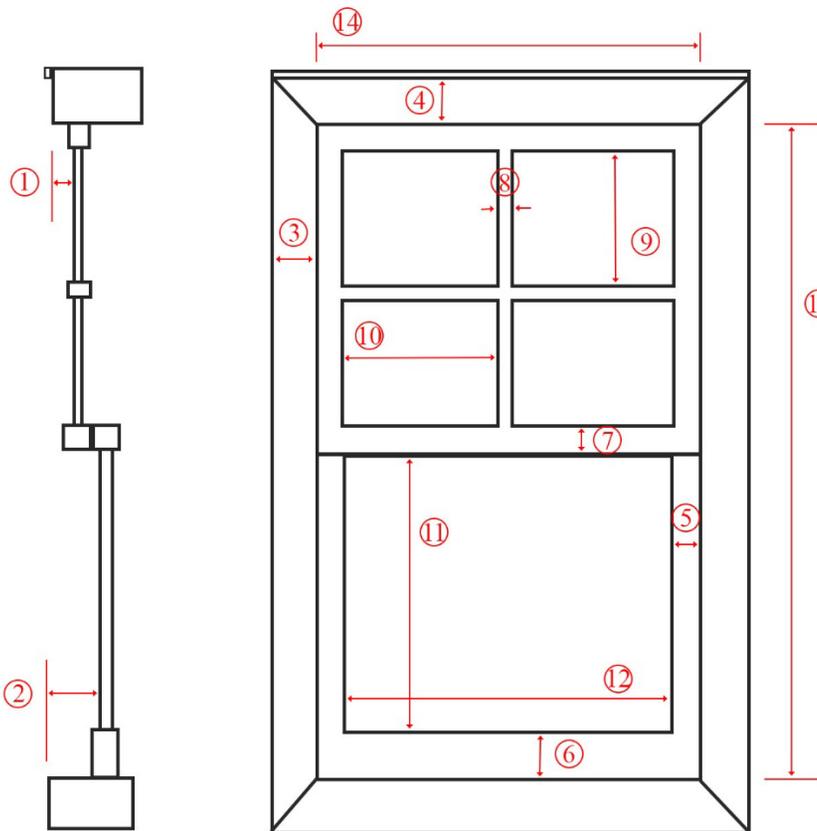
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Frame and Sash Comparison - Single and Double-Hung Windows

Instructions: To effectively evaluate replacement windows, it is important to understand how the physical characteristics of the existing and proposed windows compare. Please fill in each value, in inches. Feel free to notate any other measurements you feel are important to the replacement discussion.

Existing Frame and Sash Exterior Material **Wood**

Proposed Frame and Sash Exterior Material **Aluminum-clad wood**



	Existing	Proposed
1. Upper Sash Depth/Shadow Profile (from exterior façade to glass)	1-1/2"	1-3/16"
2. Lower Sash Depth/Shadow Profile (from exterior façade to glass)	2-3/4"	3"
3. Side Trim Measurement	3-1/2"	3-1/2"
4. Top/Bottom Trim Measurement	5", 3-1/2"	5", 3-1/2"
5. Stile Width Measurement	2"	1-27/32"
6. Bottom Rail Height Measurement	2-3/4"	3-3/8"
7. Meeting Rail Height Measurement	1-1/8"	1-1/2"
8. Muntin Width Measurement	5/8"	5/8"
9. Glass Height Upper Sash	10"	10"
10. Glass Width Upper Sash	8"	8"
11. Glass Height Lower Sash	9-1/2"	9-1/2"
12. Glass Width Lower Sash	7-5/8"	7-5/8"
13. Overall Sash Height	55-1/2"	53"
14. Overall Sash Width	28-1/4"	28-13/16"

Window 3



Community Planning and Building

Window Comparison—Single and Double-Hung

Architectural Review Board

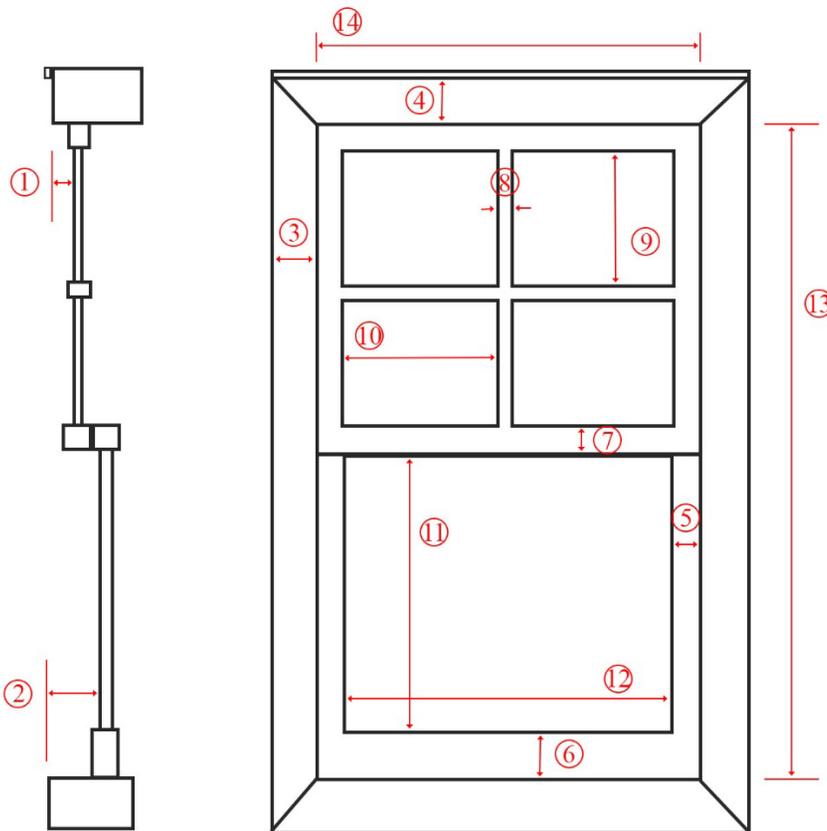
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Frame and Sash Comparison - Single and Double-Hung Windows

Instructions: To effectively evaluate replacement windows, it is important to understand how the physical characteristics of the existing and proposed windows compare. Please fill in each value, in inches. Feel free to notate any other measurements you feel are important to the replacement discussion.

Existing Frame and Sash Exterior Material **Wood**

Proposed Frame and Sash Exterior Material **Aluminum-clad wood**



	Existing	Proposed
1. Upper Sash Depth/Shadow Profile (from exterior façade to glass)	2-1/2"	2-1/2"
2. Lower Sash Depth/Shadow Profile (from exterior façade to glass)	4"	4"
3. Side Trim Measurement	2-1/2"	2-1/2"
4. Top/Bottom Trim Measurement	3", 4"	3", 4"
5. Stile Width Measurement	2"	2"
6. Bottom Rail Height Measurement	2-1/4"	2-1/4"
7. Meeting Rail Height Measurement	2-1/4"	2-1/4"
8. Muntin Width Measurement	1"	5/8"
9. Glass Height Upper Sash	11-3/4"	11-3/4"
10. Glass Width Upper Sash	8-1/2"	8-1/2"
11. Glass Height Lower Sash	29"	29"
12. Glass Width Lower Sash	35-1/2"	35-1/2"
13. Overall Sash Height	40"	40"
14. Overall Sash Width	60"	60"

