



ARCHITECTURAL REVIEW BOARD
CITY OF FREDERICKSBURG, VIRGINIA
AGENDA
March 9, 2020
7:00 P.M.
COUNCIL CHAMBERS, CITY HALL

Agenda

1. Call To Order
2. Determination Of A Quorum
3. Determination That Public Notice Requirements Have Been Met
4. Approval Of Agenda
5. Review Of Minutes
 - 5.I. 7:00 PM Draft Minutes February 10, 2020

Documents:

[03_2020-02-10 ARBMINUTESDRAFT.PDF](#)

6. Disclosure Of Ex Parte Communication
7. Disclosure Of Conflicts Of Interest
8. Consent Agenda

- 8.I. 7:00 PM COA 2020-13 - 611 Caroline Street - Signs

Documents:

[04_COA 2020-13_ADMINISTRATIVE REVIEW_611 CAROLINE STREET_03-09-2020-SIGNED.PDF](#)

- 8.II. 7:00 PM COA 2020-15 - 1017 Sophia Street

Documents:

[05_COA 2020-15_ADMINISTRATIVE REVIEW_1017 SOPHIA STREET_03-09-2020-SIGNED.PDF](#)

8.III. 7:00 PM COA 2020-16 - 1015 Caroline Street - Signs

Documents:

[06_COA 2020-16_ADMINISTRATIVE REVIEW_1015 CAROLINE STREET_03-09-2020-SIGNED.PDF](#)

9. Public Hearing

9.I. Accessory Structures

9.I.i. COA 2020-08 - 1020 Princess Anne Street

Documents:

[07_COA 2020-08_ARBMEMO_1020 PRINCESS ANNE STREET.PDF](#)

9.II. Alterations

9.II.i. COA 2020-09 - 304 Hanover Street

Documents:

[08_COA 2020-09_ARBMEMO_304 HANOVER STREET.PDF](#)

9.II.ii. COA 2020-10 - 221 Princess Anne Street

Documents:

[09_COA 2020-10_ARBMEMO_221 PRINCESS ANNE STREET.PDF](#)

9.II.iii. COA 2020-11 - 401 Princess Anne Street

Documents:

[10_COA 2020-11_ARBMEMO_401 PRINCESS ANNE STREET.PDF](#)

9.II.iv. COA 2020-12 - 309 William Street

Documents:

[11_COA 2020-12_ARBMEMO_309 WILLIAM STREET.PDF](#)

9.II.v. COA 2020-14 - 405 Hanover Street

Documents:

[12_COA 2020-14_ARBMEMO_405 HANOVER STREET.PDF](#)

10. General Public Comment

11. Other Business

11.I. Transmittal Of Planning Commission Notice For March 11, 2020

Documents:

[13_2020-03-11_PC_PUBLIC HEARING ADVERTISEMENT.PDF](#)

12. Staff Update

12.I. Archaeology Ordinance

12.II. Historic District Handbook Public Meetings

Documents:

[14_HANDBOOK UPDATE PUBLIC MEETING NOTICE.PDF](#)

13. Announcements And Reports

14. Adjournment



Minutes
Architectural Review Board
February 10, 2020
Council Chambers, City Hall
Fredericksburg, Virginia

Members Present

Carthon Davis III, Chair
Karen Irvin, Vice Chair
Jonathan Gerlach
Adriana Moss
Sabina Weitzman (arrived late at 7:10 p.m.)
James Whitman

Members Absent

Susan Pates

Staff

Kate Schwartz
Tammy Guseman

Chairman Davis called the Architectural Review Board meeting to order at 7:00 p.m.

OPENING REMARKS

Chairman Davis determined that a quorum was present, and asked if public notice requirements had been met. Ms. Schwartz confirmed that they had.

APPROVAL OF AGENDA

Mr. Gerlach requested that one item be added to Other Business: an update on the Slave Auction Block. Ms. Irvin motioned to approve the agenda as amended. Mr. Gerlach seconded. The motion carried 5-0.

APPROVAL OF MINUTES

Chairman Davis asked if there were any changes or additions to the minutes of the regular meeting dated January 13, 2020. Mr. Gerlach motioned to approve the minutes as written. Ms. Irvin seconded. The motion carried 5-0.

DISCLOSURE OF EX PARTE COMMUNICATIONS

Chairman Davis asked if any Board member had engaged in any *ex parte* communication on any item before the Board. No Board members had any *ex parte* communication to report.

DISCLOSURE OF CONFLICTS OF INTEREST

Chairman Davis asked if any Board member had a conflict of interest for any item before the Board.

Ms. Weitzman reported (after arrival at 7:10 p.m.) that she had provided architectural design services for the owners of 308 Caroline Street and would not participate in the consideration of COA 2020-03.

CONSENT AGENDA

- i. COA 2020-07 – 317 Dixon Street – Signs

Mr. Gerlach made a motion to approve the consent agenda as submitted. Mr. Whitman seconded. The motion carried 5-0.

PUBLIC HEARING

- i. COA 2020-02 – 303 Fauquier Street – Krystopher Scott requests to install signs, wood fencing, and accessory structures including a stage and bar in the rear yard of this commercial property.

The applicant, Krystopher Scott, 1505 Charles Street, owner of the Dark Star Saloon & Café, was present but did not speak at this time.

Public comment:

Mary Ellen Wheeler, 1201 Princess Anne Street, spoke regarding noise disturbance from this business.

Mr. Scott responded to say that he has an agreement with the owner of 303 Fauquier Street to purchase the property and also 305 Fauquier and is hopeful that this land acquisition will allow the stage that is too large now to remain in place with the City's approval. He stated that he is trying to do things the right way and apologized publicly to neighbors present for the unreasonably loud noise disturbances and assured them they will not happen again.

Chairman Davis stated that tonight's meeting is not regarding the noise, but is limited to the items on the ARB's agenda that have been outlined by staff: signs, fencing, and stage and bar structures. Mr. Scott asked if his application could be continued to the next month's meeting so he can be better prepared. He plans to check with Building Services to see what changes he can make quickly so that the stage can meet the ARB standard and possibly be approved at the next meeting. Ms. Schwartz suggested that tonight the focus be on the signs and wood fencing and stated that approval for accessory structures is at the Board's discretion and that they may request a new application with modified design for these to be submitted.

Cherie Davis, 309 Fauquier Street, voiced concerns that the accessory structures (stage, bar) were permanently built prior to getting necessary approval from the City/ARB. She noted that things need to be done correctly the first time and stated she is concerned that other establishments will do the same if the Saloon is allowed to proceed with the stage and bar as is. Ms. Davis also mentioned that the Saloon continues to serve alcohol without a proper license.

There were no other public comments.

Ms. Irvin asked Mr. Scott if the proposed permanent sign to replace the banner is same size and content as current banner as there is no photo showing what new signage will look like. Mr. Scott stated he is unsure if banner will be allowed to stay or if new proposed sign is definitely needed and that is why there is no photo of new proposed sign. Ms. Weitzman clarified that consideration of the sign and accessory structures will need to be continued to the next meeting.

Ms. Weitzman made a motion to approve the request to install wood fencing as submitted as long as applicant confirms that all elements, including posts, are limited to 4 feet in front yard and 6 feet in side or rear yards. Mr. Whitman seconded. The motion carried 6-0.

Ms. Weitzman made another motion to table the sign and accessory structures until the next regular meeting to allow the applicant to provide additional information. Mr. Whitman seconded. The motion carried 6-0.

- ii. COA 2020-03** – 308 Caroline Street – Andy Fitch requests to make alterations to this single-family residence, including construction of an elevator shaft on the south side elevation, enclosure of the second-story inset porch, and enclosure of the inset side patio on the first floor.

Andy Fitch, 1216 Brent Street, was present to represent the application. There were no comments from the public.

Ms. Weitzman noted her conflict of interest at this time and said she will be abstaining from participating.

Chairman Davis asked what materials are being matched for the windows: vinyl or vinyl-clad. Ms. Schwartz noted that ARB records indicate that the existing windows are vinyl-clad. Mr. Fitch said the single-light

casement windows that will be installed for the second-story porch enclosure will match existing windows in material, although the light pattern will be different. He said that adding more lights to the windows drew attention to them and made them seem busier. Mr. Fitch stated they are trying to re-use as much material as possible.

Mr. Whitman made a motion to approve the application as submitted. Mr. Gerlach seconded. The motion carried 5-0-1, with Ms. Weitzman abstaining.

- iii. COA 2020-05** – 203 Ford Street – Ed Whelan requests to make alterations to the former Washington Woolen Mills to convert it to mixed use, including the construction of entry stairs on Ford Street, installation of metal fencing and rooftop railings, construction of three elevator shafts, and the addition of six basement windows along Caroline Street.

Ed Whelan, 1707 Princess Anne Street, was present. He stated that the landing for the entry stairs on Ford Street will need to protrude another 16 inches on top of the 3 feet already noted in application in order to access the basement. Mr. Whelan asked the Board to consider taking action on the window replacement so the project could move ahead.

There were no comments from the public.

Ms. Irvin confirmed that all fencing for this project will be aluminum, not wrought-iron. Mr. Whelan said that all fencing will be aluminum but that the stair rails on Ford Street will be wrought-iron. Ms. Irvin asked for more detailed, dimensional plans for the new entry stairs and expressed concern that the fencing will not be able to fit with the landing and stairs. Mr. Whelan confirmed that there is adequate space to allow for stairs, landing, and fencing within the property lines. Ms. Irvin asked if the new brick wall that will be faced with bricks from the ice house is still part of this application. Mr. Whelan confirmed this but said it will be done at a later time. Ms. Irvin asked for dimensions for the masonry-retaining wall and Mr. Whelan noted that it will be two feet high by eighteen feet long from building to sidewalk.

Ms. Irvin questioned Mr. Whelan about the proposed alterations to the second floor stair. Mr. Whelan stated that they would eliminate a window, build a landing, and have the stairs turn towards the parking lot. Ms. Irvin said that it seems like the stairs would be demolished and completely reconfigured, which is not what the application described. She said that complete drawings detailing the stair reconfiguration would need to be submitted before the work could be reviewed. Mr. Whelan agreed to furnish a more detailed stair plan and described his concept for adding elevators as well. Ms. Irvin concluded that it makes sense to have the stair configuration submitted at the same time as the more detailed drawings for the elevators.

Ms. Irvin clarified the information that was provided for the replacement windows. Mr. Whelan said the windows would be custom made. Ms. Irvin asked if steel was considered for the windows rather than aluminum due to the fact that aluminum replacements will look very different from steel. She noted that steel replacements are available. Mr. Whelan said he chose aluminum to be more energy-efficient. Ms. Weitzman encouraged Mr. Whelan to continue working on this plan and only replace those windows that must be replaced for egress requirements rather than all. She also recommended avoiding any reflective coating on replacement windows, which can greatly change the appearance.

Mr. Gerlach asked if there was a preference on which material to use for the elevator shafts. Mr. Whelan reiterated that he is seeking the board's direction on this. Mr. Gerlach suggested that since there are no historic elevator shafts in Fredericksburg, he can be creative in the materials he chooses.

Ms. Weitzman suggested a work session for this application and Chairman Davis added the possibility of a site visit. Ms. Schwartz noted that they already have a work session planned for February 24 with Mr. Whelan on another project and said they would work on identifying a time. Mr. Whelan stated that he would like to have the fencing and stairs approved tonight and is agreeable that the windows, parapet railing, stair roof and

elevators could be reviewed at a later date with more details on these provided. He noted that he would like to replace all the windows at once so they can be uniform. Ms. Weitzman reiterated that she would not approve the replacement of all the windows and also noted that aluminum versus steel window replacements would have a completely different profile and window thickness and is concerned that they would look like store-front windows.

Mr. Gerlach motioned to approve the application for the construction of stairs to the Ford Street entry and the installation of fencing as presented with the clarification that the fencing will be painted aluminum and the stairs will have wrought-iron hand rails. Mr. Whitman seconded. The motion carried 6-0.

Ms. Irvin made motion to continue all other components of the application until after a work session could be held with the applicant. Ms. Moss seconded. The motion carried 6-0.

- iv. COA 2020-06** – 520 Caroline Street – Nathanael Ulfers requests to rebuild the wood entry stairs and bulkhead doors, including making alterations to the design, for the Agora coffee shop business.

Nathanael Ulfers, 100 Musselman Road, was present. There were no comments from the public.

Ms. Irvin asked if the bulkhead doors are curved and Mr. Ulfers affirmed that they are. Some discussion followed regarding the details of the frame.

Ms. Weitzman complimented the thorough application and motioned to approve it as submitted. Mr. Gerlach seconded. The motion carried 6-0.

- v. COA 2020-04** – 1005 Sophia Street - James E. Jarrell IV requests to demolish the existing two-story commercial building on this site and requests approval of the site planning, scale, and massing of a new two-and-one-half-story commercial building.

The project architect, Andrew Moore, of Glave & Holmes Architecture, Richmond, VA, was present to represent the application. He provided a brief presentation to provide context for the design process, including discussing the historic buildings that provided inspiration. He also noted the challenges of construction in the floodway and how that impacted the design.

Public comments:

Ed Sandtner, 132 Caroline Street, representing HFFI, voiced concerns about the detailing of the stepped parapet, saying that it was too steep, and said the neoclassical columns do not seem to fit the rest of the building design.

Mary Ellen Wheeler, of 1201 Princess Anne Street, noted the large size of the building and stated her concern of the size impeding the view of the Rappahannock River. She said the city has worked hard to preserve the river view and she suggested that this scale of building directly on the riverfront is not the right direction.

Jeh Hicks, 99 Wilderness Lane, representing owner Jarrell Properties, stated that one of the reasons they are in this position is due to construction of the Chatham Bridge. They will not be able to work in the present building during construction. Mr. Hicks noted that they have talked with several groups in the city about incorporating a riverside trail as part of this project. He grew up in the city and wants to be able to see the river as well. With construction of the bridge there is anticipation that there will be a great deal of clearing along the river and possibly Scott's Island.

Ms. Moss said she understands the industrial feel they are trying to achieve as that is historically the narrative of Sophia Street; however, she stated that the design doesn't seem to fit the location with the cupola on top and the neoclassical elements included. She said she appreciated the thorough application and recommended working on these elements prior to the Board's review of the detailed design elements.

Ms. Weitzman noted that this would be a large building, but that its location on a corner made it more appropriate. She supported the staff recommendation to reduce the height, especially adjacent to the street, and asked if it is possible to take some height from each of the top two floors. Mr. Moore said it is possible and agreed that the floor-to-floor heights are generous. Discussion followed on the height of the building across Sophia Street and specific changes that could be made to the new building. Mr. Moore stated that he could remove approximately four feet off the total building height. Ms. Schwartz noted that this would take the height of the flat roof to twenty-nine feet and the height of the parapet to thirty-two feet six inches.

Ms. Irvin said she was in support of the scale and massing with this revised height, but suggests re-working the details of the section closest to the street to reduce any impact of the larger scale. Mr. Gerlach asked Mr. Moore if he had considered eliminating the columns on the front elevation in order to let in more light and also to favor a more industrial look. Mr. Moore said this had been studied.

Chairman Davis stated that he also has concerns with the design details, as stated by other Board members, but is in support of the overall height reduction and the scale and massing with this revision. He said the building design is a good solution given the challenges of design adjacent to the river. Mr. Whitman stated that he is in favor of the building as designed, but understands the concerns of other Board members.

Mr. Gerlach made a motion to approve the demolition of the existing structure, contingent on approval of the site planning, scale, and massing of the proposed new building. Ms. Irvin seconded. The motion carried 6-0.

Ms. Irvin made a motion to approve the site planning, scale, and massing of the proposed new building on condition that the entire building height is reduced by approximately four feet through adjustments in the floor heights of the first and second floors. Ms. Weitzman seconded. The motion carried 6-0.

GENERAL PUBLIC COMMENT

Ed Sandtner, 132 Caroline Street, voiced concern over applications that are approved after-the-fact. He is concerned that this could become the norm and stated that this can create ill will within the community among those residents who follow the rules for applications. He encouraged the Board to create a policy for applications that are approved after the project has already been completed. He also suggested that the Board evaluate completed projects that it approved, citing the additions at the Sentry Box. He noted that some projects look very different in real life than in two-dimensional drawings.

OTHER BUSINESS

A. Transmittal of Planning Commission Notice for February 12, 2020

There were no questions or comments from the Board.

B. Slave Auction Block

Mr. Gerlach stated that he attended the hearing on the appeal of City Council's vote to relocate the Slave Auction Block at 11 a.m. that day. It was presided over by Judge Sarah Deneke. Mr. Gerlach provided an overview of the hearing. He noted that the Judge would come to a decision later in the week.

C. Archaeology Ordinance

Ms. Schwartz stated that the second read of the Archaeology Ordinance is going to City Council tomorrow night and is expected to be approved. The ordinance would take effect with the new fiscal year, on July 1, 2020.

D. Historic Handbook Update

Ms. Schwartz noted that the consultant had met with the ARB and the Historic Preservation Working Group last week and there was great discussion on changes to the Handbook, including new information and a user-friendly format. Ms. Schwartz noted that public meetings would be scheduled soon.

E. Memorials Advisory Commission Report

Ms. Weitzman provided an update on the Memorials Advisory Commission's work to interpret the Slave Auction Block site. A working group led by John Hennessy of the National Park Service had discussed interpretive ideas and worked to develop the interpretive context over several meetings in the last few months.

Chairman Davis adjourned the meeting at 9:05 p.m.

Carthon Davis III, Chair

DRAFT



City of Fredericksburg Architectural Review Board
Record of Administrative Review

Prepared By: Kate Schwartz, Historic Resources Planner

DATE OF APPLICATION: 02/14/2020 GPIN #: 7789-24-1170 FEE PAID

ADDRESS OF PROJECT: 611 Caroline Street

APPLICANT NAME: Susan Bower

Property Owner Business Owner Architect/Contractor Other _____

PROJECT TYPE:

Sign(s) Fence/Wall Minor Exterior Alteration _____

Temporary Emergency Stabilization

Correction ordered by the Building Code Official

PROJECT DESCRIPTION:

Complete supporting documentation received? YES NO

The applicant proposes to install one building-mounted sign for the Spilt Tea business. The sign will be a PVC panel, approximately 31 inches tall by 27 inches wide, with vinyl graphics. The panel will be attached to the porch roof fascia and soffit by a mounting bracket and support chains. The proposed sign accounts for 5.8 square feet of the 39 square feet allowed for this property. The proposed sign is will not adversely impact any character-defining features and is compatible with the character of the district. Approval as submitted is recommended.

RECOMMENDED ARB ACTION:

Approval of the request for a Certificate of Appropriateness as submitted.

ARB Meeting Date: March 9, 2020

Kate Schwartz
 Zoning Administrator

March 4, 2020

Date

PROPERTY INFORMATION:Construction Date: 1852 Architectural Style: Greek RevivalCharacter-Defining Features: Flemish-bond brick construction; side-gabled roof form; 6/6, wood, double-hung sash windows with sandstone sills; heavy portico with Tuscan columns; tracery transomContributing to National Register Historic District? YesPrevious Alterations/ARB Approvals: Fence in 2006; Signs in 2009 and 2015Additional Notes: One-story rear addition constructed in 1947**APPROVAL CRITERIA**

Criteria for evaluating proposed changes are found in City Code § 72-23.1(B)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation. The subject application does or does not meet the criteria as follows:

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
✓			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
✓			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
✓			(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development or that have no historical basis shall be discouraged.
✓			(4) Most properties change over time; those changes that have acquired historic significance in their own right should be retained and preserved. Restoration of original features may be permitted when substantiated by documentary, physical, or pictorial evidence.
✓			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		✓	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Where severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.

		✓	(7) The surface cleaning of structures shall be undertaken using the gentlest means possible. Sandblasting and other chemical or physical cleaning methods that cause damage to historic building materials shall not be undertaken.
		✓	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
✓			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
✓			(10) New additions, alterations, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Applicable Guidelines from the Historic District Handbook:

City Code § 72-23.1(D)4 Signs

The ARB shall consider the following in determining the appropriateness of any application for a sign proposed within the HFD:

- (a) The sign shall be integrated architecturally with the building.
- (b) Placement should not obscure significant architectural features or details of the building.
- (c) All signs shall meet the requirements of §72-59, Signage.

Signs (Historic District Handbook, pg.117-118)

1. A sign should fit the architecture of its building and not obstruct defining elements.
2. The number of signs should be compatible with the building and should not cause visual clutter.
3. The size of each sign and the total area of signs should match the character of the building and of the Historic District. Exact sign allowance should be verified with the Planning Office.
4. Sign design and graphics should be coordinated with the character of the building and the nature of the business.
5. Materials should relate to the building. Traditional sign materials include wood, glass, raised individual letters, and painted letters on wood or glass.