Window 10



Community Planning and Building

Window Comparison—Single and Double-Hung

Architectural Review Board

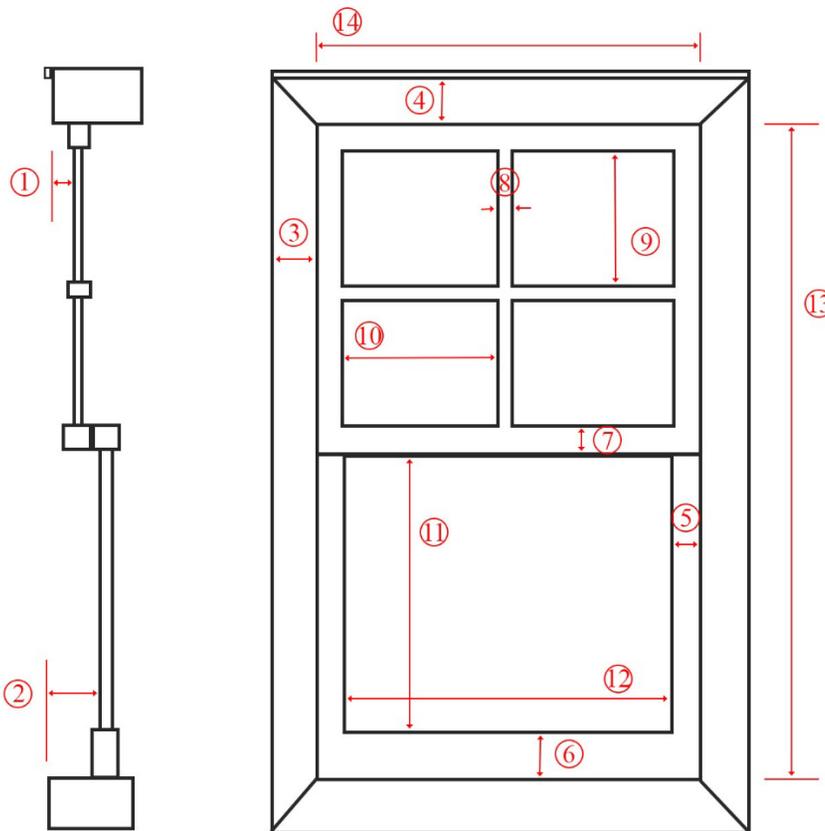
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Frame and Sash Comparison - Single and Double-Hung Windows

Instructions: To effectively evaluate replacement windows, it is important to understand how the physical characteristics of the existing and proposed windows compare. Please fill in each value, in inches. Feel free to notate any other measurements you feel are important to the replacement discussion.

Existing Frame and Sash Exterior Material **Wood**

Proposed Frame and Sash Exterior Material **Aluminum-clad wood**



	Existing	Proposed
1. Upper Sash Depth/Shadow Profile (from exterior façade to glass)	5"	5"
2. Lower Sash Depth/Shadow Profile (from exterior façade to glass)	6-1/2"	6-1/2"
3. Side Trim Measurement	3-1/2"	3-1/2"
4. Top/Bottom Trim Measurement	7-1/2", 1-1/2"	5-1/2", 3-1/2"
5. Stile Width Measurement	2-1/2"	2-1/2"
6. Bottom Rail Height Measurement	2-1/2"	2-1/2"
7. Meeting Rail Height Measurement	1-1/4"	1-1/4"
8. Muntin Width Measurement	1-1/8"	1-1/8"
9. Glass Height Upper Sash	33"	33"
10. Glass Width Upper Sash	17-1/2"	17-1/2"
11. Glass Height Lower Sash	32-1/2"	32-1/2"
12. Glass Width Lower Sash	17-1/2"	17-1/2"
13. Overall Sash Height	70-1/2"	68"
14. Overall Sash Width	77"	74-13/16"

Windows 11-14



Community Planning and Building

Window Comparison—Single and Double-Hung

Architectural Review Board

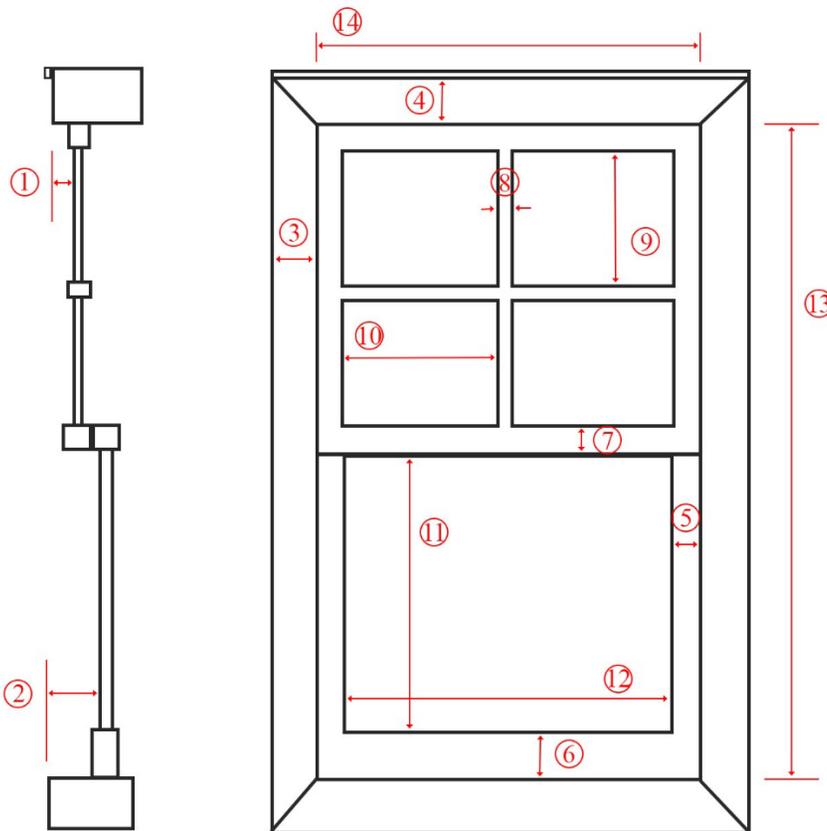
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Frame and Sash Comparison - Single and Double-Hung Windows

Instructions: To effectively evaluate replacement windows, it is important to understand how the physical characteristics of the existing and proposed windows compare. Please fill in each value, in inches. Feel free to notate any other measurements you feel are important to the replacement discussion.

Existing Frame and Sash Exterior Material **Wood**

Proposed Frame and Sash Exterior Material **Aluminum-clad wood**



	Existing	Proposed
1. Upper Sash Depth/Shadow Profile (from exterior façade to glass)	1-1/2"	1-1/2"
2. Lower Sash Depth/Shadow Profile (from exterior façade to glass)	3"	3"
3. Side Trim Measurement	2-1/4"	2-1/4"
4. Top/Bottom Trim Measurement	2-1/4"	2-1/4"
5. Stile Width Measurement	2"	2"
6. Bottom Rail Height Measurement	3"	3"
7. Meeting Rail Height Measurement	2"	2"
8. Muntin Width Measurement	N/A	N/A
9. Glass Height Upper Sash	27-1/2"	27-1/2"
10. Glass Width Upper Sash	23-1/4"	23-1/4"
11. Glass Height Lower Sash	27-1/4"	27-1/4"
12. Glass Width Lower Sash	23-1/2"	23-1/2"
13. Overall Sash Height	62"	62"
14. Overall Sash Width	27-1/2"	28-13/16"

HISTORIC CHARM GOES MODERN

NEW

WESTCHESTER

DOUBLE HUNG WINDOWS



SIERRA
PACIFIC
WINDOWS



AN UPGRADE
TO A TRUE CLASSIC.

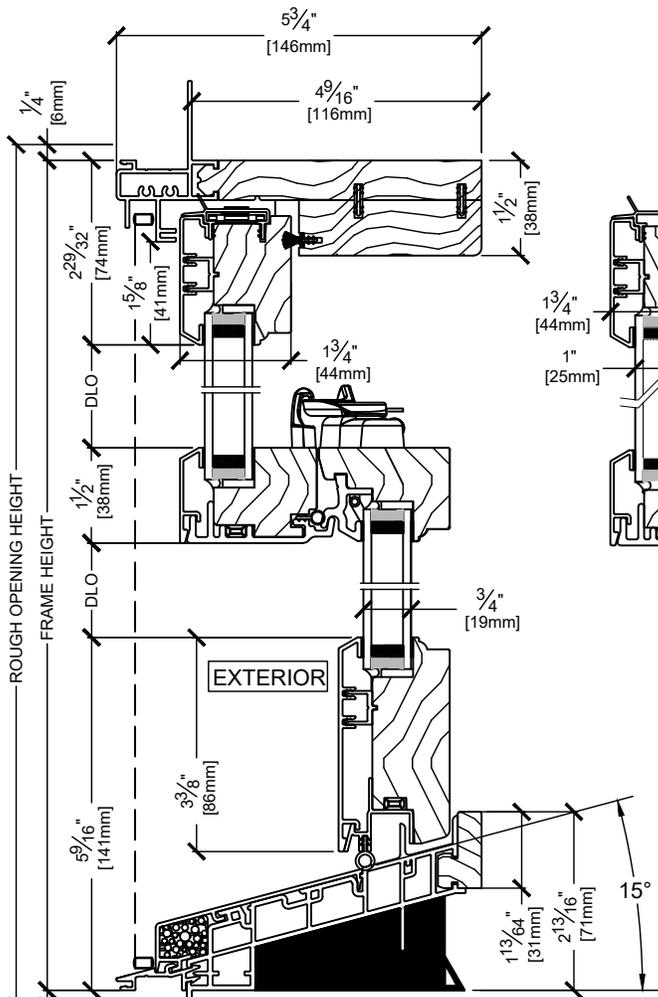
Cover Photo
Builder: Justin Fletcher Homes
Architect: Brent Butler / B3 Design
Photographer: Irvin Serrano Photography



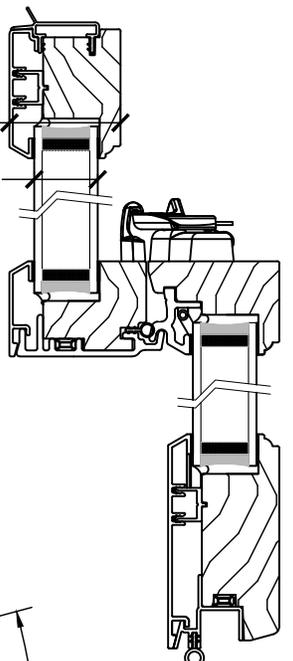
The tireless work of our engineers and designers has paid off. Introducing our new Westchester Double Hung windows, a huge improvement to a classic look.

Designed to bring back the original charm of windows hand-crafted over a century ago, they offer narrower check-rail sightlines with updated structural and thermal performance. You'll also find many new patent pending innovations, including a traditionally styled combination sash lock.

The Westchester is crafted with fully clad exteriors using durable extruded aluminum.

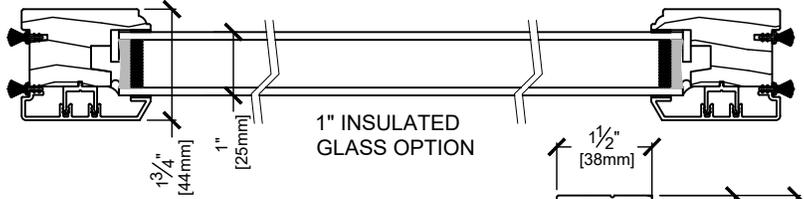


Operating
4 9/16" JAMB

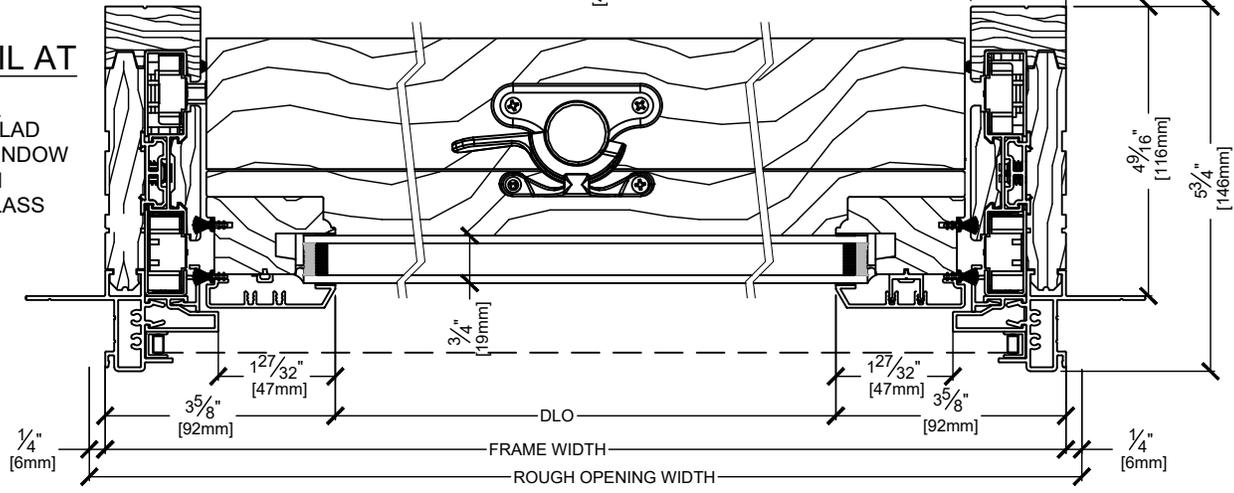


1" INSULATED GLASS OPTION

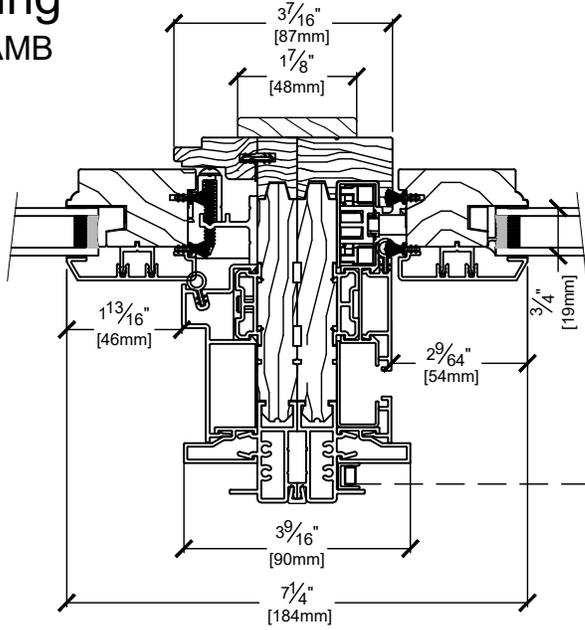
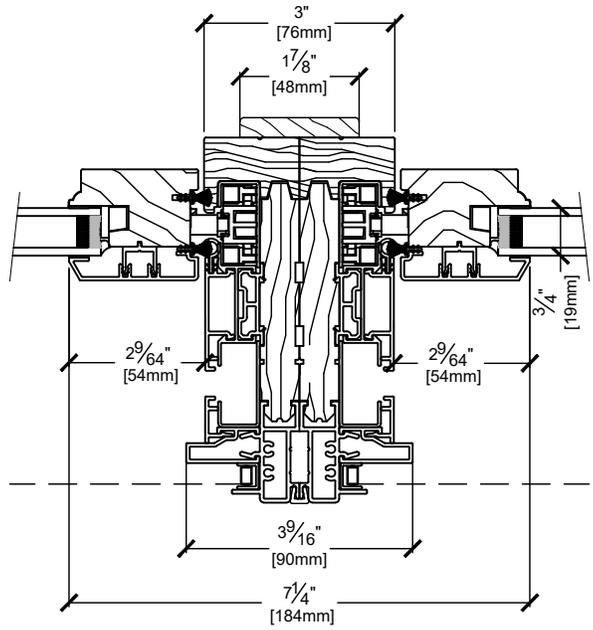
HEAD & SILL DETAIL
WESTCHESTER CLAD
DOUBLE HUNG WINDOW
OPERATING SASH
3/4" STD INSUL GLASS