SUPPORTING DOCUMENTATION INCLUDED:

- Photographs of existing conditions
- Context photographs
- General site plan and/or site survey
- Product/material specifications for proposed replacement/repair
- Elevation drawings
- Architectural or design detail drawings
- Other

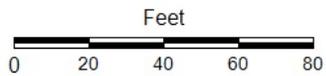
Legend

- City Boundary
- WVS_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
- WVS_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
- Parcels

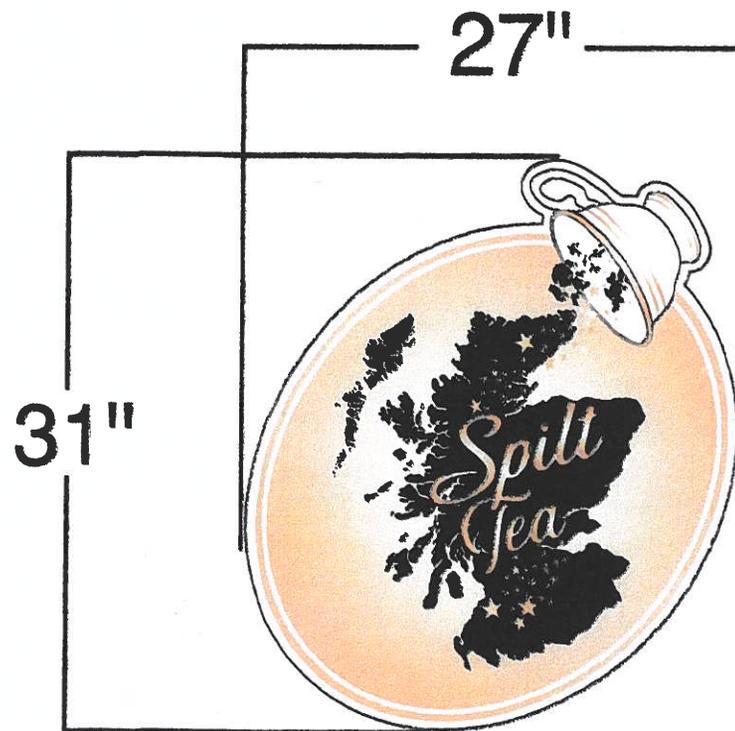


Title: 611 Caroline Street

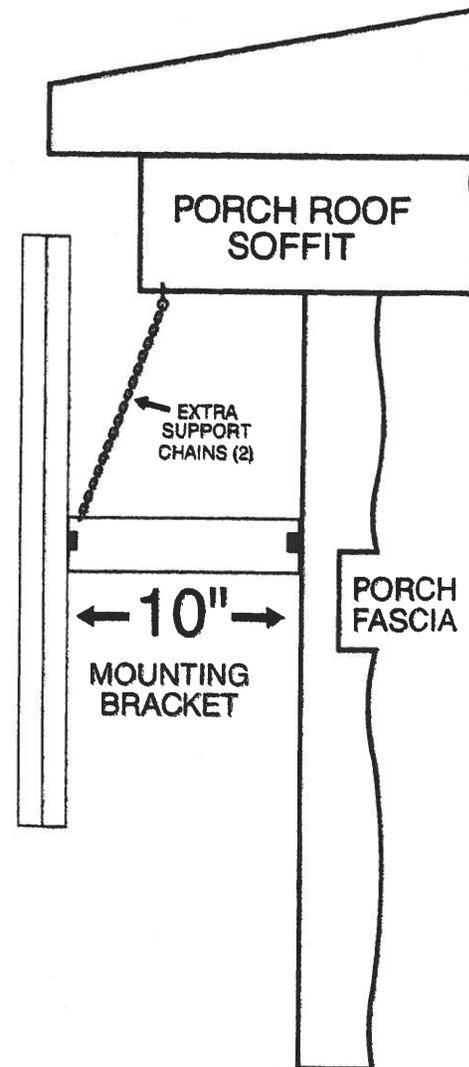
Date: 2/28/2020



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.5" Thick PVC Panel
Cut To Shape (x2)
Glued & Sewed
Digital Print Logo









City of Fredericksburg Architectural Review Board
Record of Administrative Review

Prepared By: Kate Schwartz, Historic Resources Planner

DATE OF APPLICATION: 02/20/2020 GPIN #: 7789-15-6892 FEE PAID

ADDRESS OF PROJECT: 1017 Sophia Street

APPLICANT NAME: Peggy Durette

Property Owner Business Owner Architect/Contractor Other _____

PROJECT TYPE:

Sign(s) Fence/Wall Minor Exterior Alteration _____

Temporary Emergency Stabilization

Correction ordered by the Building Code Official

PROJECT DESCRIPTION:

Complete supporting documentation received? YES NO

The applicant proposes to reface both sides of the existing projecting box sign mounted above the parapet of this one-story commercial block. The sign is eight feet wide by four feet tall and made of PVC with vinyl graphics. The new sign panels will be inserted into the existing sign. The proposed sign accounts for 32 square feet of the 67.5 square feet of signage allowed at this property. The proposed sign is compatible with the character of the site and the district.

RECOMMENDED ARB ACTION:

Approval of the Certificate of Appropriateness for the request as submitted.

ARB Meeting Date: March 9, 2020

Kate Schwartz
 Zoning Administrator

March 4, 2020

Date

PROPERTY INFORMATION:Construction Date: 1960 Architectural Style: CommercialCharacter-Defining Features: brick veneer on front elevation, parapet roof, simple rectangular formContributing to National Register Historic District? YesPrevious Alterations/ARB Approvals: Roof exhaust vent in 1992; alterations to windows and doors in 1992 and 1995; signs and cooler enclosure in 2010; fence in 2011

Additional Notes: _____

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S	D	NA	S – satisfies D – does not satisfy NA – not applicable
✓			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
✓			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
✓			(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development or that have no historical basis shall be discouraged.
✓			(4) Most properties change over time; those changes that have acquired historic significance in their own right should be retained and preserved. Restoration of original features may be permitted when substantiated by documentary, physical, or pictorial evidence.
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		✓	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Where severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.

		✓	(7) The surface cleaning of structures shall be undertaken using the gentlest means possible. Sandblasting and other chemical or physical cleaning methods that cause damage to historic building materials shall not be undertaken.
		✓	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
✓			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
✓			(10) New additions, alterations, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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- (c) All signs shall meet the requirements of §72-59, Signage.

Signs (Historic District Handbook, pg.117-118)

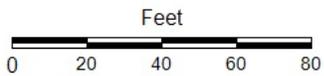
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2. The number of signs should be compatible with the building and should not cause visual clutter.
3. The size of each sign and the total area of signs should match the character of the building and of the Historic District. Exact sign allowance should be verified with the Planning Office.
4. Sign design and graphics should be coordinated with the character of the building and the nature of the business.
5. Materials should relate to the building. Traditional sign materials include wood, glass, raised individual letters, and painted letters on wood or glass.

SUPPORTING DOCUMENTATION INCLUDED:

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- Other

Legend

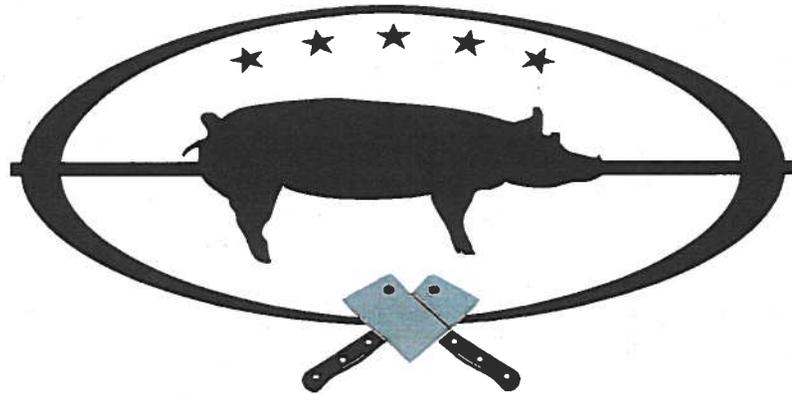
- City Boundary
- WVS_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
- WVS_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
- Parcels



Title: 1017 Sophia Street

Date: 2/28/2020

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*Come on Down
to the Pitt*

THE PIG PITT

Southern BBQ & Fresh **HOMEMADE** Sides

PORK - RIBS - CHICKEN

CALL THE HAPPY M





City of Fredericksburg Architectural Review Board
Record of Administrative Review

Prepared By: Kate Schwartz, Historic Resources Planner

DATE OF APPLICATION: 02/26/2020 GPIN #: 7789-15-5538 FEE PAID

ADDRESS OF PROJECT: 1015 Caroline Street

APPLICANT NAME: Nicole Robyn

Property Owner Business Owner Architect/Contractor Other _____

PROJECT TYPE:

Sign(s) Fence/Wall Minor Exterior Alteration _____

Temporary Emergency Stabilization

Correction ordered by the Building Code Official

PROJECT DESCRIPTION:

Complete supporting documentation received? YES NO

The applicant proposes to install two signs for the Freedom Society tea and gift shop. One sign will be hand-painted in the signboard area above the storefront. The sign will be 19 feet wide by 16 inches in height and will be composed of painted, stenciled letters spelling out the business name. Vinyl door decals will also be installed on the two entry doors, centered in the upper half of the glazed doors. Each decal measures 20.5 inches by 19 inches. The proposed signs will have minimal impact and are compatible with the character of the site and the district. Approval of the request as submitted is recommended.

RECOMMENDED ARB ACTION:

Approval of the Certificate of Appropriateness for the request as submitted.

ARB Meeting Date: March 9, 2020

Kate Schwartz

Zoning Administrator

March 4, 2020

Date

PROPERTY INFORMATION:Construction Date: 1810 Architectural Style: Greek RevivalCharacter-Defining Features: Flemish-bond brick construction; metal-clad, side-gabled roof form with dormer; 6/6 wood, double-hung sash windows; 20th-century storefront with large display windowsContributing to National Register Historic District? YesPrevious Alterations/ARB Approvals: Signs in 2008 and 2012; new signboard installation and replacement shutters in 2011Additional Notes: Building permit records indicate that the storefront was installed in 1957**APPROVAL CRITERIA**

Criteria for evaluating proposed changes are found in City Code § 72-23.1(B)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation. The subject application does or does not meet the criteria as follows:

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
✓			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
✓			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
✓			(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development or that have no historical basis shall be discouraged.
✓			(4) Most properties change over time; those changes that have acquired historic significance in their own right should be retained and preserved. Restoration of original features may be permitted when substantiated by documentary, physical, or pictorial evidence.
✓			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		✓	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Where severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.

		✓	(7) The surface cleaning of structures shall be undertaken using the gentlest means possible. Sandblasting and other chemical or physical cleaning methods that cause damage to historic building materials shall not be undertaken.
		✓	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
✓			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
✓			(10) New additions, alterations, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Applicable Guidelines from the Historic District Handbook:

City Code § 72-23.1(D)4 Signs

The ARB shall consider the following in determining the appropriateness of any application for a sign proposed within the HFD:

- (a) The sign shall be integrated architecturally with the building.
- (b) Placement should not obscure significant architectural features or details of the building.
- (c) All signs shall meet the requirements of §72-59, Signage.

Signs (Historic District Handbook, pg.117-118)

1. A sign should fit the architecture of its building and not obstruct defining elements.
2. The number of signs should be compatible with the building and should not cause visual clutter.
3. The size of each sign and the total area of signs should match the character of the building and of the Historic District. Exact sign allowance should be verified with the Planning Office.
4. Sign design and graphics should be coordinated with the character of the building and the nature of the business.
5. Materials should relate to the building. Traditional sign materials include wood, glass, raised individual letters, and painted letters on wood or glass.

SUPPORTING DOCUMENTATION INCLUDED:

- Photographs of existing conditions
- Context photographs
- General site plan and/or site survey
- Product/material specifications for proposed replacement/repair
- Elevation drawings
- Architectural or design detail drawings
- Other

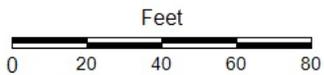
Legend

- City Boundary
- WVS_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
- WVS_Centerlines Back (12,000)
- Interstate
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- Others
- Parcels



Title: 1015 Caroline Street

Date: 2/28/2020



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Feb 26, 2020

We will be using letter stencils to paint the sign on our building according to the design I remitted just of the words FREEDOM SOCIETY.

Thank you,

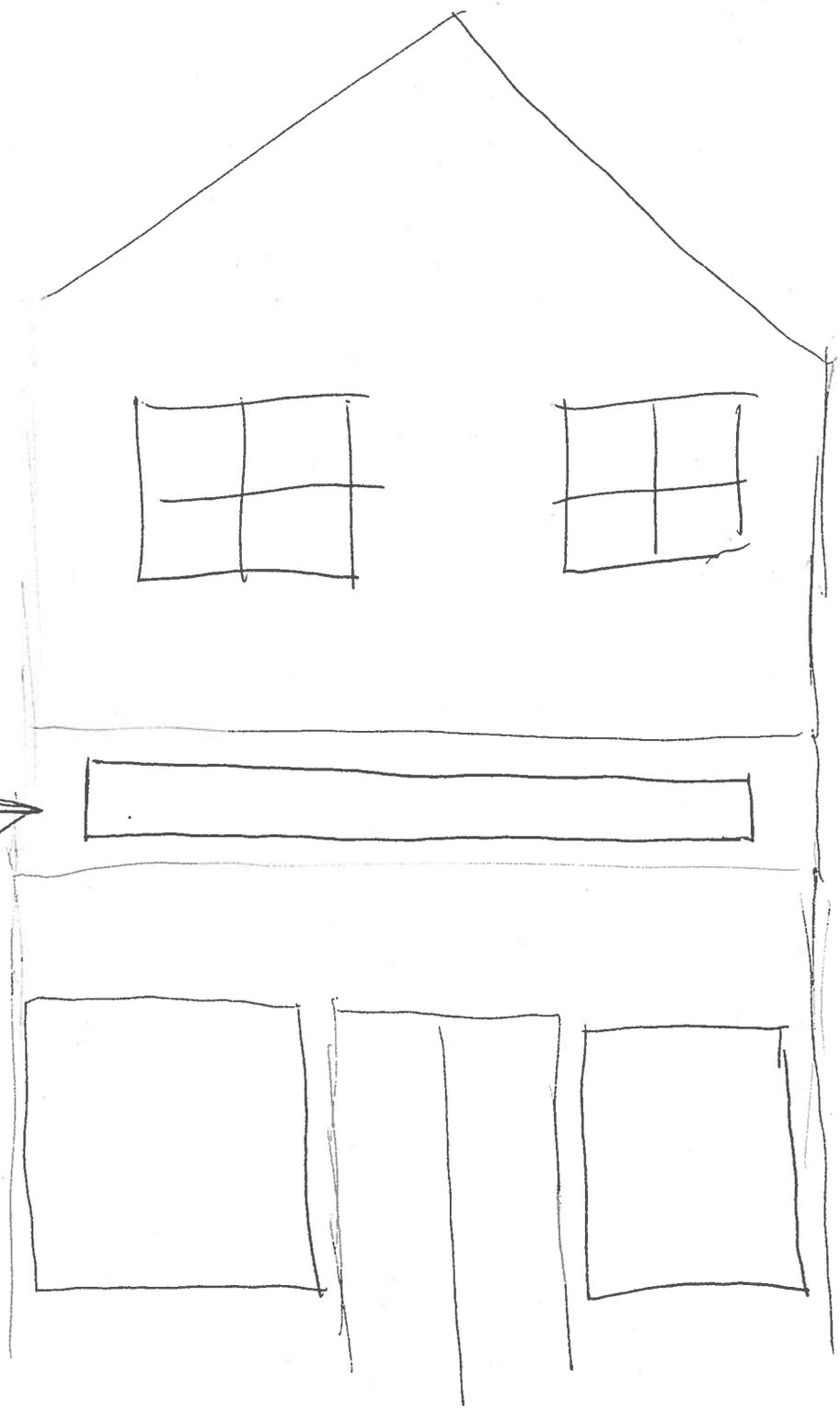
Nicole Robyn
Director, Polished Pearl LLC DBA Freedom Society



Painted in
black lettering
on existing
white background
Sign dimensions
approx 16inx
19ft

FREEDOM SOCIETY

already
existing
and painted
white



Decals on
doors



FREEDOM
SOCIETY
TEA + GIFTS



MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: March 4, 2020 (for the March 9, 2020 hearing)
SUBJECT: Certificate of Appropriateness for accessory structures at 1020 Princess Anne Street

ISSUE

Dennis Sacrey requests to construct a children's play area for the Fredericksburg Baptist Church in one corner of this parking lot, surrounded by a six-foot painted aluminum fence.

RECOMMENDATION

Approval of the request for a Certificate of Appropriateness as submitted.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

Site Planning – Fences and Walls (Historic District Handbook, pg.72)

1. Fence and wall materials and design should relate to those found in the neighborhood. Chain-link fences are generally not recommended.
3. Fences between adjoining commercial and residential areas should be of a design that relates to the residential area.

BACKGROUND

The property at 1020 Princess Anne Street is a parking lot that serves the Fredericksburg Baptist Church located across Princess Anne Street. The property occupies the northeast corner of the block, adjacent to Princess Anne and Amelia Streets, and is surrounded by a low brick wall and landscaping. The property does not contribute to the historic significance of the district.

The applicant proposes to construct a play area to serve the Church's preschool in the southwest corner of the parking lot. Four parking spaces will be eliminated, and the curbing will be reconstructed to create a level area. A painted aluminum fence, six feet in height, will surround a portion of the play area, including the front and north side and a portion of the south side. The fence will meet the existing brick wall at the back and south side. A one-piece play structure will be located in the center of the play area. The enclosed area is set back approximately 110 feet from each adjacent street.

The planned location for this accessory use area meets the standards in the code and will not adversely impact the character of the historic district. The fencing is similar in material in design to examples at neighboring properties and is appropriate for use. Approval of the request as submitted is recommended.

APPROVAL CRITERIA

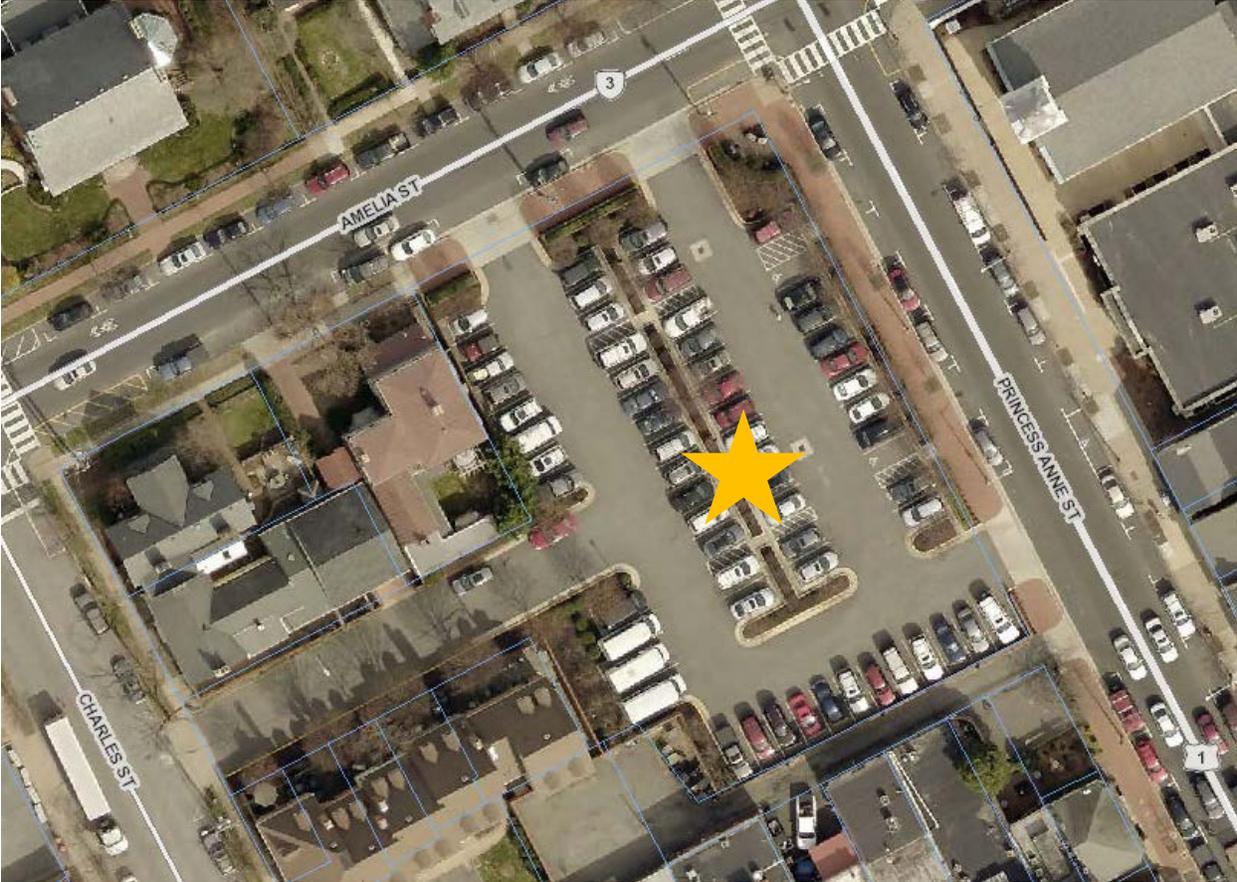
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation.

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
X			(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
X			(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

1. Aerial photograph and front elevation view
2. Property photographs
3. Project description
4. Site plan
5. Product specifications



AERIAL



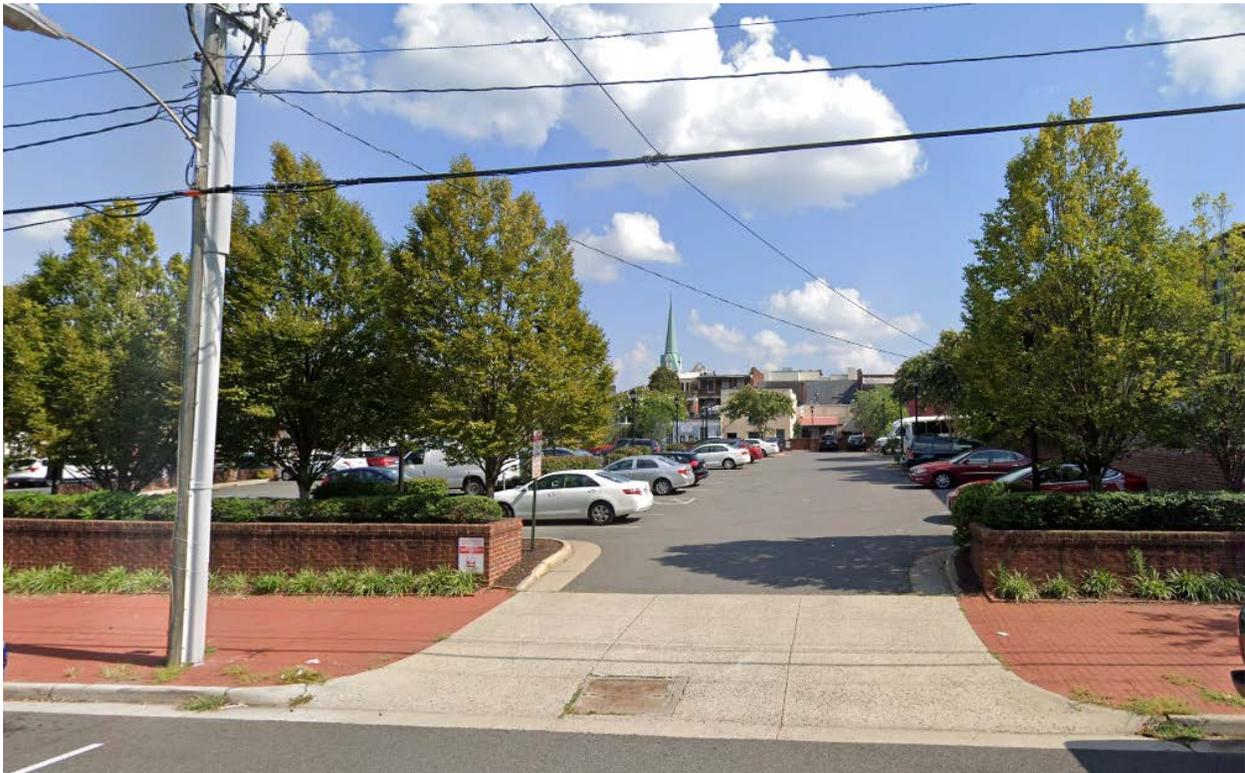
VIEW FACING WEST FROM PRINCESS ANNE STREET



Playground area boxed in red



View from Princess Anne Street



View from Amelia Street

Fredericksburg Baptist Church Playground Project

Fredericksburg Baptist Church seeks to install a children's' playground area at the rear of the church parking lot. The project will entail elimination of four parking spaces and some surrounding landscaping. Pictures of the area are included in this packet.

The playground will feature a single standalone piece of play equipment. A picture of the proposed equipment is included in this packet.

The surface of the play area will be a permanent rubber poured in place product. Information about the product is included in this packet.

The perimeter of the play area will utilize the existing brick wall on the west elevation and on three quarters of the south elevation. The remaining perimeter will utilize a six foot high black vinyl fence such as the one pictured in the included photograph.

***fence to be constructed of painted aluminum**

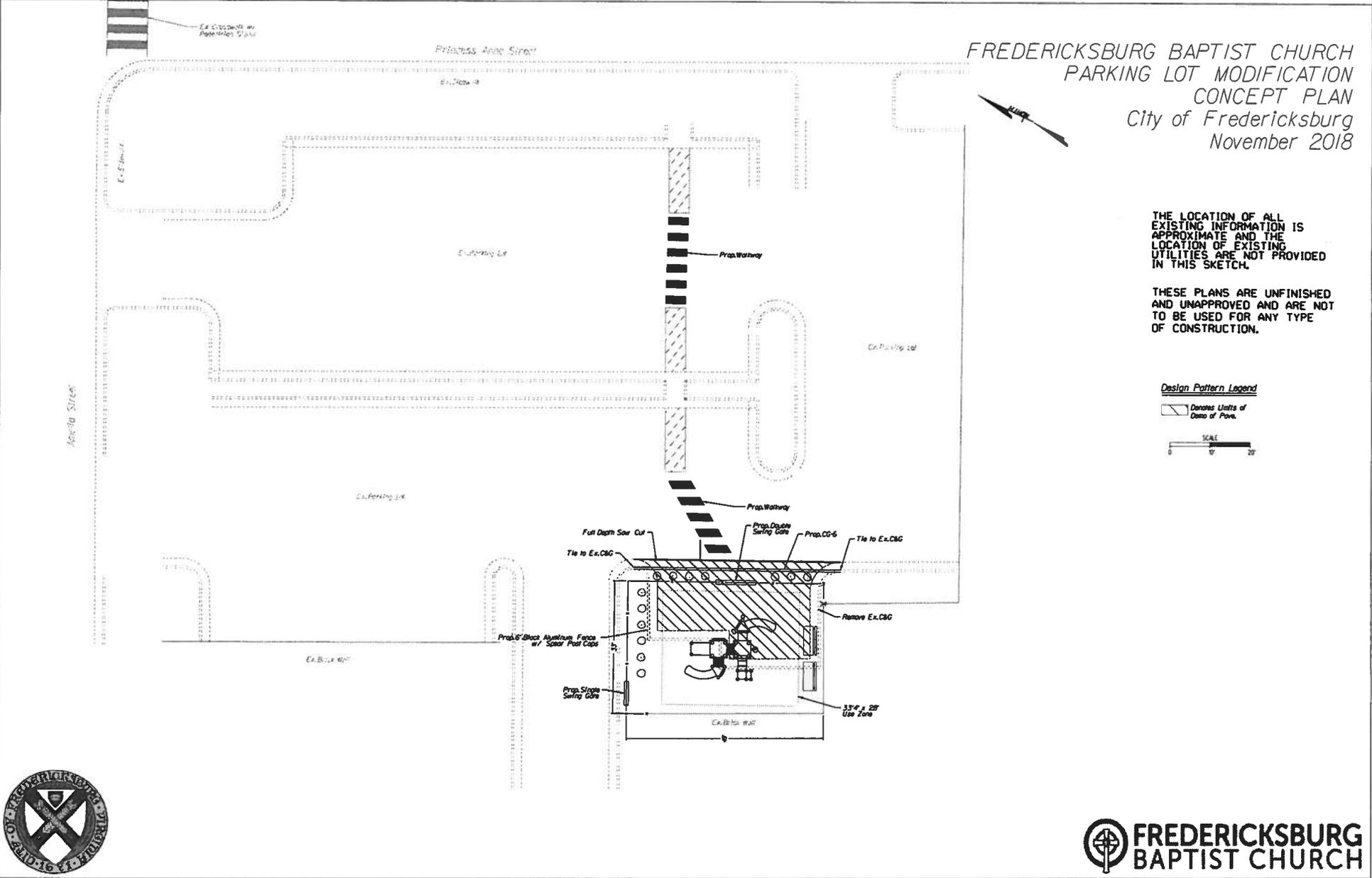
FREDERICKSBURG BAPTIST CHURCH
 PARKING LOT MODIFICATION
 CONCEPT PLAN
 City of Fredericksburg
 November 2018

THE LOCATION OF ALL EXISTING INFORMATION IS APPROXIMATE AND THE LOCATION OF EXISTING UTILITIES ARE NOT PROVIDED IN THIS SKETCH.

THESE PLANS ARE UNFINISHED AND UNAPPROVED AND ARE NOT TO BE USED FOR ANY TYPE OF CONSTRUCTION.

Design Pattern Legend

 Denotes Units of
 Demo of Pavement.









Meets National Standards for: ✓ ASTM F1487-17 ✓ CPSC Guidelines #325

Product Description

Steamboat Springs is a play system that combines several of the best and most exciting playground activities into one wild structure. It has a great selection of moderately sized slides, including a Straight Slide, Double Slide, and Right Turn Slide. The structure is divided in half by a Tube Bridge, which makes the structure exciting for kids to simply navigate around. There are two arched climbers which kids can use to easily reach the deck platforms. One is an Inverted Arch Ladder with straight metal rungs, while the other is a Sea Creature Climber with an interesting ocean design. One of the most unique parts of this structure, however, is its small enclosed area made from activity panels, where kids can find a Math Panel, Bench Panel, Store Panel, and Tic-Tac-Toe Panel. This spot is a perfect location for kids who want to take it easy and enjoy some stationary activities with friends.

Product Specifications

Price: \$16,714.⁰⁰

Model Number: PKP209

Age Range: 2-12 years

Child Capacity: 41-48

Fall Height: 48"

Post Diameter: 3.5-inch

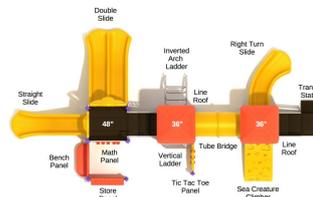
Product Type: Spark

Safety Zone: 26' 3" x 40' 5"

✓ **ADA Compliant**



Elevated	7 components
Ground Level	4 components





(<http://playgroundsurfacing.com/>)

POURED IN PLACE RUBBER UNITARY PLAYGROUND SAFETY SURFACE

Poured in place rubber playground surfacing from PlaygroundSurfacing.com is designed to be durable, low maintenance and cost effective. Our team of expert installers has completed installations of poured in place rubber all over the United States and even on rooftops! We only use the highest quality EPDM granules from Germany and our proprietary binders are made to be resilient against UV damage.

With the flexibility that poured in place rubber surfacing offers, it can be used for a variety of installations, including playgrounds, entry ways, exercise areas, walking trails and anywhere else a non slip, soft surface may be beneficial. Although this surface was originally designed for playgrounds, its benefits have been realized and it is commonly used elsewhere now.

CONTACT US (/CONTACT-US)

CALL US TODAY
1-800-573-7529

CERTIFIED PRODUCTS

All of our surfacing products are third party certified to meet CPSC, ASTM and IPEMA standards for quality.



SAFETY GUARANTEED

All of our surfacing products are tested to make sure they meet or exceed ASTM, IPEMA and CPSC safety requirements.

NO GUESS WORK

Our playground surfacing experts will design the perfect system for you, taking care of the details for you.



PROFESSIONAL INSTALLATION

Guaranteed hassle free professional playground surfacing installation by our licensed and experienced surfacing installers.

PRODUCTS & SERVICES **BENEFITS** **Q&A**

POURED IN PLACE RUBBER SURFACING
DURABLE, AFFORDABLE RUBBER SURFACING

Poured in place rubber playground safety surfacing is both beautiful and durable. The key to a great playground is the surfacing; we provide both. We are able to do intricate designs and beautiful custom rubber surfacing installations are ADA compliant and meet or exceed ASTM 1292 standards. It is important to ensure that the proper base materials, slopes, products and drainage have been considered



DURABLE CONSTRUCTION

Our poured in place rubber systems are designed to be durable and withstand frequent use and abuse.

W



LOW MAINTENANCE

Poured in place rubber is virtually maintenance free after installation, saving you time,

NEED HELP DECIDING WHATS BEST FOR YOUR Poured IN PLACE INSTALLATION?

[CONTACT US \(/CONTACT-US\)](#)

POURED IN PLACE RUBBER SURFACING

INSPIRATIONS

LIMITLESS POSSIBILITIES



CONTACT US

PlaygroundSurfacing.com

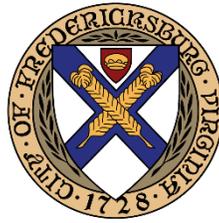
Phone: 1-800-573-7529

Email: sales@playgroundsurfacing.com
(<mailto:sales@playgroundsurfacing.com>)

www.playgroundsurfacing.com



Fence style: 6 feet, painted black aluminum



MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: March 4, 2020 (for the March 9, 2020 hearing)
SUBJECT: Certificate of Appropriateness for exterior alteration at 304 Hanover Street

ISSUE

Tom Frazier requests to make two wall penetrations for a ventilation system on the east side elevation of the three-story rear addition adjacent to Princess Anne Street for the Fredericksburg United Methodist Church.

RECOMMENDATION

Approval of the request for a Certificate of Appropriateness on condition that the installation is fully screened from Princess Anne Street. The final design of screening materials may be approved by the Historic Resources Planner as a component of the building permit approval process.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

City Code § 72-23.1(D)2

9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

Site Planning – Fences and Walls (Historic District Handbook, pg.72)

1. Fence and wall materials and design should relate to those found in the neighborhood. Chain-link fences are generally not recommended.
3. Fences between adjoining commercial and residential areas should be of a design that relates to the residential area.

BACKGROUND

The Fredericksburg United Methodist Church building was constructed in 1882 in the Gothic Revival style when an earlier structure that was damaged during the Civil War was replaced. Though the details are Gothic Revival in style, the asymmetrical massing is also indicative of the Tudor Revival style. The two-story, nave-plan, masonry church is topped by a steeply-pitched gable roof clad in polychromatic slate. Two towers, one taller and with an open belfry, flank the façade. Both

are topped by pyramidal roofs and finials. A large, pointed-arch, stained-glass window framed by a recessed brick arch is centered on the second story of the façade. Additional decorative features include paired lancet windows, narrow casement windows, brick buttresses, and patterned brickwork. This is a contributing structure in the Historic District.

A series of additions project from the rear of the original church building. A one-story addition was constructed at the rear of the church between 1886 and 1891, and this was expanded a number of times in the 20th century. By the 1940s, a one-story addition with a footprint generally matching the section adjacent to Princess Anne Street was in place. A building permit from 1950 indicates that this area was either reconstructed or expanded into a three-story addition. The church was connected to the former residence at 308 Hanover Street in 1988 and extensive rear additions were constructed in the early 2000s.

The applicant proposes to install an exhaust vent and air supply duct on the east elevation of the 1950 addition. This elevation is visible from Princess Anne Street, through the parking lot adjacent to the former Catholic church. A masonry dumpster enclosure is in front of the subject wall. Two penetrations would be made in the brick wall to the side of one window and directly above another window. The exhaust fan is approximately two feet square and projects out 30 inches from the wall. The air supply duct is approximately nine feet wide and 30 inches tall. Both pieces of equipment are constructed of metal with a galvanized finish.

The installation of this equipment does not appear to impact character-defining features and the location appears appropriate, given that this area of the building is already used for the dumpster enclosure and other utilitarian features. However, the City Code emphasizes the screening of mechanical equipment wherever possible and this location is clearly visible from the public right-of-way. The highly reflective appearance will be prominent. Approval of the alteration is recommended on condition that screening is provided. A screening wall could be added to the top of the masonry enclosure and extended to the side. Lattice-work or other semi-open material could be used to ensure proper ventilation for the equipment. The ARB may permit staff to verify and approve the final design of the screening as a component of the building permit approval.

APPROVAL CRITERIA

Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

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			removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
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		X	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
X (with screen ing)			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

1. Aerial photograph and front elevation view
2. View from right-of-way
3. Sanborn Fire Insurance Maps, 1891 and 1947
4. Example installation
5. Equipment specifications