JAMB DETAIL AT CHECKRAIL
WESTCHESTER CLAD
DOUBLE HUNG WINDOW
OPERATING SASH
3/4" STD INSUL GLASS

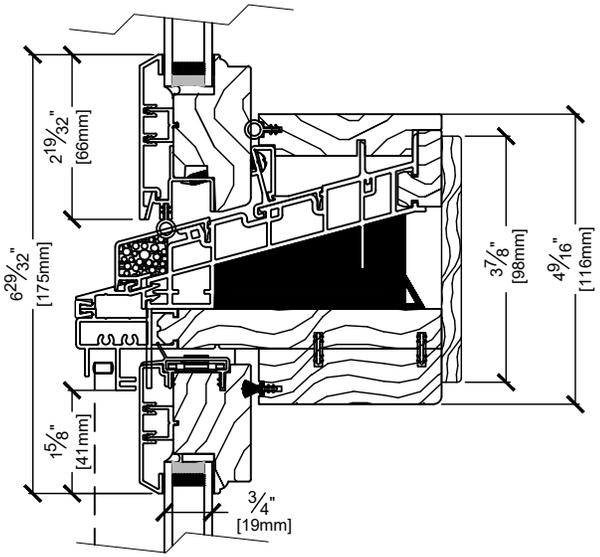


Operating
4 9/16" JAMB



 **TIGHT BOX MULL DETAIL**
WESTCHESTER CLAD DOUBLE HUNG WINDOW
OPERATING SASH/OPERATING SASH

 **TIGHT BOX MULL DETAIL**
WESTCHESTER CLAD DOUBLE HUNG WINDOW
PICTURE SASH/OPERATING SASH

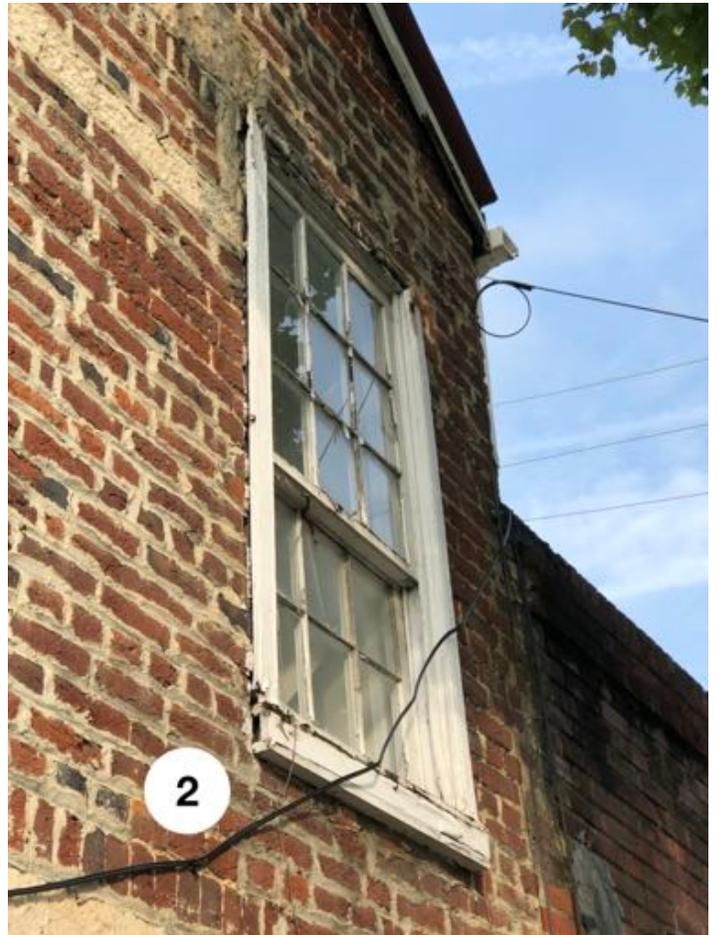


 **TIGHT BOX STACK DETAIL**
WESTCHESTER CLAD DOUBLE HUNG
TRANSOM OVER OPERATING



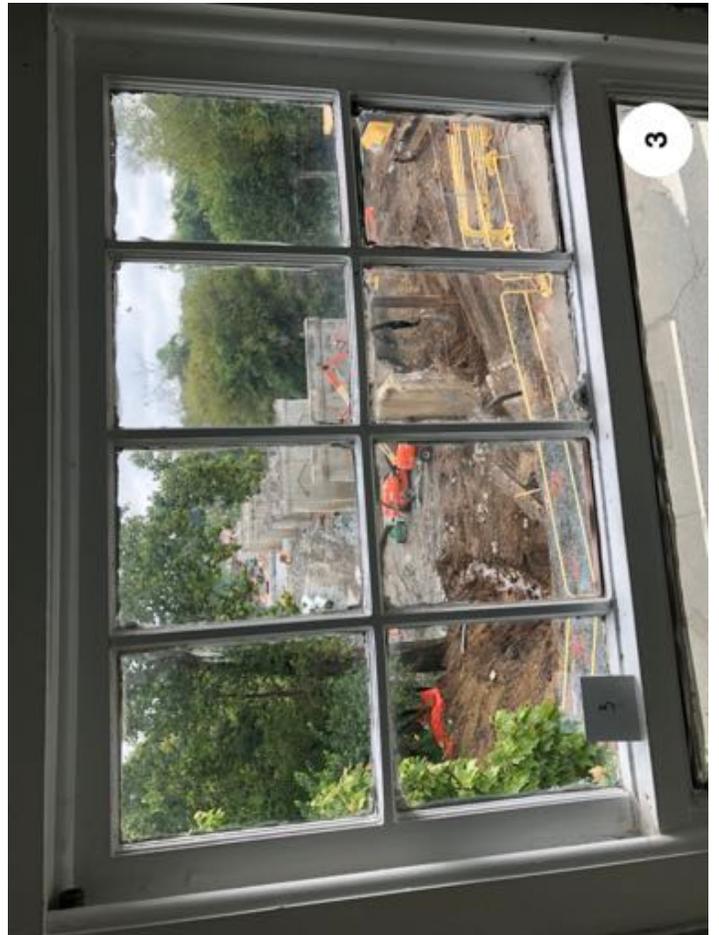
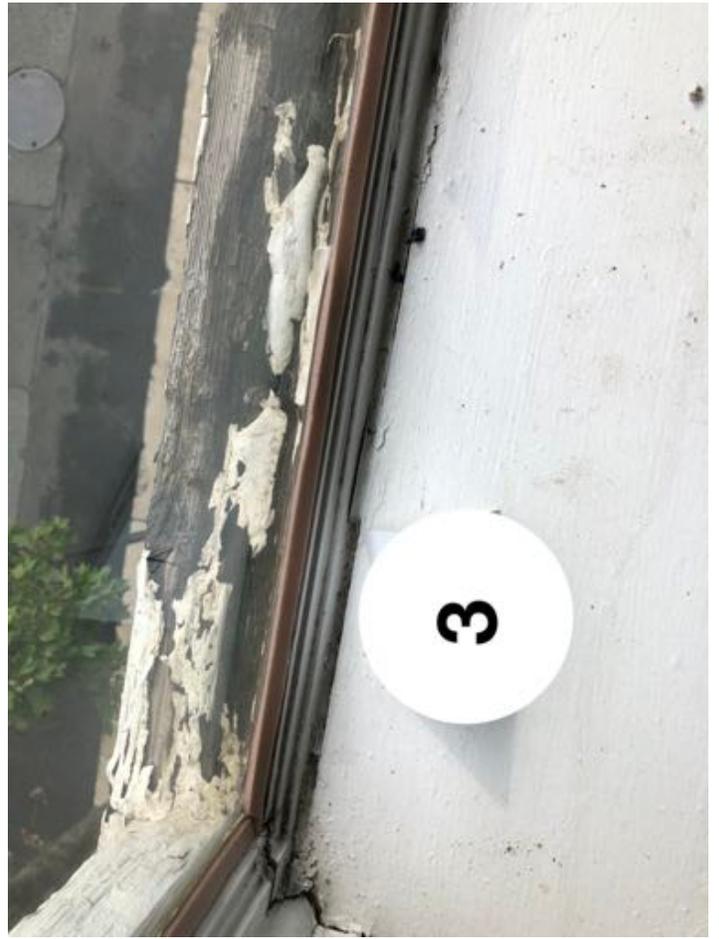