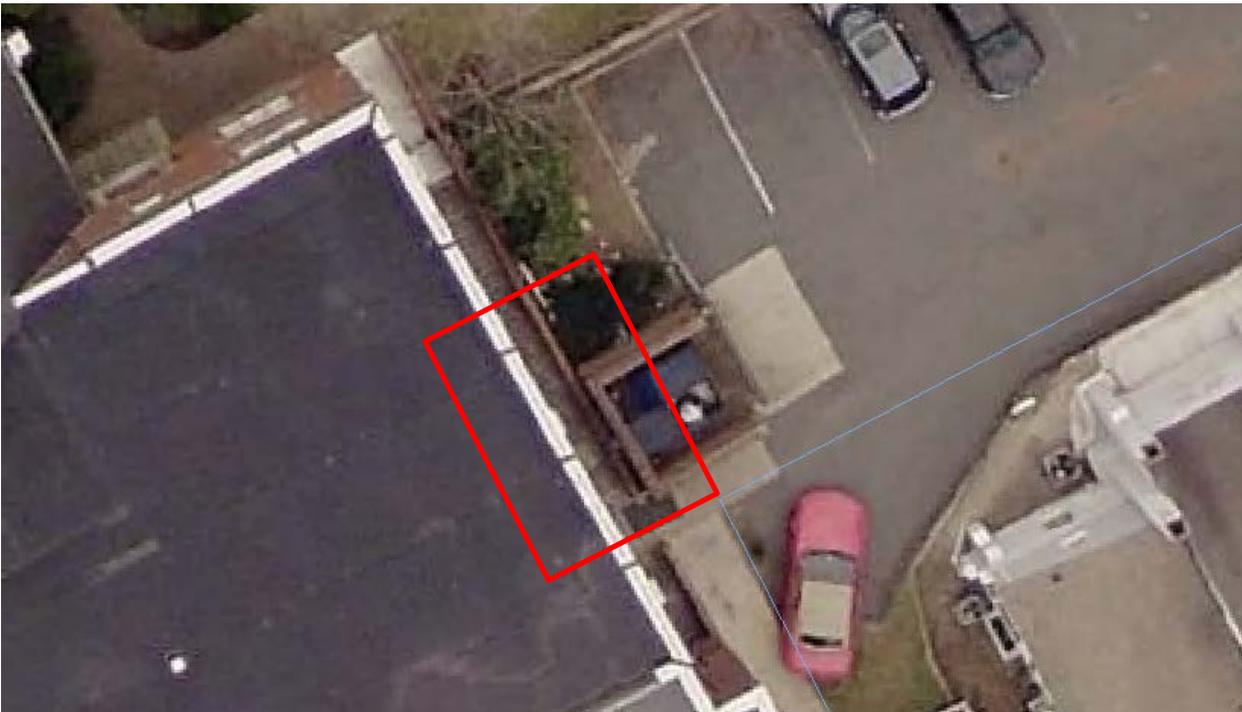
AERIAL

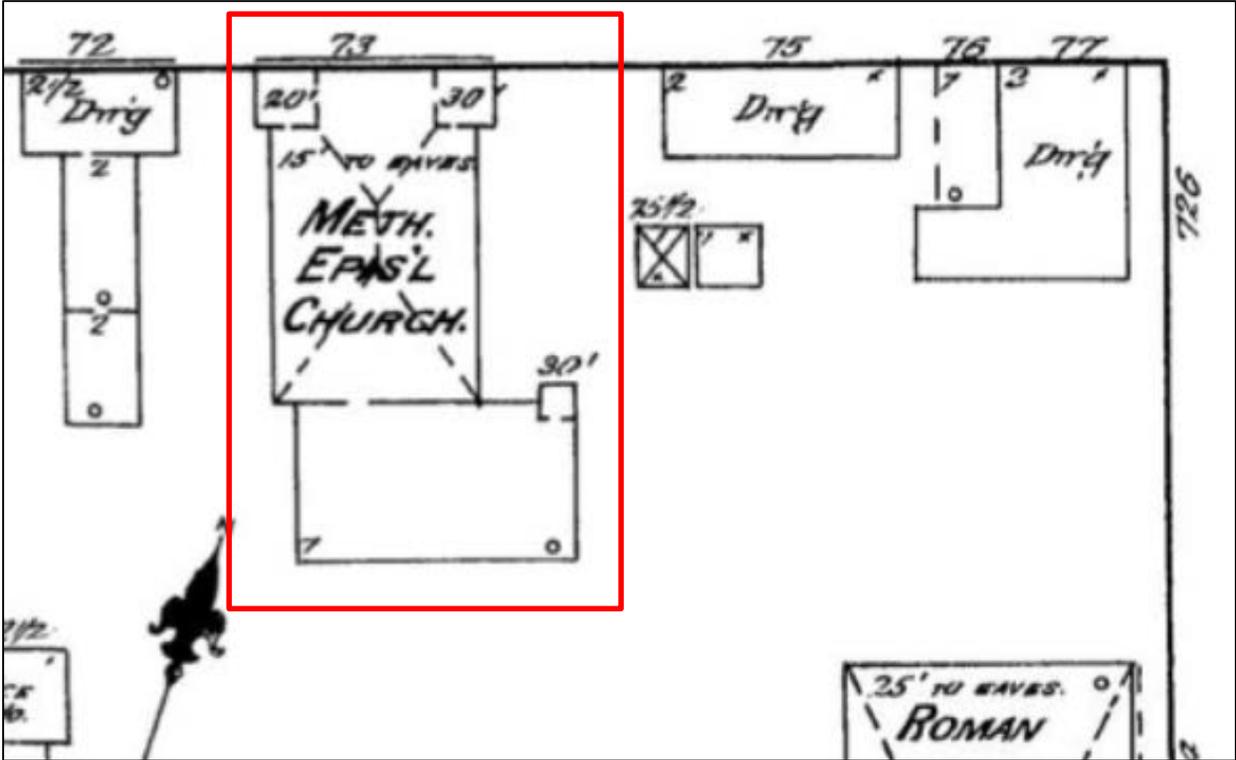


FRONT (NORTH) ELEVATION

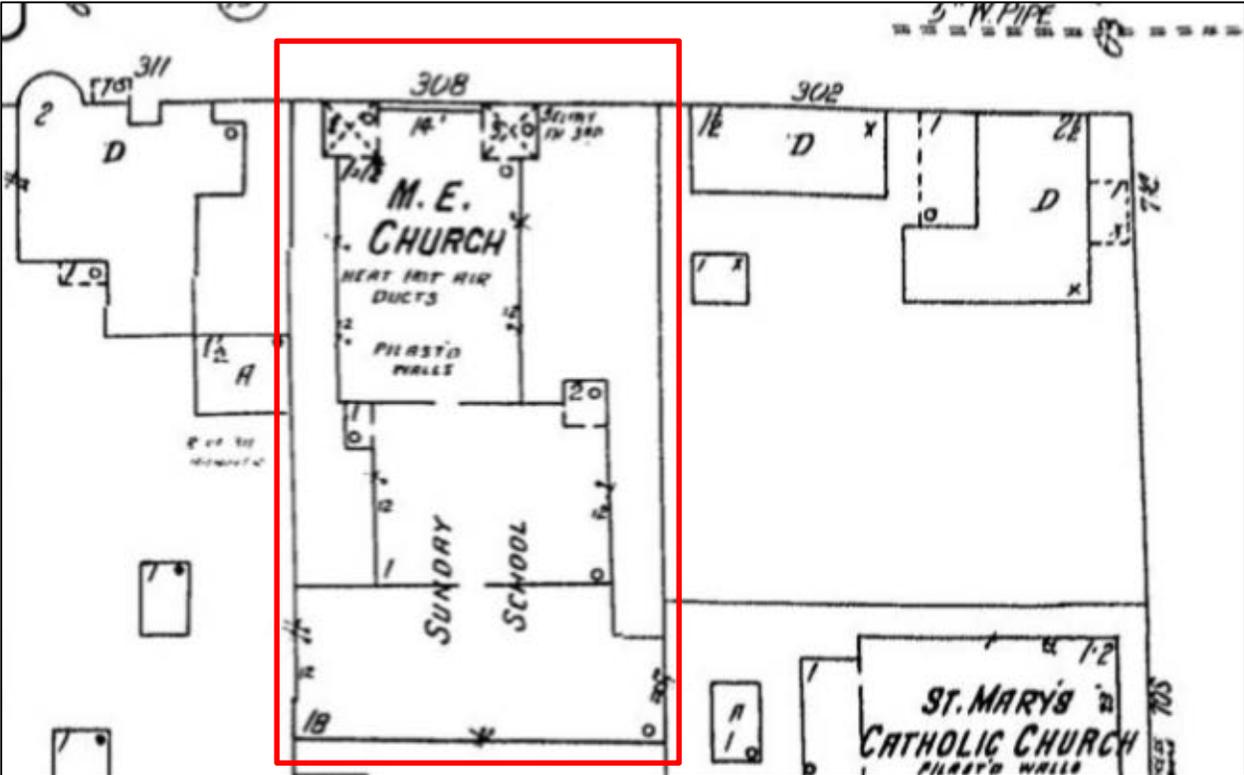


View from Princess Anne Street
Project area boxed in red.





1891 Sanborn Fire Insurance Map



1947 Sanborn Fire Insurance Map



A similar installation at a different property.

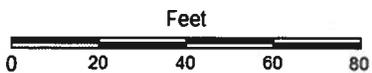


A similar installation at a different property.

Legend

- City Boundary
- WVS Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
- WVS Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
- Parcels
- Addresses

(1) Exhaust Fan is 15' From Boundary Line



Title:

Date: 1/28/2020

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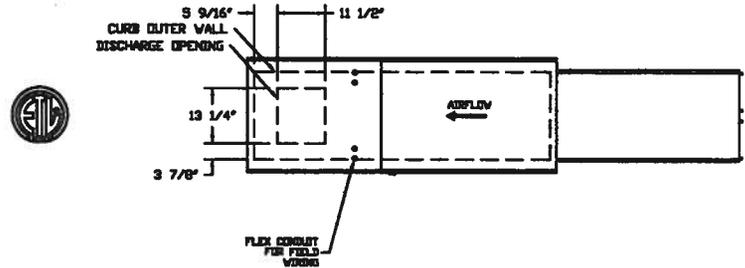


- FAN #2 AI-1250-150 - HEATER
1. DIRECT GAS FIRED HEATED MAKE UP AIR UNIT WITH 15" DIRECT DRIVE FAN
 2. INTAKE HOOD WITH EZ FILTERS
 3. DOWN DISCHARGE - AIR FLOW RIGHT -> LEFT
 4. COOLING INTERLOCK RELAY, 24VAC COIL, 120V CONTACTS. LOCKS OUT BURNER CIRCUIT WHEN AC IS ENERGIZED.
 5. MOTORIZED BACK DRAFT DAMPER 16" X 16" FOR SIZE 1 STANDARD & MODULAR HEATER UNITS W/EXTENDED SHAFT, STANDARD GALVANIZED CONSTRUCTION, 3/4" REAR FLANGE, LOW LEAKAGE, TFB200S ACTUATOR INCLUDED
 6. LOW FIRE START, ALLOWS THE BURNER CIRCUIT TO ENERGIZE WHEN THE MODULATION CONTROL IS IN A LOW FIRE POSITION.
 7. GAS PRESSURE GAUGE, 0-30", 2.5" DIAMETER, 1/4" THREAD SIZE
 8. GAS PRESSURE GAUGE, -5 TO +15 INCHES WC, 2.5" DIAMETER, 1/4" THREAD SIZE
 9. ECM WIRING PACKAGE AND MANUAL OR 0-10VDC CONTROL FOR SUPPLY ECM MOTORS. RTC CONTROLLER. #NOOD NOT ORDER UNDER WARRANTY, SEE PART NUMBER "ECM-VCU-RTC".

#NOTED SUPPLY DUCT MUST BE INSTALLED TO MEET SMACNA STANDARDS. A MINIMUM STRAIGHT DUCT LENGTH MUST BE MAINTAINED DOWNSTREAM OF UNIT DISCHARGE AS OUTLINED IN AMCA PUBLICATION EOL. DO NOT RELY ON UNIT TO SUPPORT DUCT IN ANY WAY. FAILURE TO PROPERLY SIZE DUCTWORK MAY CAUSE SYSTEM EFFECTS AND REDUCE PERFORMANCE OF THE EQUIPMENT. SUGGESTED STRAIGHT DUCT SIZE IS 14" X 14"

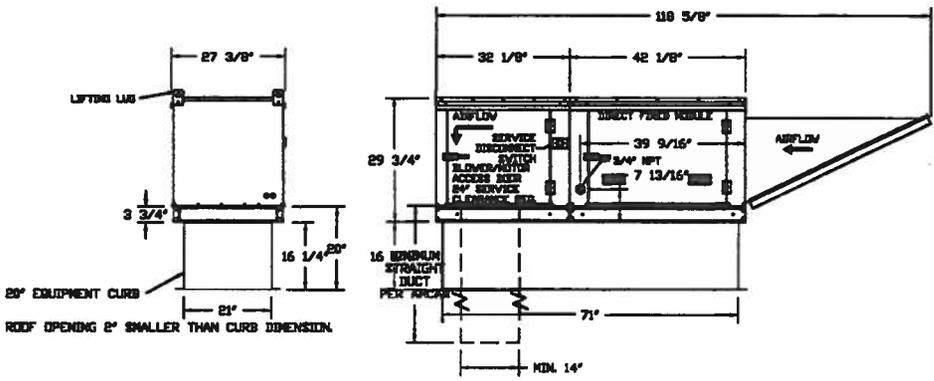
SUPPLY SIDE HEATER INFORMATION

WINTER TEMPERATURE = 20°F, TEMP. RISE = 50°F.
 BTUS CALCULATED OFF ACTUAL AIR DENSITY
 OUTPUT BTUS AT ALTITUDE OF 0.0 Ft. = 93250
 INPUT BTUS AT ALTITUDE OF 0.0 Ft. = 101329
 OUTPUT BTUS AT ALTITUDE OF 206 Ft. = 92528
 INPUT BTUS AT ALTITUDE OF 206 Ft. = 100567



Direct Drive Motor Fan Assembly

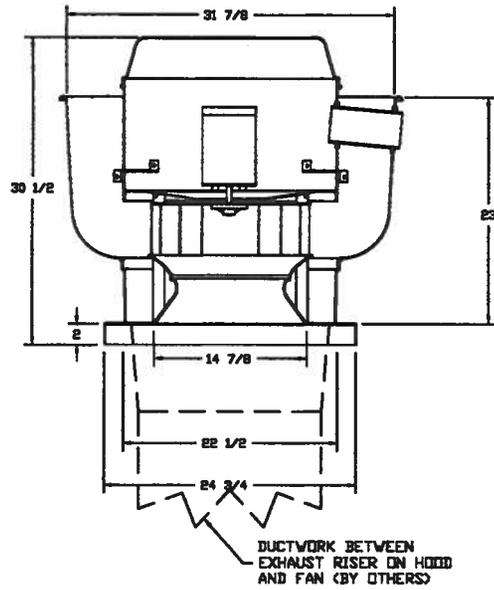
WARNING: Read and Follow Instructions
 This unit is a gas-fired heater and must be installed and operated in accordance with the instructions of the manufacturer. Failure to follow these instructions may result in property damage, personal injury, or death.
 This unit is not to be used for space heating. It is designed for use as a make-up air unit for a combustion process.
 This unit is not to be used for ventilation. It is designed for use as a make-up air unit for a combustion process.
 This unit is not to be used for any other purpose.
 The manufacturer is not responsible for any damage to property or personal injury or death resulting from the use of this unit for any purpose other than that intended.



CAPTIVEAIRE

JOB# FUMC	
LOCATION: RICHMOND, VA,	
DATE: 1/22/2020	JOB #: 4171512
DWG #: 8	DRAWN BY: JMN-28
REV	SCALE: 1/1" = 1'-0"

FAN #1 DUBSHEA - EXHAUST FAN



FEATURES:

- DIRECT DRIVE CONSTRUCTION ON BELTS/PULLEYS
- ROOF MOUNTED FANS
- RESTAURANT MODEL
- UL705
- VARIABLE SPEED CONTROL
- INTERNAL WIRING
- WEATHERPROOF DISCONNECT
- THERMAL OVERLOAD PROTECTION (SINGLE PHASE)
- HIGH HEAT OPERATION 300°F (149°C)

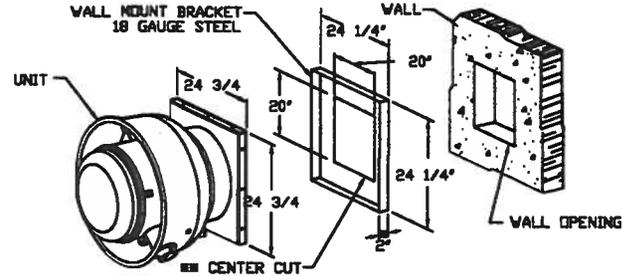
NORMAL TEMPERATURE TEST

EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING AIR AT 300°F (149°C) UNTIL ALL FAN PARTS HAVE REACHED THERMAL EQUILIBRIUM, AND WITHOUT ANY DEGRADING EFFECTS TO THE FAN WHICH WOULD CAUSE UNSAFE OPERATION.

OPTIONS

WALLMOUNT 24,25' SQ. X 2'.
 WALL MOUNT CONSTRUCTION FOR FAN.
 SHIP LOOSE DISCONNECT FOR REMOTE MOUNT.
 ECM WIRING PACKAGE - MANUAL OR 0-10VDC REFERENCE SPEED CONTROL (TELCO MOTOR), CCW ROTATION.

WALL MOUNT BRACKET



- WALL BRACKET FITS INTO BASE OF FAN
- SELF DRILLING SCREWS SHOULD BE USED FOR UNIT ATTACHMENT TO WALL MOUNT BRACKET
- DIMENSION = 5" WHEN USED WITH DAMPER
- CENTERED IN WALL MOUNT

	CAPTIVE AIR	
	JOB# FUMC	
	LOCATION RICHMOND, VA,	
	DATE 1/22/2020	JOB # 4171512
	DWG # 7	DRAWN BY JMN-28
DPV	SCALE 3/8" = 1'-0"	



MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: March 4, 2020 (for the March 9, 2020 hearing)
SUBJECT: Certificate of Appropriateness for exterior alteration at 221 Princess Anne Street

ISSUE

Debra Joseph requests to make alterations to this residence including enclosing an inset porch on the north side elevation of a rear one-story addition.

RECOMMENDATION

Approval of the request for a Certificate of Appropriateness with the following conditions:

1. Final selections, including windows and the stair railing, must be verified by the Historic Resources Planner as being in accordance with the information presented prior to building permit approval and installation.
2. The beadboard paneling and all trim must be constructed of wood with a smooth finish.
3. Trim details at the bottom of the new wall will match those on the south side of the house.
4. The applicant should consider incorporating the turned posts located at each end of the porch into the new wall in order to maintain the clear delineation of this space.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

Exterior Architectural Elements – Porches and Steps (Historic District Handbook, pg. 96)

7. Avoid enclosing porches on primary elevations. In addition, avoid enclosing important secondary porches in a manner that changes the building's historic character.

BACKGROUND

This two-story, wood-framed dwelling was constructed c.1890 in the Colonial Revival style. Clad in weatherboard and topped by a side-gabled, standing seam metal-clad roof, the structure rests on a low brick foundation. A molded frieze board and dentil molding tops the façade below the eave. A full-width, one-story, flat-roofed porch with dentil molding and supported by square columns spans the façade. Two-over-two, wood, double-hung sash windows with louvered wood shutters are typical. A one-light, single, paneled wood door with one-light transom is centered on the façade. This is a contributing structure in the Historic District.

The applicant proposes to enclose an inset porch on the north side elevation. Several additions project from the rear of this residence. Historic maps show that a porch was constructed on this side of the house by 1902. By 1927, porches had been extended around three sides of the projecting rear additions. Approval was granted by the ARB in 1998 to replace sliding glass doors enclosing the porch on the south side of the house. These were replaced by beadboard wall panels with two-over-two, wood, double-hung sash windows above. The original porch columns were retained to separate each wall section, and each section was topped by a single-light transom.

The applicant plans to mirror this appearance on the north side by removing the porch railing and decking and constructing a new exterior wall to enclose the porch. The lower portion of the wall would be clad in beadboard and the upper portion of the wall would be enclosed by two two-over-two, wood, double-hung sash windows matching those on the south side. At the right side of this new wall, the existing porch door would be brought forward and reinstalled at the top of the entry stairs. The single-light transom above the windows would not be included due to the reduced height of this porch compared to the other side of the house. A simple iron railing consisting of a top bar and support posts would be installed surrounding two sides of the brick entry stoop, and a handrail would be installed to one side of the steps. The applicant has not provided further details on the railing as the goal is to use a salvaged iron railing.

Enclosing this secondary porch would not alter this building’s historic character; however, some conditions and considerations are recommended to ensure that the alteration is consistent with the district standards:

5. Final selections, including windows and the stair railing, must be verified by the Historic Resources Planner as being in accordance with the information presented prior to building permit approval and installation.
6. The beadboard paneling and all trim must be constructed of wood with a smooth finish.
7. Trim details at the bottom of the new wall will match those on the south side of the house.
8. The applicant should consider incorporating the turned posts located at each end of the porch into the new wall in order to maintain the clear delineation of this space.

Approval of the request with conditions is recommended.

APPROVAL CRITERIA

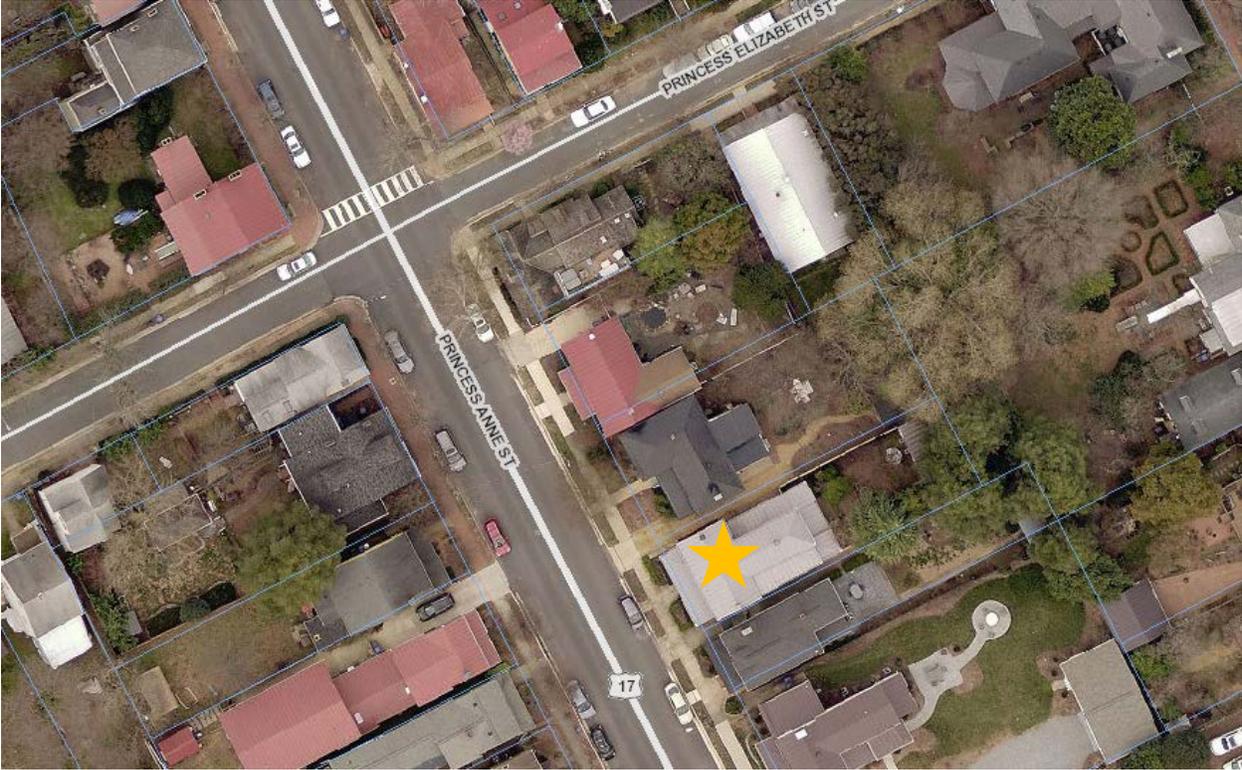
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.

X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		X	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

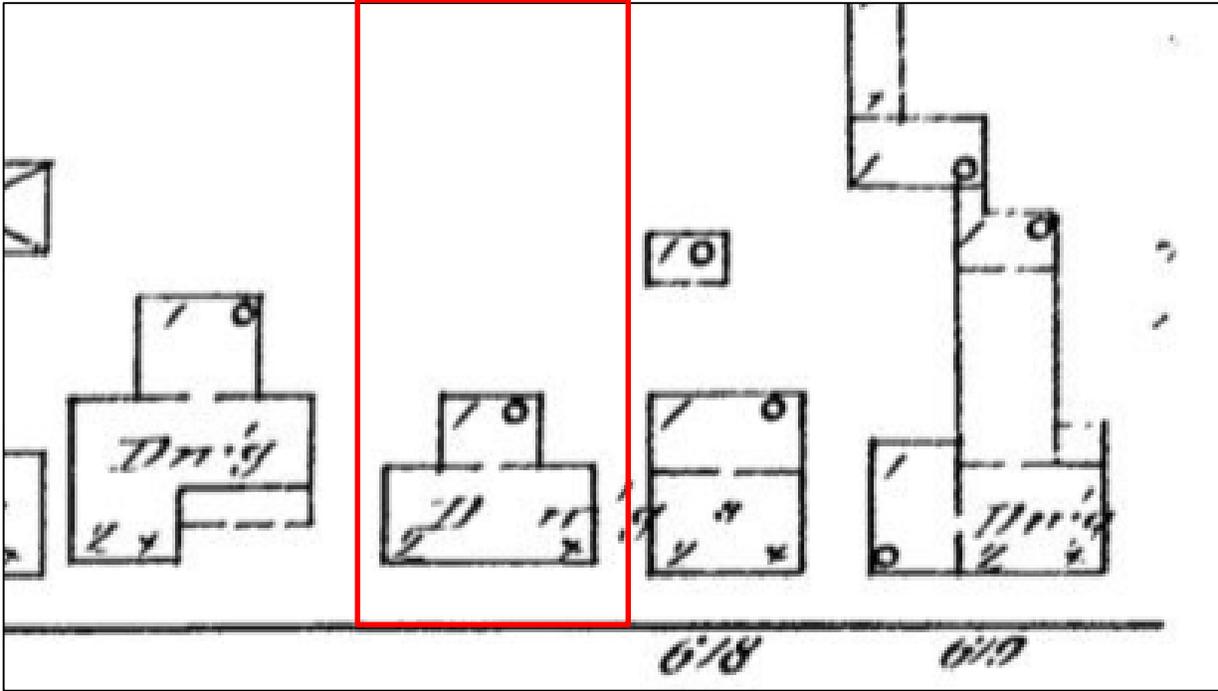
1. Aerial photograph and front elevation view
2. Sanborn Fire Insurance maps
3. Existing conditions and explanation of alterations



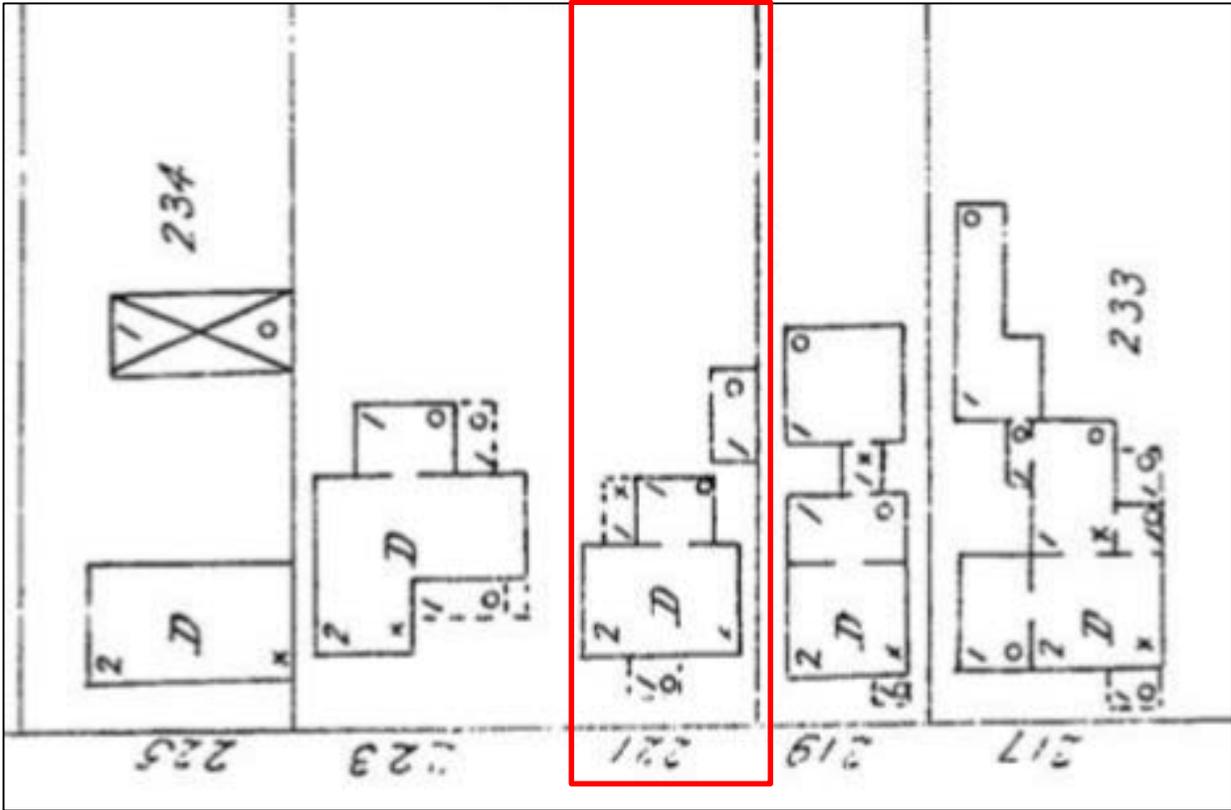
AERIAL



FRONT (WEST) ELEVATION



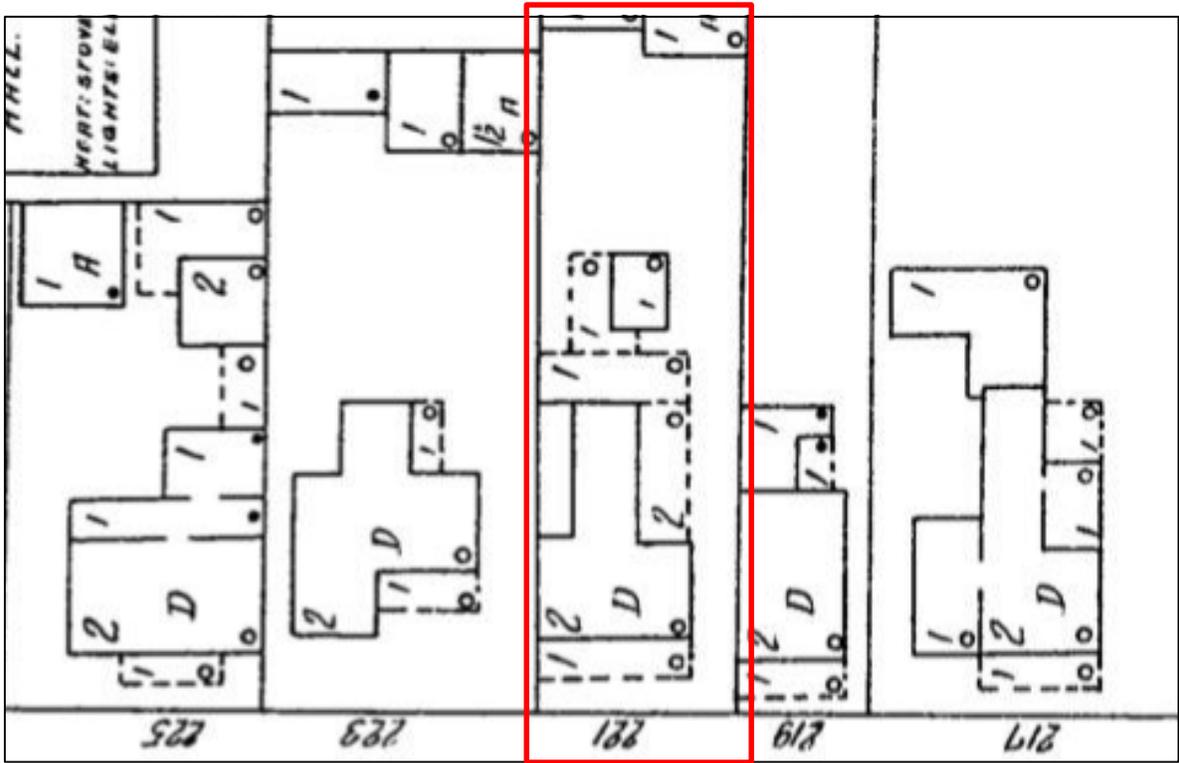
1891 Sanborn Fire Insurance Map



1902 Sanborn Fire Insurance Map



1912 Sanborn Fire Insurance Map



1927 Sanborn Fire Insurance Map



View from Princess Anne Street. Inset porch at north side to be enclosed.



Inset side porch to be enclosed.
Salvaged iron railing to be installed on two sides of the brick stoop and along the side of the steps.





Existing wood door to be reinstalled in new exterior wall.



View of enclosed porches on south side elevation





Detail of enclosed porch on south side elevation

New exterior wall on south elevation to include beadboard paneling, matching windows above, and trim details to match this wall.



EXTERIOR ALTERATI,
221 PRINCE



① CURRENT VIEW -
LEFT SIDE OF HOUSE

PORCH DIMENSIONS

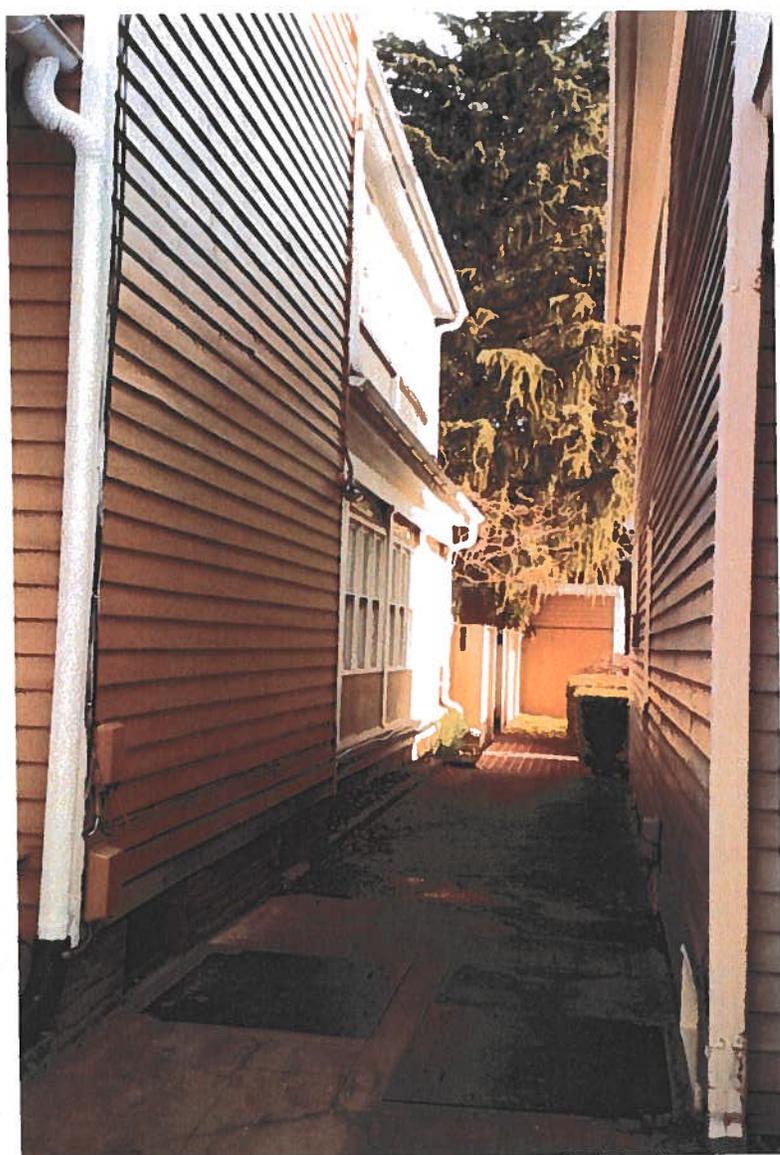
79" W x 130" L x 92" H

② ALTERATIONS -

- REMOVE RAILING
- BRING DOOR OUT TO CURRENT OPENING
- CLOSE IN AREA TO MATCH RIGHT SIDE OF HOUSE - SEE ③ AND ④
- ADD RAILING TO STAIRS - SEE ①



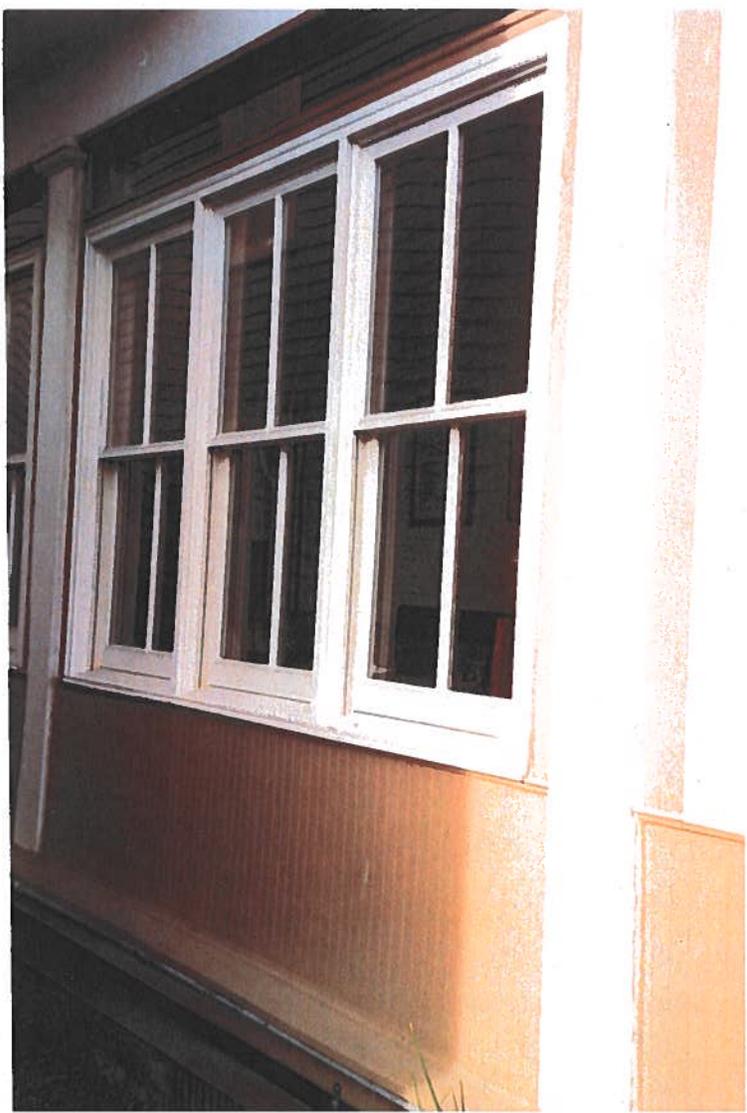
V - PORCH
ANNE ST.



③ RIGHT SIDE OF HOUSE

CLOSE UP OF RIGHT SIDE. →
ALTERED LEFT PORCH TO HAVE
WINDOWS PLACED TO LEFT OF
DOOR OPENING

④





MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: March 4, 2020 (for the March 9, 2020 meeting)
SUBJECT: Certificate of Appropriateness for exterior alteration at 401 Princess Anne Street

ISSUE

Melissa Colombo requests to make alterations to the former Janney Marshall Company warehouse in order to convert it to mixed use, including installation of new doors, replacement of missing windows, construction of an ADA-accessible ramp, and installation of railings and mechanical equipment.

RECOMMENDATION

Approval of the request for a Certificate of Appropriateness in accordance with DHR's conditional approval of the Part II Historic Tax Credit application.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

Windows – Maintenance and Repair (Historic District Handbook, pg. 83)

1. Retain original windows.
6. Windows should only be replaced when they are missing or beyond repair. Replacement should be based on physical evidence and photo documentation rather than the availability of stock windows or windows from other buildings. Avoid changing the physical and visual characteristics of windows by using inappropriate materials or finishes that alter the sash, depth of reveal, muntins configuration, glazing, or appearance of the frame.
7. Avoid changing the number, location, size, or glazing pattern of a building's windows by cutting new openings, enlarging existing openings, blocking in windows, or installing replacement sash that does not fit the window opening.
8. Uncover and repair covered-up windows. If a window is no longer needed for its intended use, it should be retained (even if the interior opening is covered). In these instances, the glass can be frosted or painted black, or the window shuttered so it appears from the exterior to be used.

Doorways – Maintenance and Repair (Historic District Handbook, pg. 89)

1. Retain original doors.
4. Avoid changing the number, location, or size of doors by cutting new openings, enlarging existing openings, blocking in door openings, or installing replacement doors that do not fit the original openings.
5. Uncover and repair covered-up doors. If a door is no longer needed for its intended use, it should be fixed in place. In these instances, any glass can be frosted or painted black, or the door shuttered or screened (as appropriate), so it appears from the exterior to be used.

Awnings (Historic District Handbook, pg. 119)

1. Awnings should be placed to enhance rather than obscure architectural elements. A curved archway, for example, should be fitted with a curved awning, if an awning is desired in that location.
2. Avoid metal awnings.
3. The size, type, and placement of awnings should not interfere with signs or distinctive architectural elements.

Roofs (Historic District Handbook, pg. 80)

9. Avoid reducing the visual integrity of the roof by removing original chimneys, skylights, light wells, or other elements that contribute to the style and character of the building.
10. Install new elements such as vents and skylights without diminishing the original design of the building. New skylights, for instance, should be installed so as not to be visible from primary elevations.

BACKGROUND

This vernacular warehouse building was originally constructed as a two-story store at the northeast corner of the intersection of Princess Anne and Frederick Streets in 1872. A number of expansions occurred in the late 19th and early 20th centuries and, by the time the Janney Marshall Co. was incorporated in 1911, the entire building had been increased to the three stories visible today. A railroad spur served the north side of the building and allowed for the easy transport of goods in and out of the building. Three stories in height and constructed of brick laid in five-course American bond, the building is topped by a shallow-pitched, front-gabled roof with a brick parapet and barrel tile coping at the façade. Six-over-six, wood, double-hung sash windows with segmental arched lintels line the elevations. The entrance on the façade is a single-leaf, wood, multi-light door with architrave molding. A metal-clad addition, composed of several expanded and enclosed loading docks and sheds, projects from the rear of the north side elevation.

The applicant proposes several alterations as part of a project to convert this former industrial warehouse and office into a mixed-use building with residential units and commercial space. In August 2019, the applicant received approval from the ARB for an initial round of alterations and repairs that includes removing the metal awnings on the north side elevation and reopening several windows and doors that were previously filled in with brick. This application includes selected windows that require replacement or modification, installation of mechanical equipment, and alterations to the north side elevation to create an accessible primary entrance.

A detailed window and door inventory and assessment has been provided. Of 83 windows in the building, four new windows are proposed where windows were previously filled in with brick, 11 are damaged to the point of needing partial or full replacement (one or both sashes, or in some cases, only muntin replacement), and two windows will be removed. The two windows to be removed are awning windows located at the basement level under the loading dock, and these are not visible. Four additional windows, two on each side elevation of the rear addition at the second floor, will be replaced and the openings extended. These are currently awning-style windows that do not meet egress requirements. The openings will be lengthened to accommodate double-hung windows, and the existing windows will be repurposed inside the building. All new or replaced windows will be six-over-six, wood, true divided lite, double-hung sash windows to match the existing windows. All other windows will be retained in their existing locations and are being repaired on site.

All new mechanical units are proposed to be installed at the roof level. The existing freight elevator hoist-way will be removed and replaced by a shallow hipped roof above the new elevator tower. A new roof hatch will also be added above the north side elevation and surrounded by a simple pipe railing. The new mechanical units will be set in approximately ten feet from the side elevations. As shown in the mock-up photographs, the new units will be visible when the building is viewed from a distance, but are either minimally visible or not visible at all from adjacent sidewalks. At the rear of the building, new gas and electrical meters will be installed as well as one louvered vent. The proposed installations do not impact the character-defining features of the building.