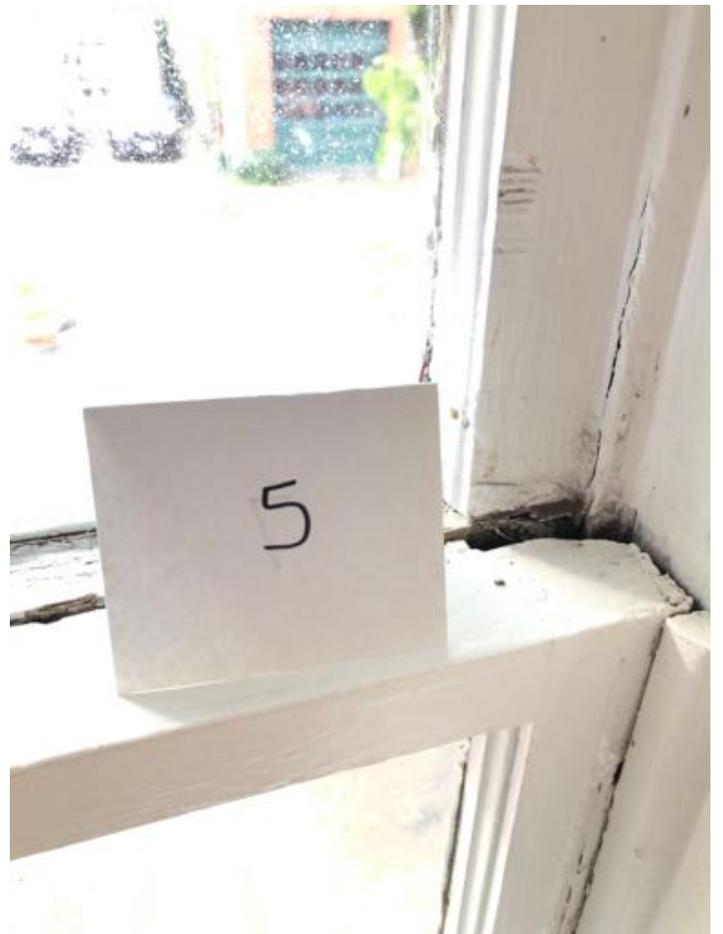


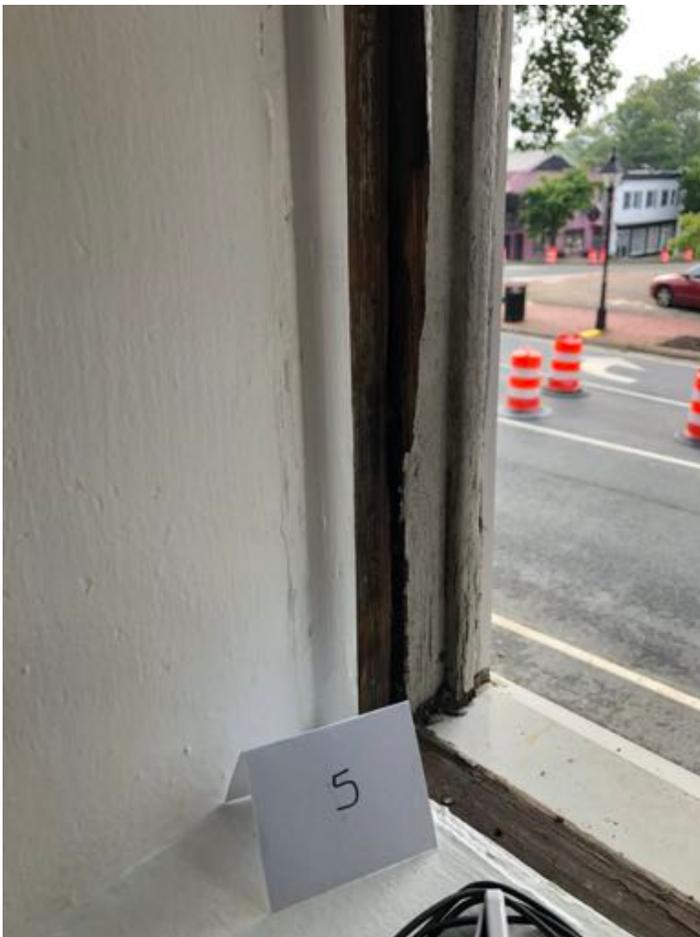
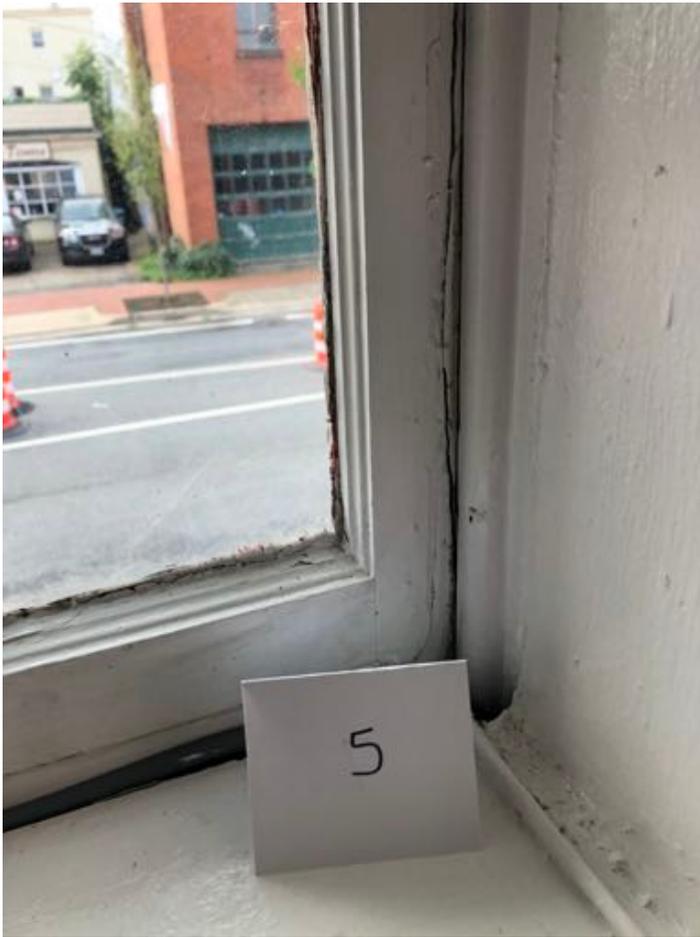