Several alterations are proposed on the north side elevation in order to create a clear main entrance. The concrete slab and piers that compose the loading dock are in poor condition. The top of the dock slab will be resurfaced with concrete, and a new concrete wall will be installed along the edge. The new wall will enclose the area under the dock and provide a new surface so that railings can be installed without damaging the original material. A new set of stairs will lead to the center of the dock. Approximately 20 feet of the existing loading dock, at the east end in the area between the building and the metal addition, will be removed and replaced by an ADA-accessible concrete ramp.

The entire dock and ramp will be lined by powder-coated steel cable railings with flat bar posts and top rail. The entire loading dock area will also be sheltered by a new metal canopy supported by metal posts and clad in standing-seam metal.

Three new entry doors will be installed on this elevation as well. One existing, non-historic, fiberglass overhead door will be removed and replaced by paired, full-view, wood, French doors. The same style doors will also be installed at the main entrance in place of the existing paired metal doors. The doors will be retained and pinned open inside the building, and the new doors will be installed in the opening. One previously bricked-in single door entry will be reopened and expanded to serve as an egress door from the stairwell. A single steel door, painted to match the building, will be installed in the opening.

The project also includes repair work that does not require ARB approval, including repairing areas of incompatible repointing, repainting the building and the historic painted signs, and installing storm windows. Additionally, the applicant is seeking to use state and federal Historic Tax Credits for the project and has received conditional approval of the project from the Virginia Department of Historic Resources. All proposed elements of the project are sensitive to the character of the site and the district and meet the City’s established guidelines. Approval of the request as submitted is recommended.

APPROVAL CRITERIA

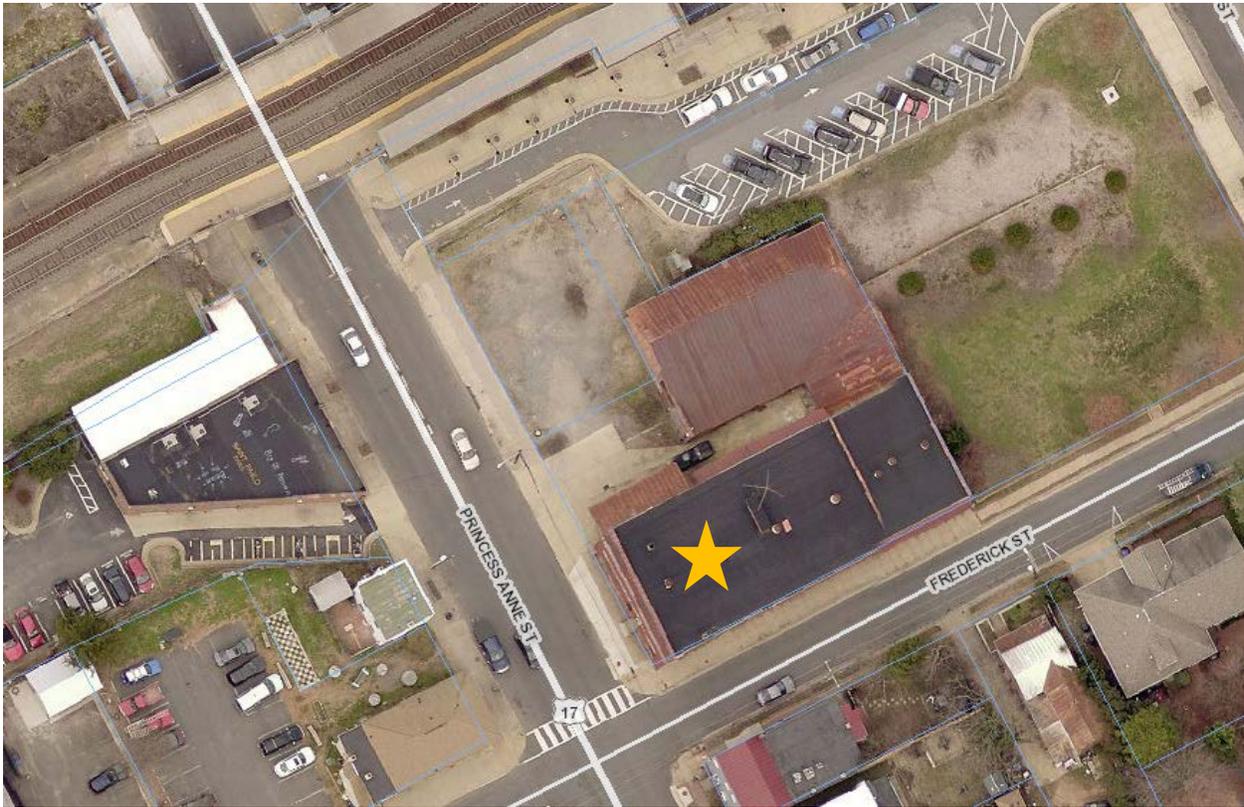
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
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X			(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

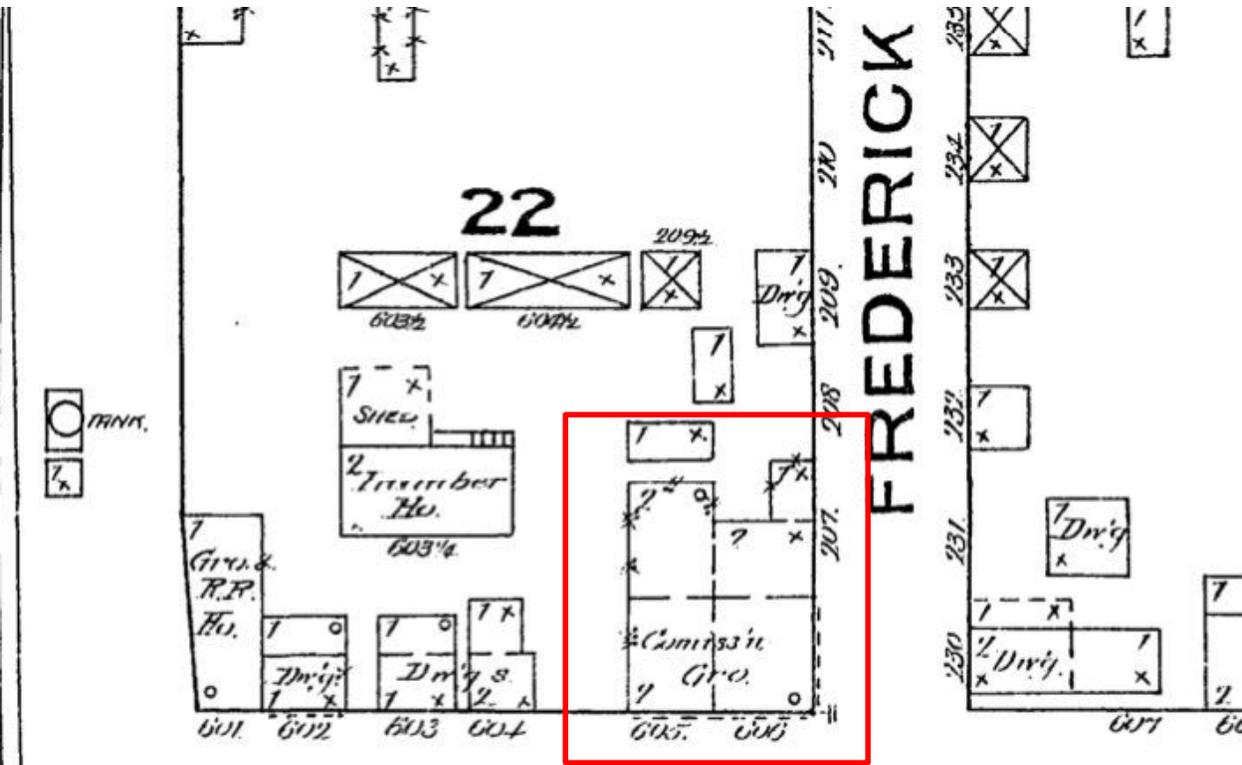
1. Aerial photograph and front elevation view
2. Historic maps and photographs
3. Project description
4. Material specifications
5. Part II Historic Tax Credit application