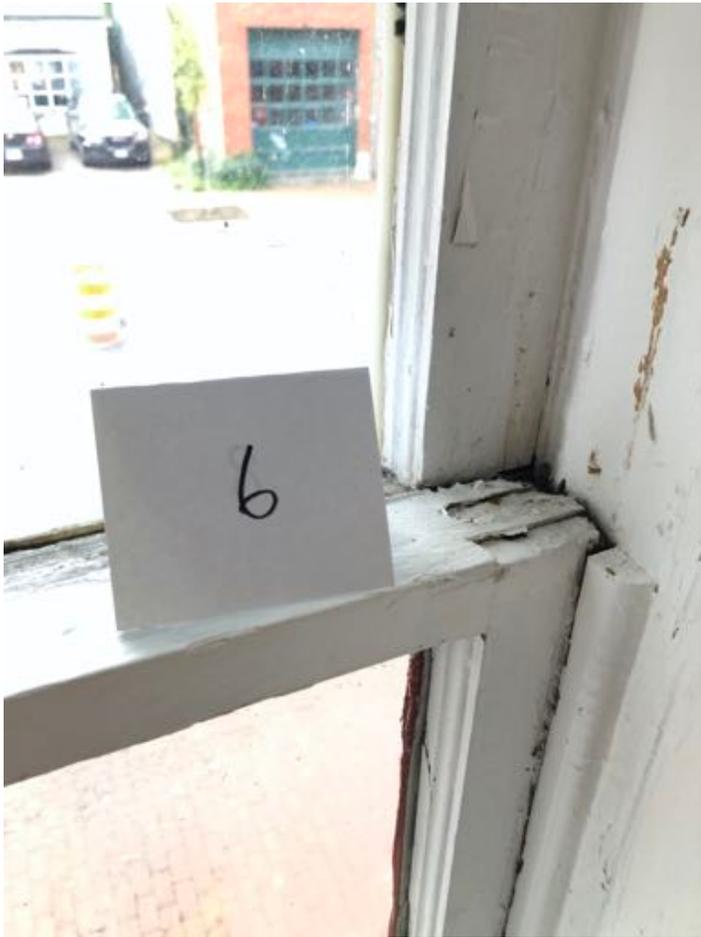




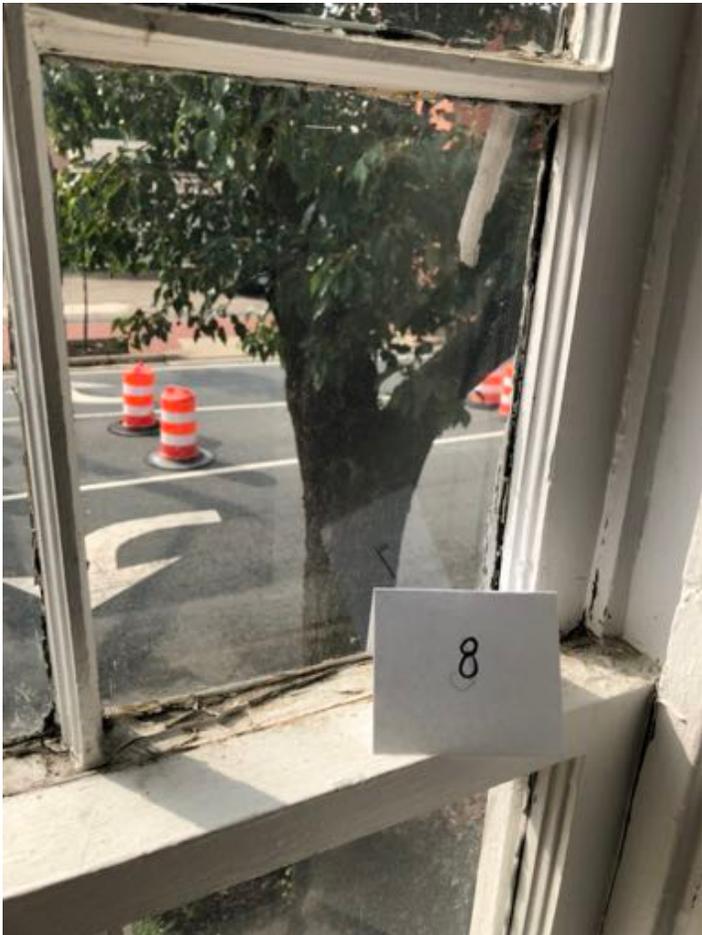


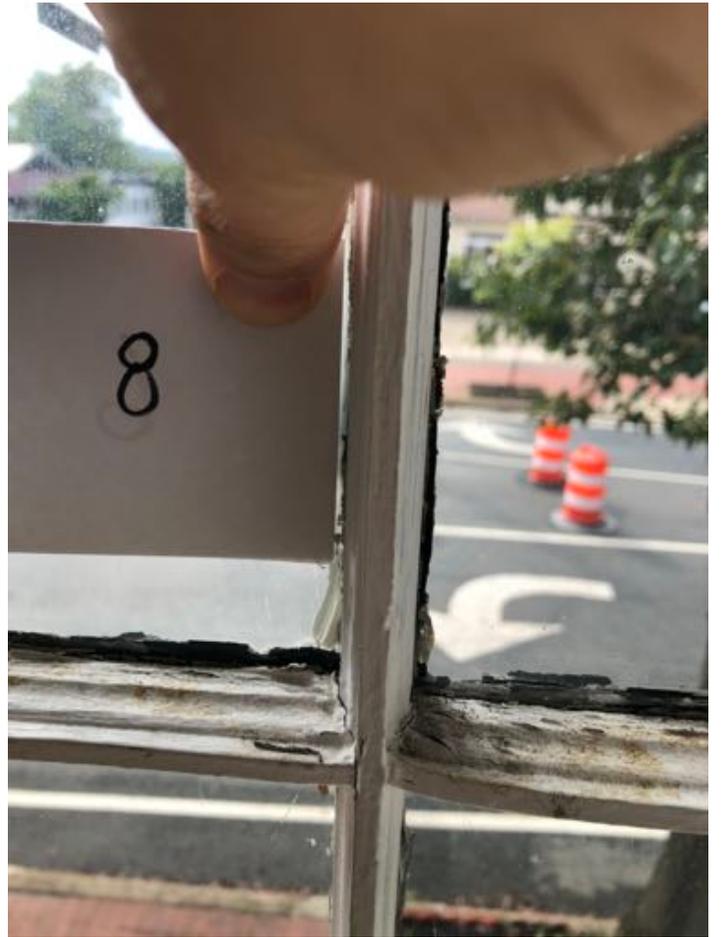






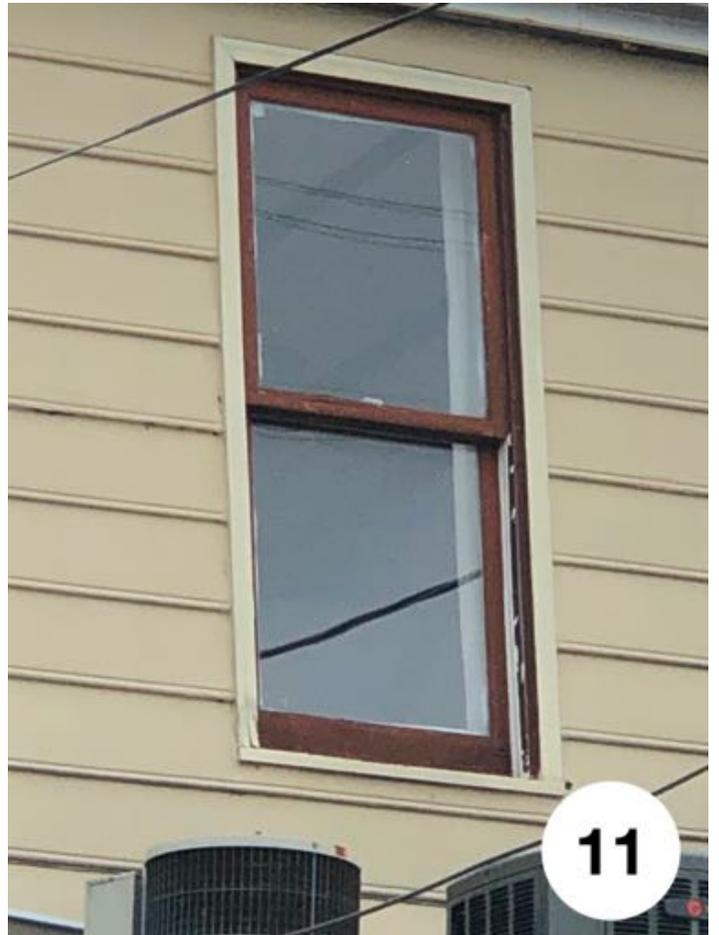
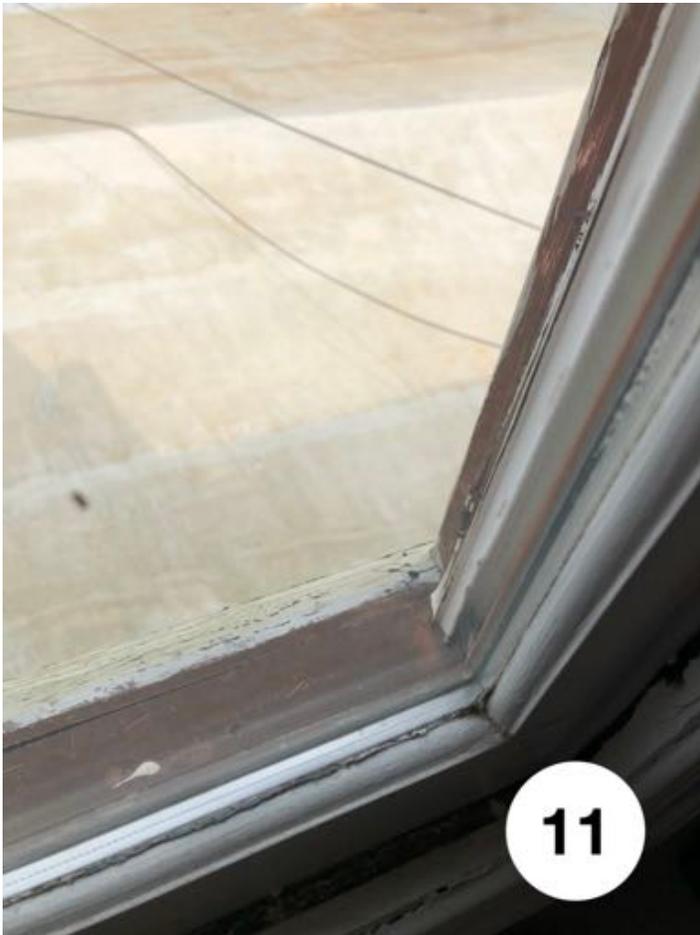
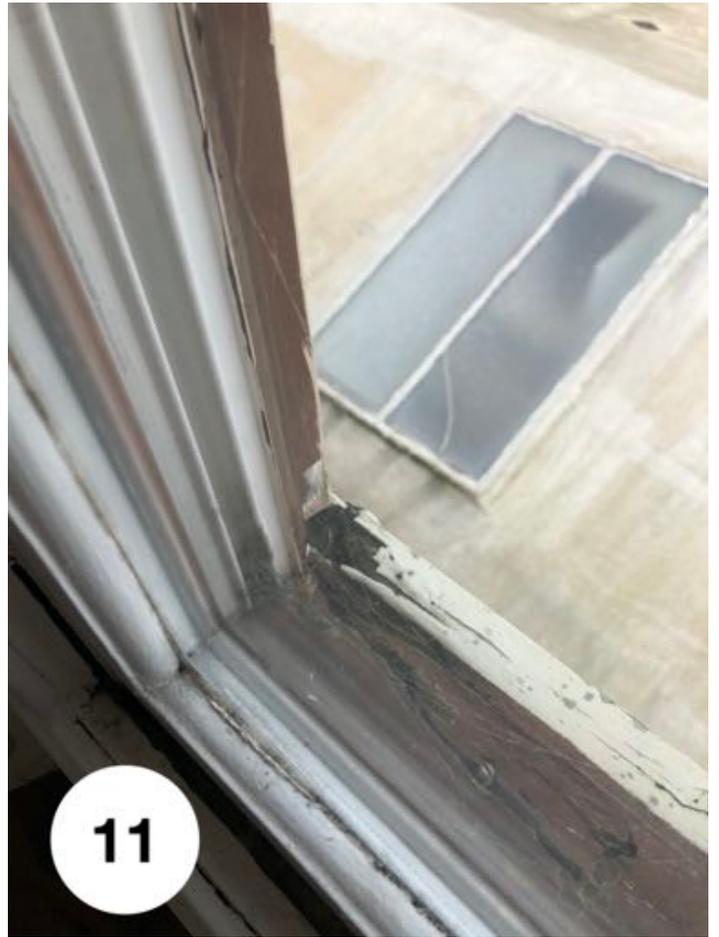