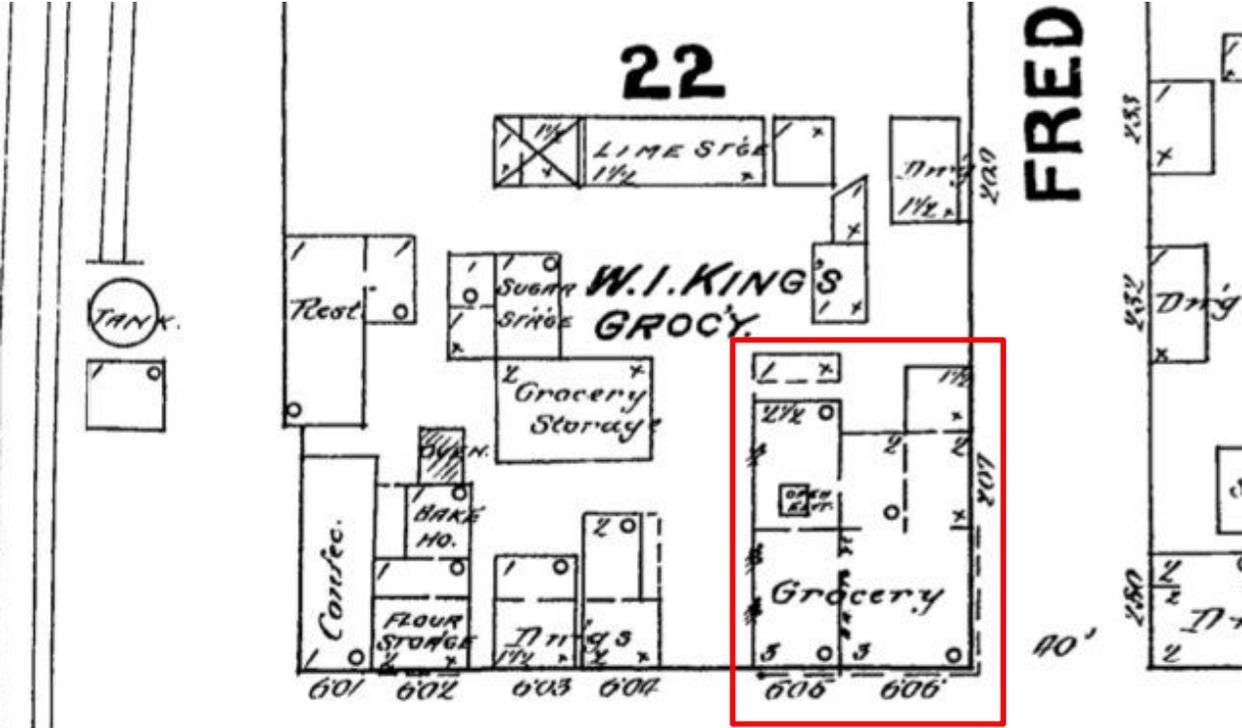
AERIAL



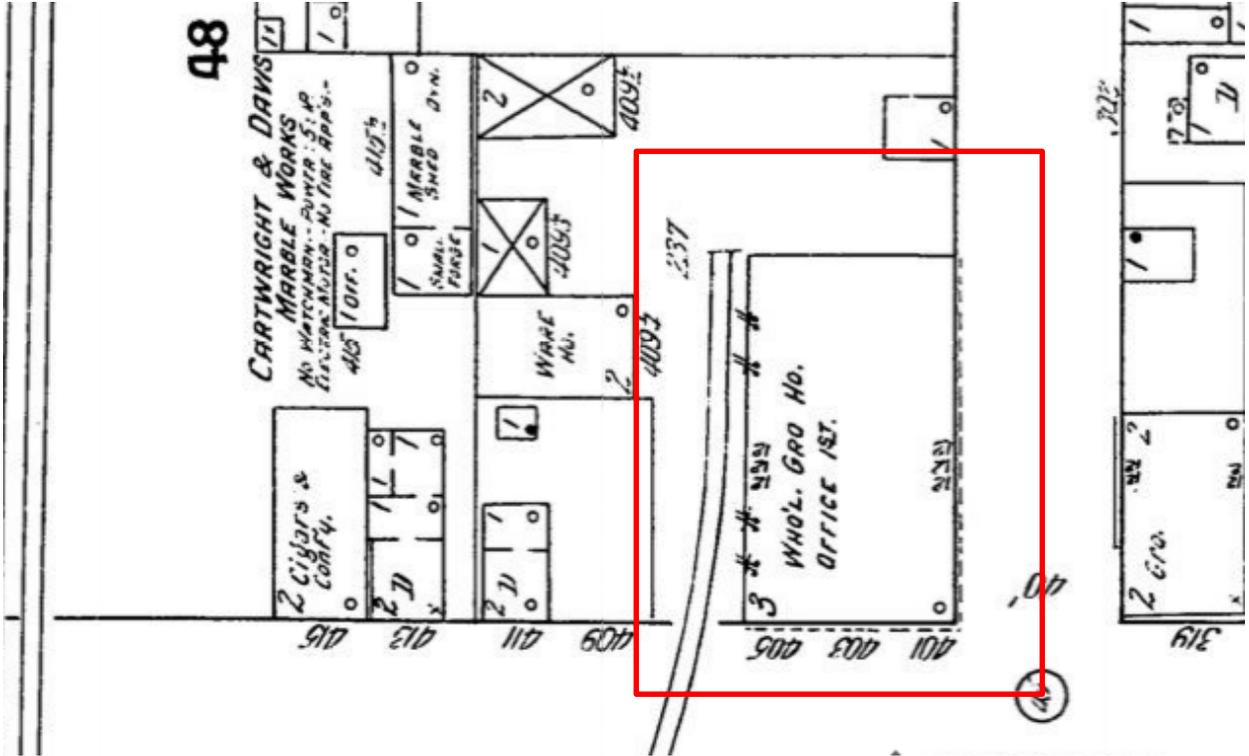
FRONT (WEST) ELEVATION



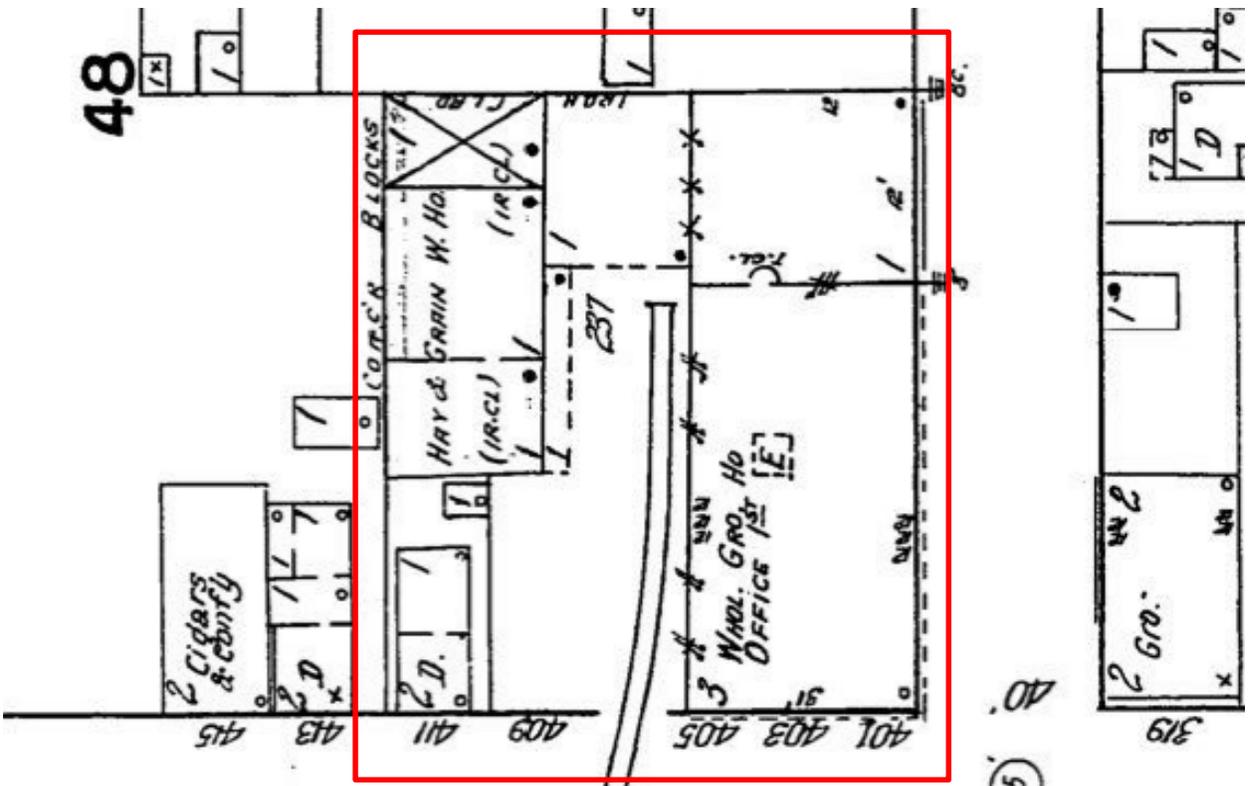
1886 Sanborn Fire Insurance Map



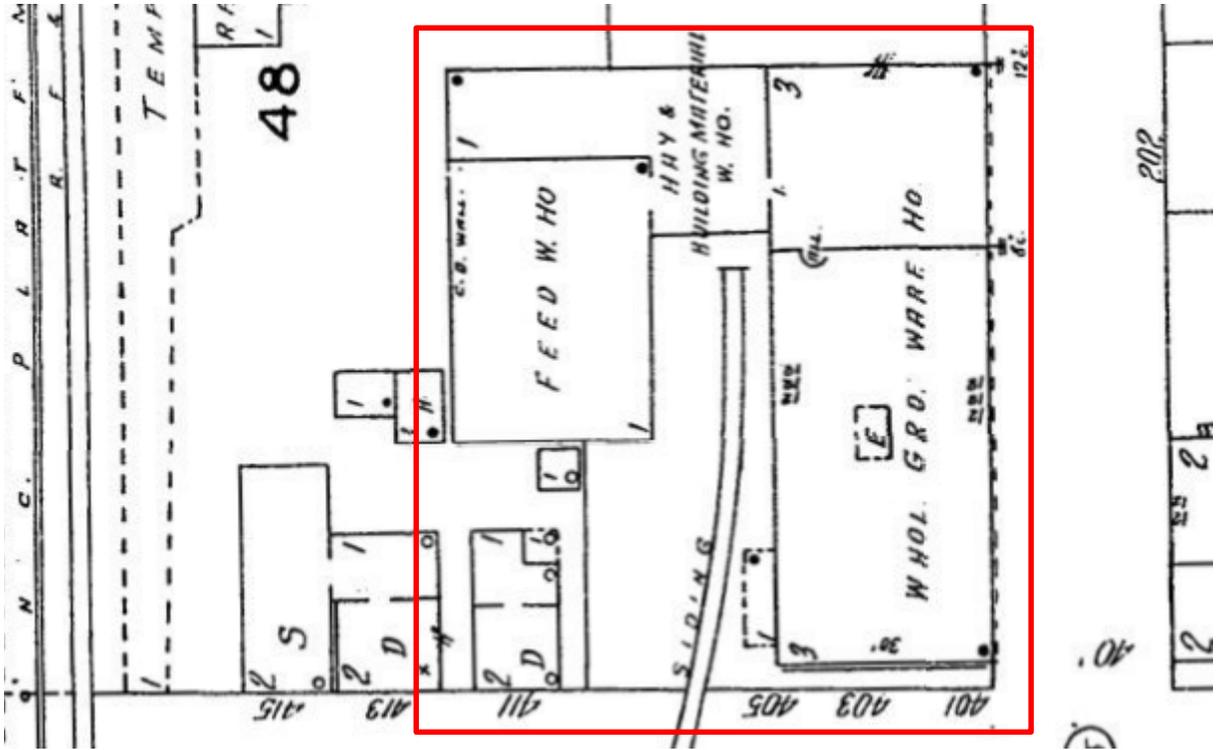
1891 Sanborn Fire Insurance Map



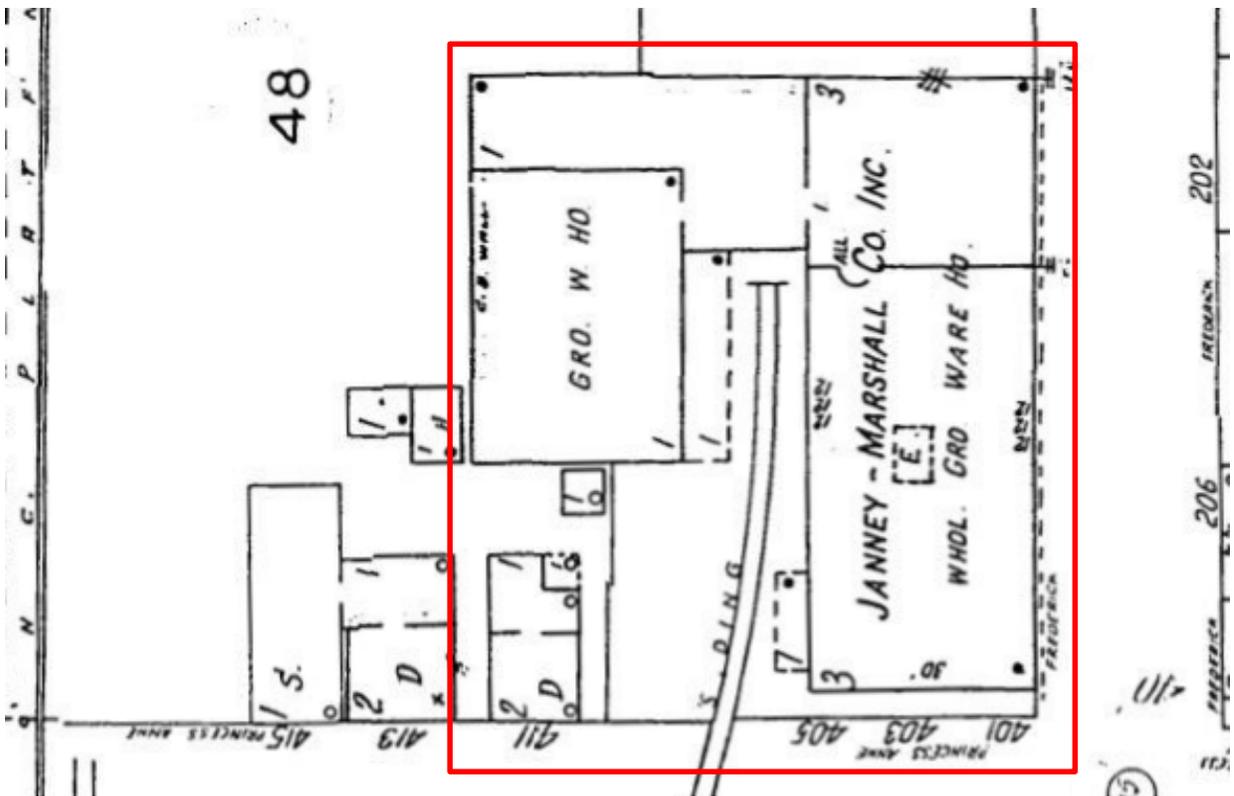
1912 Sanborn Fire Insurance Map



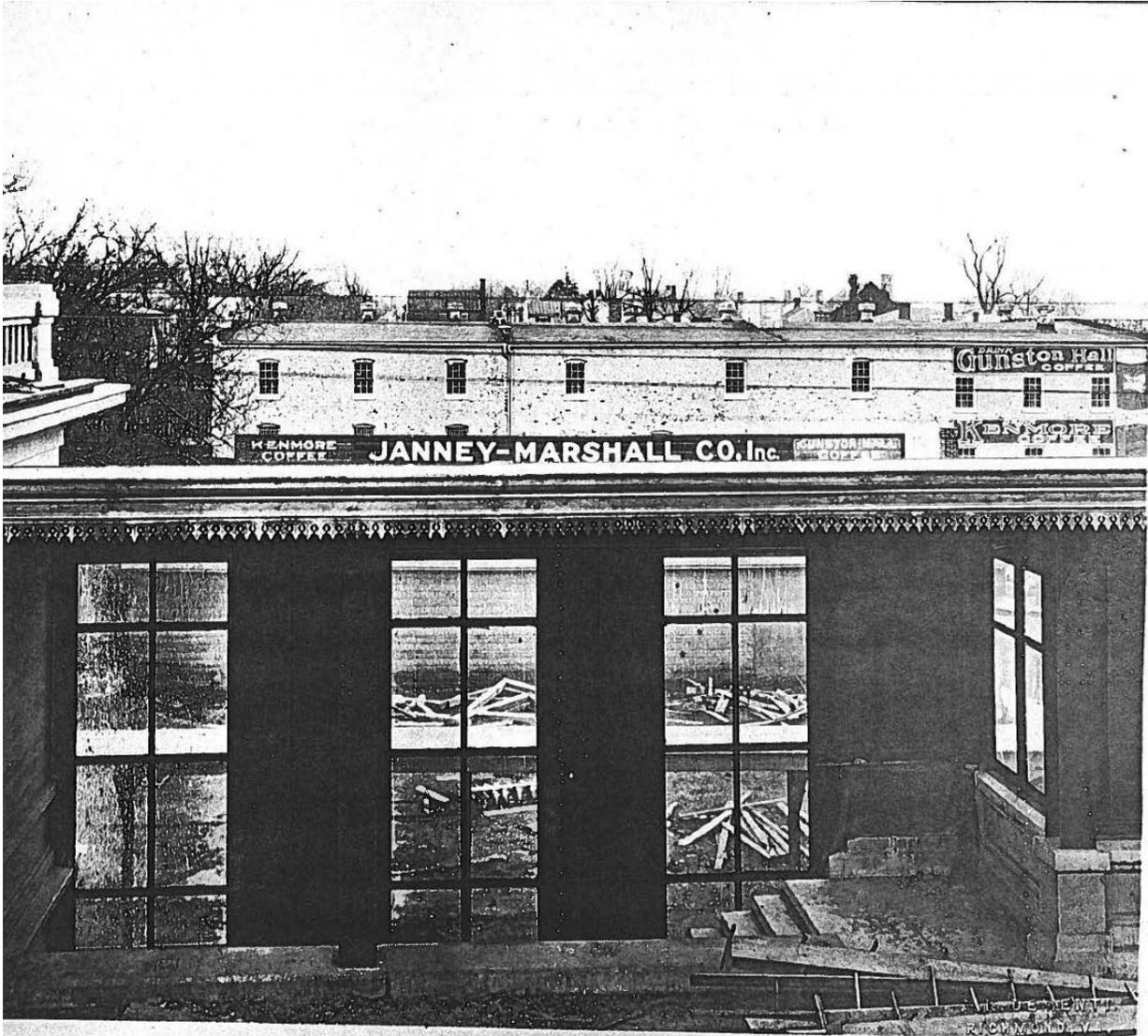
1919 Sanborn Fire Insurance Map



1927 Sanborn Fire Insurance Map



1947 Sanborn Fire Insurance Map



Janney-Marshall Co. Warehouse seen during construction of the elevated rail line c.1926



Freeland Engineering, P.C.

10814 Courthouse Road
Fredericksburg, VA 22408
Telephone: (540) 898-3092
Fax: (877) 658-7735
Email: mcolombo@freelandengineeringpc.com
Web: www.freelandengineeringpc.com

February 10th, 2020

**RE: 401 Princess Anne Street
ARB Phase 2 application - Summary**

See below narrative and attached drawings for proposed work to the Janney Marshall building. A conditional approval has been received from DHR for the Part II submission. The original submission to DHR and their response has been attached to this application. Please note: the only request denied in the application was for the consolidation of historic windows to one elevation. We will not be consolidating the windows as initially requested. Please ignore the notes referring to the window consolidation. The historic windows will remain in their original locations.

Phase I is underway after the ARB approval on August 12th, 2019. The phase I application covered: removal of existing awnings, repairs to brick, repairs to the existing windows/sills/openings, re-opening of existing masonry openings, brick re-pointed and restoration of painted adverts.

Items attached to this document:

- ARB Certificate of Appropriateness application
- Project Summary letter (this document)
- Typical window, door and exterior storm cut sheets
- 2020-01-27 DHR conditional Part II approval letter
- 2019-10-31 DHR Part II application & supporting documents (narrative, plans, photos, etc)

Summary of requested exterior alterations:

All elevations:

- Install 1 lite, 2 frame exterior storm windows white frame to match white framed windows. Allied Window HOL-C or equivalent.
- Replace missing or damaged windows. Replacement windows to be wood double hung windows with true divided lite to match existing windows. Weather Shield Premium or equivalent.

Right side elevation: (Frederick Street)

- Lengthen 2 existing masonry openings at 2nd floor towards rear to accommodate 2 egress windows. New window sizes and lite pattern to match existing.

Rear elevation: (Caroline St / City park)

- Louvered grill for mechanical system
- Bank of electrical and gas meters. Location determined by Columbia Gas and Dominion Virginia Energy.

Left side elevation: (Train Station) – considered main entrance to building

- Remove fiberglass overhead door & replace with full view glass double wood French door. Weather Shield wood center hinged FD or equivalent with no grilles.
- Install new commercial storefront double doors at main entrance. Existing metal doors to be pinned open on the inside of the building.
- Increase size of masonry opening at first floor to accommodate painted metal new egress door at new stair.
- Lengthen 2 existing masonry openings at 2nd floor towards rear to accommodate 2 egress windows. New window sizes and lite pattern to match existing.
- Re-paint / restore existing painted signs
- Loading dock: Construct new parged concrete masonry wall along edge of existing loading dock. New cable rail system will attach to this new wall. Remove portion of existing loading dock for construction of new accessible ramp. Construct new stairs.
- Repair / replace concrete loading dock as required and add flashing. Existing concrete supports piers to remain.
- Install new low-profile metal awning over loading dock with standing seam metal roof with painted steel tube columns. New low-profile cable railing will span between tube columns. Refer to attached drawings for more information.

Roof:

- Add roof access hatch from stair tower
- Install insulated panels on top of existing roof. Allows for exposed rafters within 3rd floor dwelling units.
- Install new mechanical units on roof approximately 10'-0" from edge of building along Frederick Street side. (See DHR application for photos of mock-ups.)
- Remove existing elevator hoist-way and expand area for new elevator tower with low slope hip roof.
- New venting for plumbing and exhaust

Change in existing masonry openings

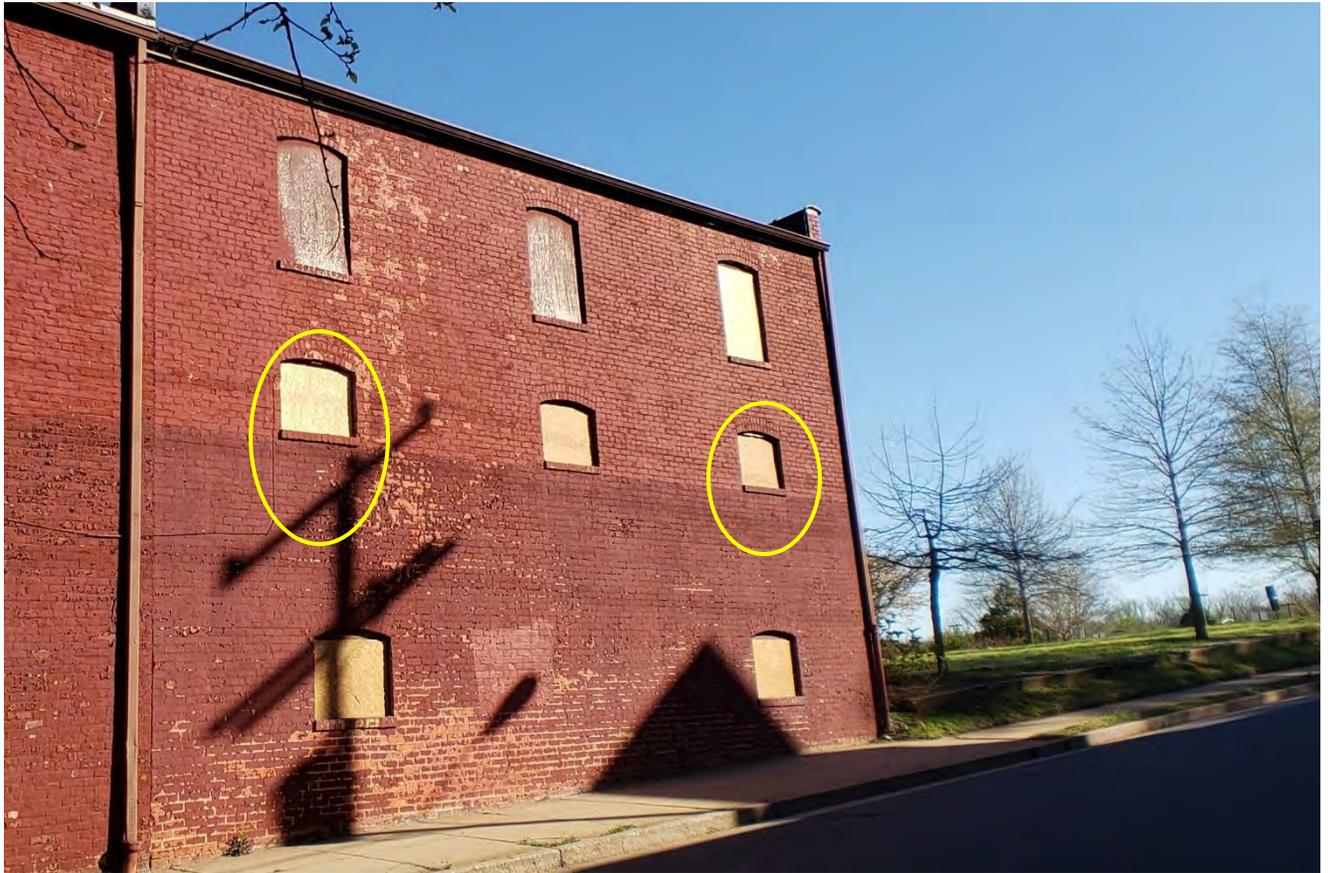
The building owner is requesting lengthen 4 masonry openings on the 2nd floor towards the rear (2 on Left side and 2 on Right side.) These new openings would accommodate new egress windows at these locations at sleeping rooms.

An existing masonry opening previously bricked-in on the first floor will need to be increased in height and length to accommodate a new required egress door on the Left side.



Left Side Elevation

2 existing windows to have masonry opening lengthened on the 2nd floor & 1 bricked in opening to be increased in height and length on the 1st floor (difficult to see existing opening due to amount of existing paint.)

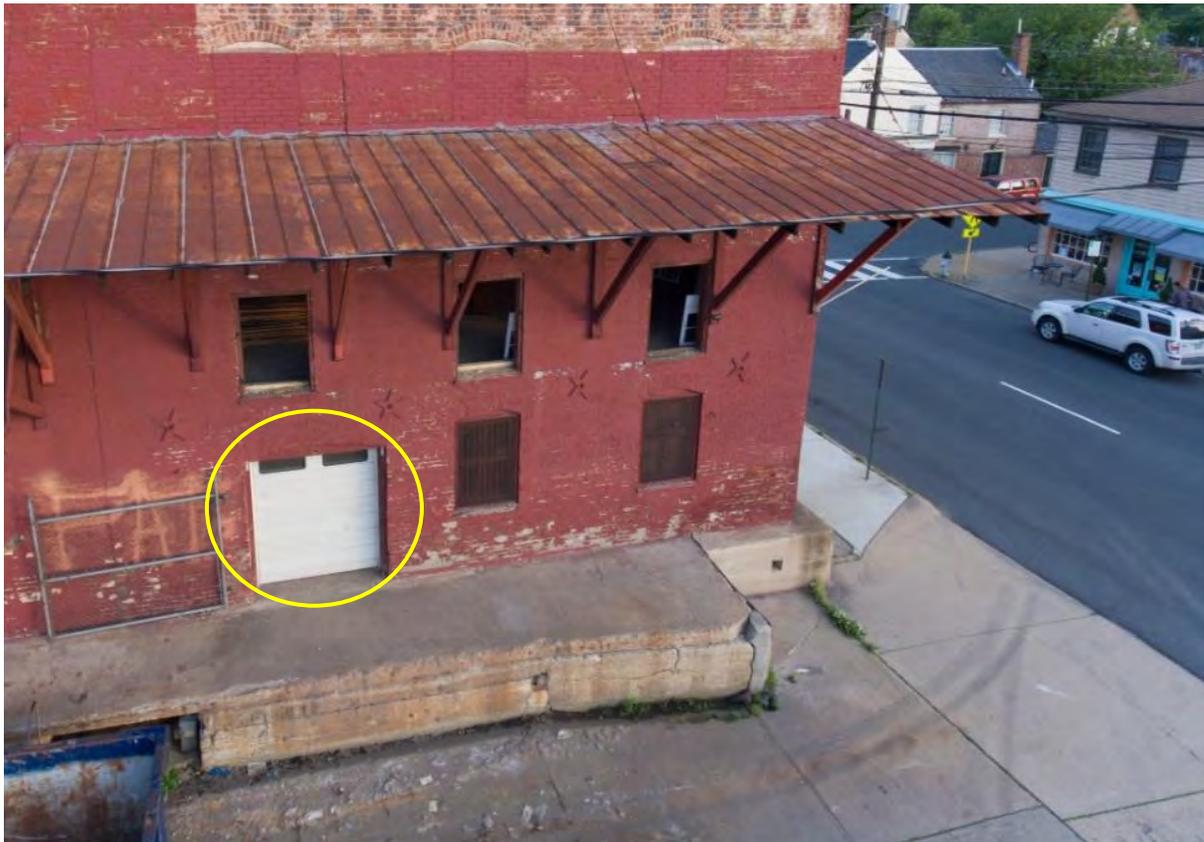


Right Side Elevation
2 existing windows to have masonry opening lengthened on the 2nd floor

New doors at existing openings

The building owner requests to remove a modern style overhead door. A new full view glass wood clad double French door will replace the overhead door. The new door will act as a private entrance to an apartment and access to the apartments private area on the loading dock.

An existing double metal door will be replaced with storefront glass commercial doors for the main entrance to the building. This entrance will be utilized for both the commercial and residential units.



Left Side Elevation

Remove fiberglass overhead door and replace with FVG wood clad double French door



Left Side Elevation

Existing metal doors to be pinned on interior of building. New commercial double storefront glass doors to be installed for main entrance to building.

Existing Loading Dock, New Ramp, Stairs & Guardrails

The building will require a new accessible ramp and stairs at the Left side elevation (main building entrance.) The existing loading dock is made of poured concrete that is in poor shape. The concrete slab is supported by rectangular concrete piers in fair to poor condition. The area under the loading dock has also allowed for water to enter the basement through existing windows.

To maintain as much of the existing loading dock as possible, the intent is to construct a new concrete wall on the outside edge of the slab along the existing piers. This new wall will: enclose the area and prevent additional water seepage into the basement, create a surface for the installation of a new guardrail along the loading dock. The new ramp and stairs will be incorporated into this new wall. Approximately 20'-0" of the loading dock will need to be removed to construct the accessible ramp. The section to be removed begins near the new double door and ends at the wall of the shed building.



The cable railing will consist of 3/4"x2" flat bar posts and top rail powder coated black with 3/16" stainless cables. A cable railing provides a clean and simple guardrail solution. The guardrail posts will flank the steel tube columns of the awning, but they are not to be attached to the columns.

The posts will be anchored to the top of the new CMU wall as described above.



Virginia Ironworks – Beachwood Cable railing

A new loading dock awning will be installed the length of the loading from the top of the new accessible ramp to the end of the private apartment patio area. See Left Side and Front elevations for more information. It will be constructed with of a low slope with a standing seam metal roof, metal roof members, headers and columns. Its intent is to provide protection of the loading dock surface. The low slope and small metal framing members will allow for a low-profile design that won't interfere with existing openings or inhibit sight lines.

Roof Access, Mechanical Units and Exhaust vents

Due to the size of the site, all mechanical units will be placed on the roof. The apartment and office tenant units will be placed along the existing internal beam line parallel to the right-side elevation. Refer to the roof plan for more information. These units will be at least 10'0" from the edge of the building and will not require safety screening. A larger unit will be required for the stair and floor corridors and a small slim unit for the elevator shaft. Both are located on the left side of the roof. Refer to the DHR mock-up photos for more information.

The roof access hatch is located within the new stair tower. Due to the hatch's proximity to the building edge, a safety railing will be required around it and the adjacent mechanical unit. The safety rail will be of metal tubing. Refer to Left Side elevation for more information.

All apartment bathroom exhaust fans and kitchen hoods will be vented in consolidated roof vents. Two exhaust fans at the Office bathroom and Janitor's closet will need to vent through the exterior wall on the left side elevation. Metal vent cap will be pointed downward and painted to match the existing brick paint.