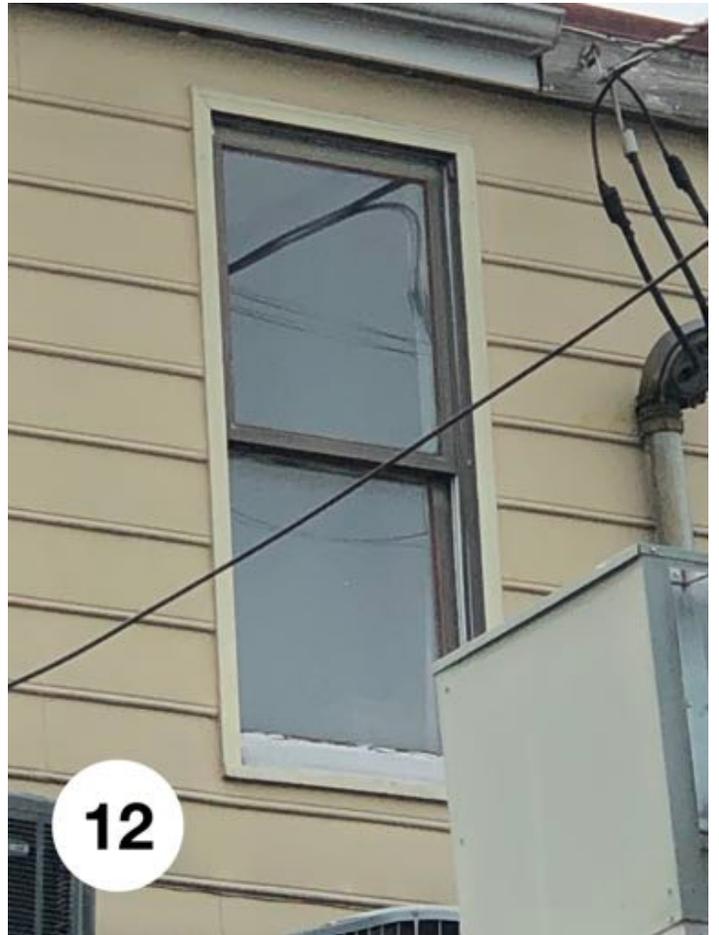
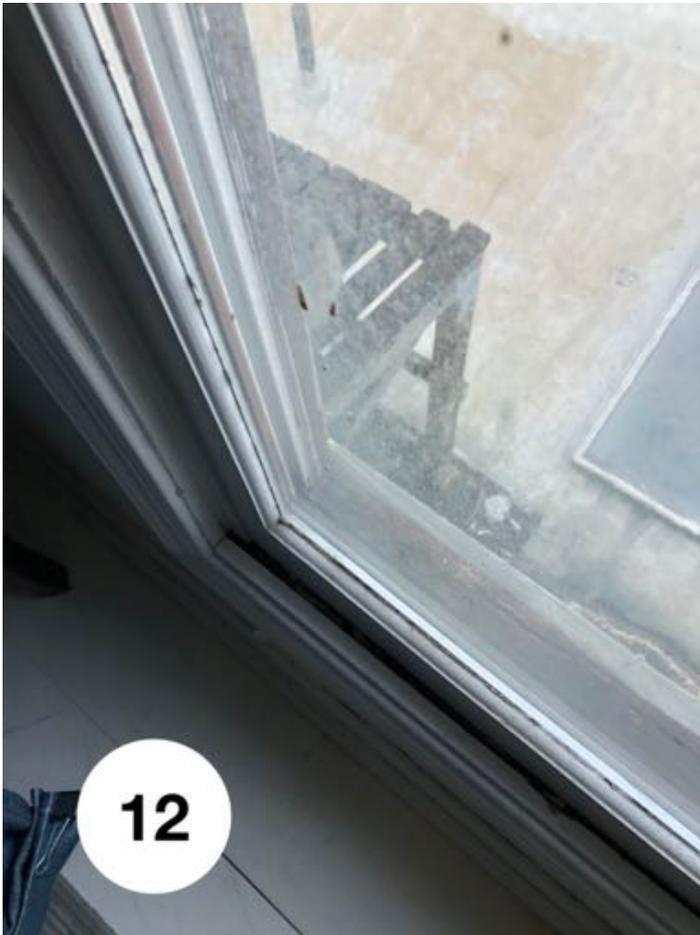


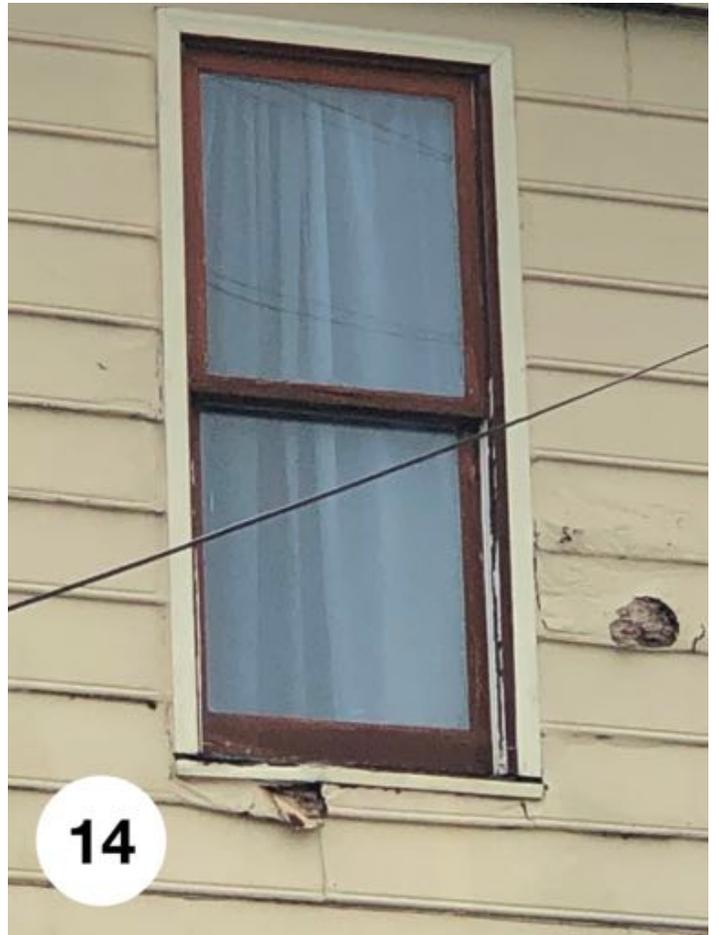
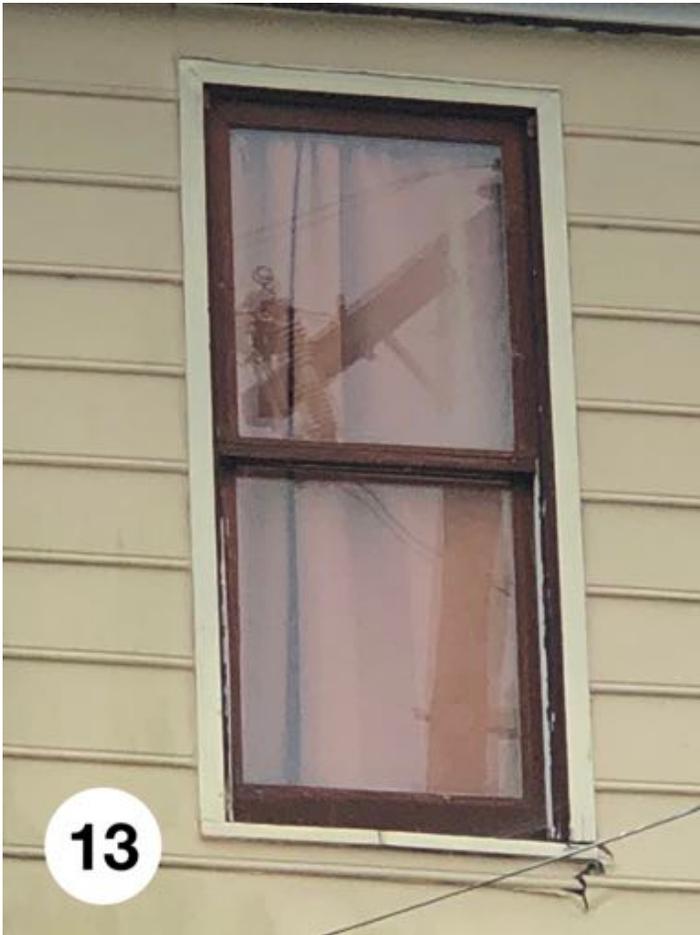
















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