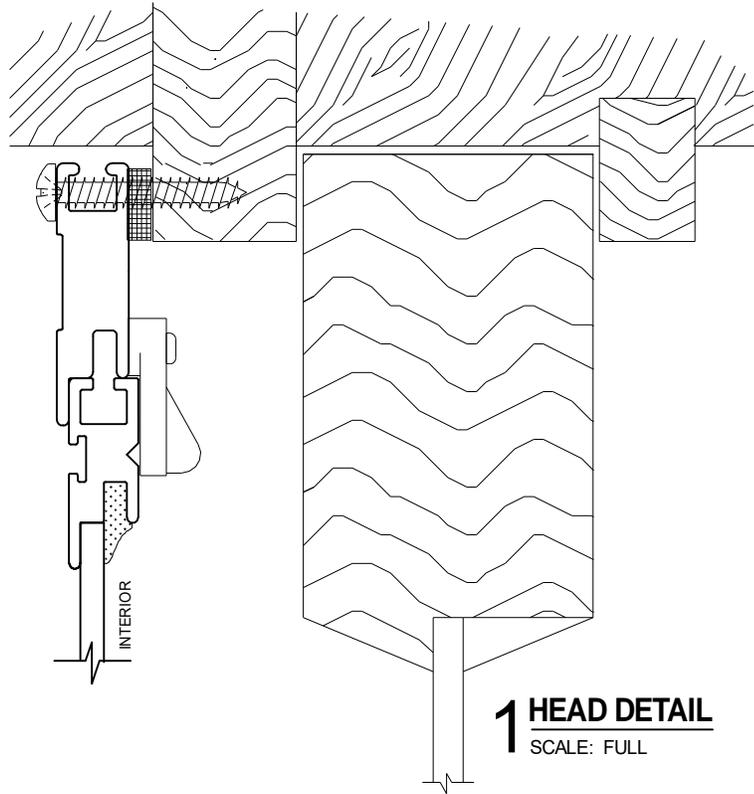
There will be four dryer exhaust vents on the exterior walls on the first floor only, two on the left side and two on the right side. There are eight additional vents from the second and third floors which will vent out of the roof directly. These roof vents are easier to vent vertically due to the second and third floor layouts stacking directly over each other.

Please let us know if you require any additional information.

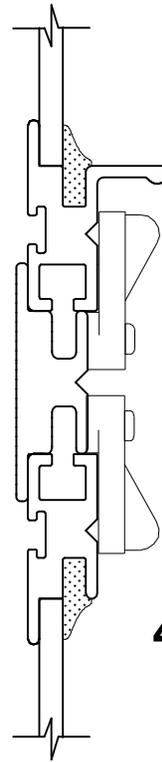
Sincerely,

A handwritten signature in black ink, appearing to read 'Melissa T. Colombo', with a long horizontal flourish extending to the right.

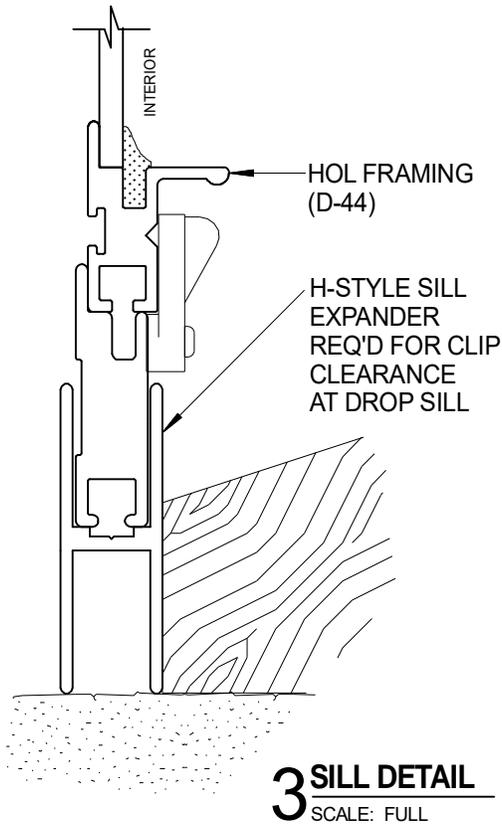
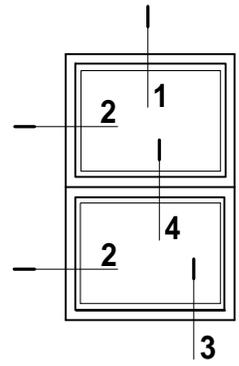
Melissa T. Colombo, Architect
Freeland Engineering, PC



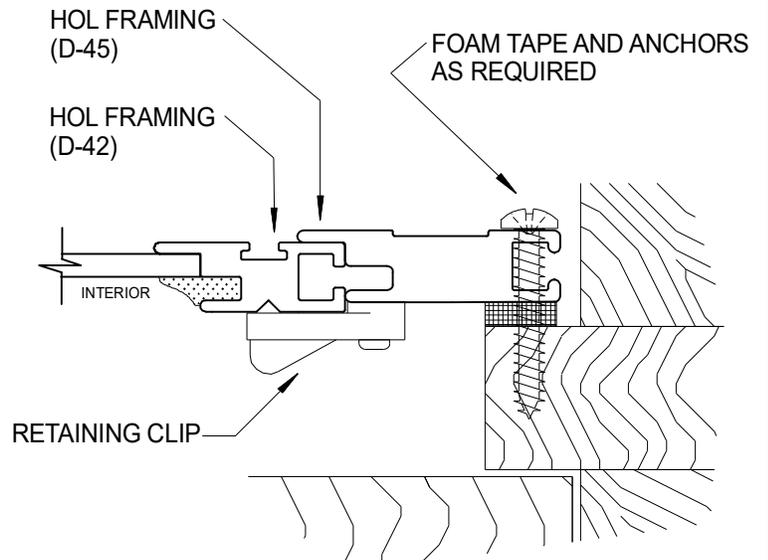
1 HEAD DETAIL
SCALE: FULL



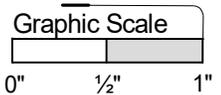
4 MUNTIN DETAIL
SCALE: FULL



3 SILL DETAIL
SCALE: FULL



2 JAMB DETAIL
SCALE: FULL

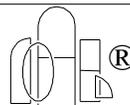


NOTE: INTERCHANGEABLE SCREEN AVAILABLE

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WEATHER SHIELD.

WINDOWS & DOORS

Quick Spec Guide

Weather Shield Series™ French Door (6510, 6610)

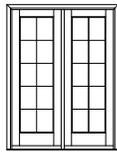
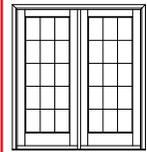
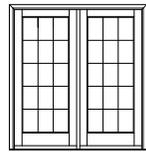
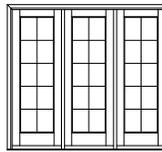
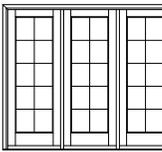
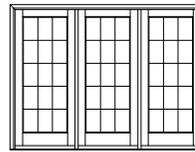
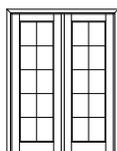
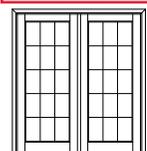
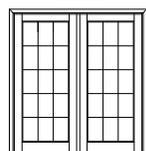
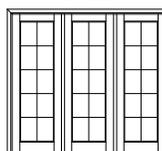
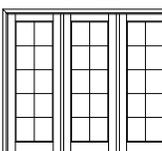
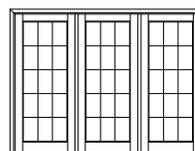
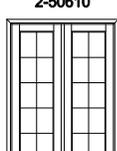
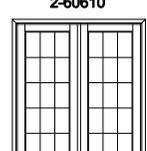
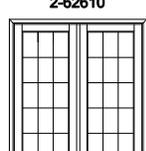
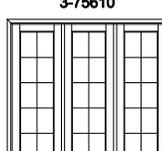
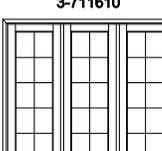
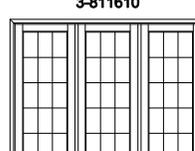
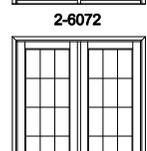
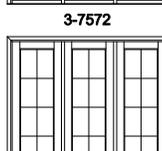
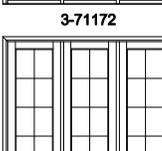
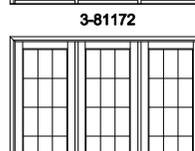
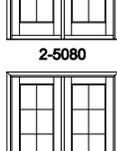
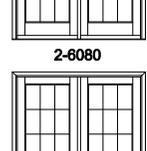
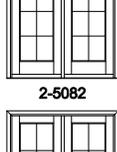
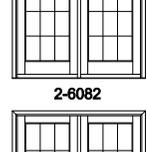
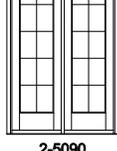
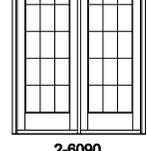
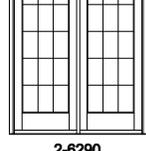
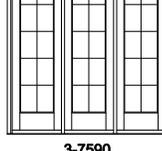
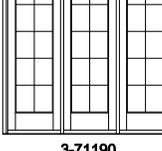
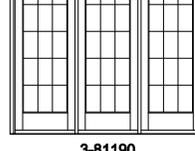
SPECIFICATION	STANDARD FEATURES	OPTIONAL FEATURES
EXTERIOR FINISH	<ul style="list-style-type: none"> Primed 	<ul style="list-style-type: none"> 8 Standard Colors 47 Designer Colors Custom Color No Prime/ No Fingerjoint
EXTERIOR TRIM	<ul style="list-style-type: none"> Standard Brickmould 	<ul style="list-style-type: none"> Washington K Style Flat Casing (9 Back Bands) Franklin Casing Beaded Casing (9 Back Bands) Stepped Casing (9 Back Bands) Stucco Mould Staff Bead No Casing
INTERIOR FINISH	<ul style="list-style-type: none"> Natural 	<ul style="list-style-type: none"> Clear Satin Fruitwood Primed Prefinished White & Black Golden Oak Chestnut Poly – 12 Standard / 45 Designer
INTERIOR SPECIES	<ul style="list-style-type: none"> Pine 	<ul style="list-style-type: none"> Oak Maple Alder (Character) Cherry Mahogany American Fir
SIZE	<ul style="list-style-type: none"> Width Single Panel Doors 2-1, 2-7, 2-9, 3-1, 3-2 Two Panel Doors 4-0, 5-0, 5-4, 6-0, 6-2 Height Single and Two panel Doors 6-8, 6-10, 7-2, 8-0, 8-2, 9-0, 10-0 	<ul style="list-style-type: none"> Single Panel Side Hinged Doors: Any jamb width: 19-1/4" to 42-5/16" Two Panel Side Hinged Doors: Any jamb width: 37-1/2" to 83-1/4" Single Panel and Two Panel Side Hinged Doors: Any jamb height: 57-3/32" to 120-1/32"
GLAZING	<ul style="list-style-type: none"> Clear Insulated Glass Tempered Glass 	<ul style="list-style-type: none"> Insulated Low E Insulated Low E 240 Zo-E Shield 5 Zo-E Shield 5 Extreme Zo-E Shield 6 (laminated) Zo-E Shield 7 (triple insul) Single Glaze Gray or Bronze Tint Obscure
GRILLES		<ul style="list-style-type: none"> GBG: 5/8" Flat or 11/16" Sculptured SDL: 5/8", 7/8", 1-3/8", 2" Wood Grille: 5/8", 7/8", 1-3/8"
HARDWARE	<ul style="list-style-type: none"> 3 Point Lock System Ashland Arch Top Escutcheon Keyed random lock 36" lockset location Adjustable hinge 	<ul style="list-style-type: none"> W/ Seacoast Hardware Single Point Lock System No Lockset No Bore Ashland Square Top Escutcheon Butt hinges Keyed Alike 54" lockset location
HARDWARE COLOR	<ul style="list-style-type: none"> Bright Brass PVD (handle) Bright Brass (hinge) 	<ul style="list-style-type: none"> Antique Brass Black Brushed Nickel (PVD) (handle) Brushed Nickel (hinge) Chrome Oil Rubbed Bronze Stainless Steel (hinge)
JAMB	<ul style="list-style-type: none"> 4-9/16" 	<ul style="list-style-type: none"> 4-9/16 Min 7-1/8" (inswing), 12" (outswing) Max
HINGING	<ul style="list-style-type: none"> Inswing (6510) 	<ul style="list-style-type: none"> Outswing (6610)
RAILS	<ul style="list-style-type: none"> 5" (top) 7-1/2" (bottom) 	<ul style="list-style-type: none"> 7-1/2" (top) 10" (bottom) 12" (bottom)
SILLS	<ul style="list-style-type: none"> Standard 	<ul style="list-style-type: none"> ADA Low Profile (outswing)

Center Hinged Doors (6510)

Unit Dimension	5'-2"	6'-2"	6'-4 7/16"	7'-6 15/16"	8'-0 15/16"	9'-0 15/16"
Jamb Dimension	4'-11 1/4"	5'-11 1/4"	6'-1 11/16"	7'-4 3/16"	7'-10 3/16"	8'-10 3/16"
Rough Opening	5'-0"	6'-0"	6'-2 7/16"	7'-4 15/16"	7'-10 15/16"	8'-10 15/16"
Metric R.O. (mm)	1524	1829	1891	2259	2411	2716
Glass Size	19 1/16"	25 1/16"	26 5/16"	19 1/16"	21 1/16"	25 1/16"

FVG no grilles

6'-8 29/32"	6'-11 13/32"	7'-3 13/32"	8'-1 13/32"	8'-3 13/32"	9'-1 13/32"	10'-1 13/32"
6'-7 17/32"	6'-10 1/32"	7'-2 1/32"	8'-0 1/32"	8'-2 1/32"	9'-0 1/32"	10'-0 1/32"
6'-8"	6'-10 1/2"	7'-2 1/2"	8'-0 1/2"	8'-2 1/2"	9'-0 1/2"	10'-0 1/2"
2032	2096	2197	2451	2502	2756	3061
64 13/16"	67 5/16"	71 5/16"	81 5/16"	83 5/16"	90 13/16"	102 13/16"

					
2-5068	2-6068	2-6268	3-7568	3-71168	3-81168
					
2-50610	2-60610	2-62610	3-75610	3-711610	3-811610
					
2-5072	2-6072	2-6272	3-7572	3-71172	3-81172
					
2-5080	2-6080	2-6280	3-7580	3-71180	3-81180
					
2-5082	2-6082	2-6282	3-7582	3-71182	3-81182
					
2-5090	2-6090	2-6290	3-7590	3-71190	3-81190
					
2-50100	2-60100	2-62100	3-75100	3-711100	3-811100

NOTE: Sizes are available in-swing only.

WEATHER SHIELD.

WINDOWS & DOORS

Quick Spec Guide

Weather Shield Series™ Double Hung (610)

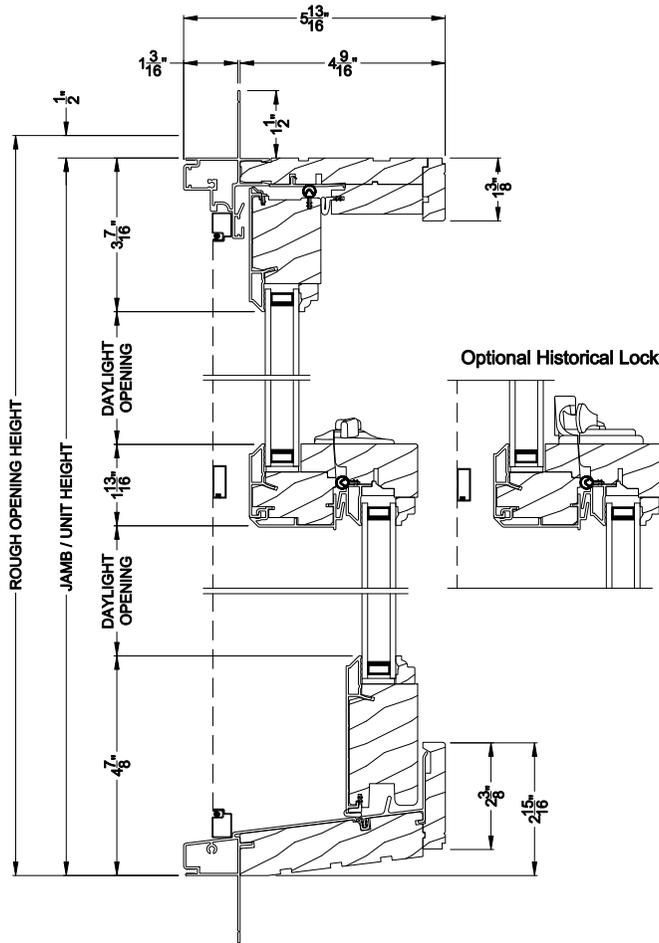
SPECIFICATION	STANDARD FEATURES	OPTIONAL FEATURES
EXTERIOR FINISH	<ul style="list-style-type: none"> • Primed 	<ul style="list-style-type: none"> • 8 Standard Colors • 47 Designer Colors • Custom Color • No Prime/ No Fingerjoint
EXTERIOR TRIM	<ul style="list-style-type: none"> • Standard Brickmould • Standard Sillnose 	<ul style="list-style-type: none"> • Washington K Style • Flat Casing (9 Back Bands) • Franklin Casing • Beaded Casing (9 Back Bands) • Stepped Casing (9 Back Bands) • Stucco Mould • Staff Bead • No Exterior Casing • New England Sillnose • No Sillnose • Sillnose (9518) • Sillnose (9520) • Sillnose (9523)
INTERIOR FINISH	<ul style="list-style-type: none"> • Natural 	<ul style="list-style-type: none"> • Clear Satin • Fruitwood • Primed • Prefinished White & Black • Golden Oak • Chestnut • Poly – 12 Standard / 45 Designer
INTERIOR SPECIES	<ul style="list-style-type: none"> • Pine 	<ul style="list-style-type: none"> • Oak • Maple • Alder (Character) • Knotty Pine • Cherry • Mahogany • American Fir
SIZE	<ul style="list-style-type: none"> • Width: Double Hung: 12, 16, 20, 24, 26, 28, 30, 32, 36, 40 Double Hung Picture Units: 36-1/2, 44-1/2, 48-1/2, 56-1/2, 64-1/2, 68-1/2, 72-1/2, 80-1/2, 96-1/2 • Height: Double Hung: 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 40, 42, 45 Double Hung Picture Units: 26, 30, 34, 38, 42, 46, 50, 54, 58, 62, 66, 70, 74, 82, 86, 92 	<ul style="list-style-type: none"> • Double Hung: Any jamb width: 15-5/16" to 45-5/16" • Double Hung Picture Units: Any jamb width: 14-13/16" to 120-13/16" • Double Hung: Any jamb height: 29-1/8" to 99-1/8" • Double Hung Picture Units: Any jamb height: 17-1/8" to 121-1/8"
GLAZING	<ul style="list-style-type: none"> • Clear Insulated Glass 	<ul style="list-style-type: none"> • Insulated Low E • Insulated Low E 240 • Zo-E Shield 5 • Zo-E Shield 5 Extreme • Zo-E Shield 6 (laminated) • Single Glaze • Gray or Bronze Tint • Obscure • Tempered
GRILLES		<ul style="list-style-type: none"> • GBG: 5/8" Flat or 11/16" Sculptured • SDL: 5/8", 7/8", 1-3/8", 2" • Wood Grille: 5/8", 7/8", 1-3/8"
HARDWARE	<ul style="list-style-type: none"> • Sash Lock • Finger Pull Rout 	<ul style="list-style-type: none"> • No Finger Pull Rout • Lift Handles (Loose) • Limit Stops • High performance pivot pin
HARDWARE COLOR	<ul style="list-style-type: none"> • Goldtone 	<ul style="list-style-type: none"> • Bright Brass • White • Brushed Copper Nickel • Brushed Chrome • Adobe • Rustic Bronze
JAMB	<ul style="list-style-type: none"> • 4-9/16" 	<ul style="list-style-type: none"> • 4-9/16 Min • 12" Max
SCREENS	<ul style="list-style-type: none"> • Full Screen • No-See-um Mesh 	<ul style="list-style-type: none"> • Half Screen • Aluminum Non-Glare
SCREEN FRAME COLOR	<ul style="list-style-type: none"> • White 	<ul style="list-style-type: none"> • 8 Regular Colors • 47 Designer Colors • 7 Anodized Colors • Custom Colors

Weather Shield®

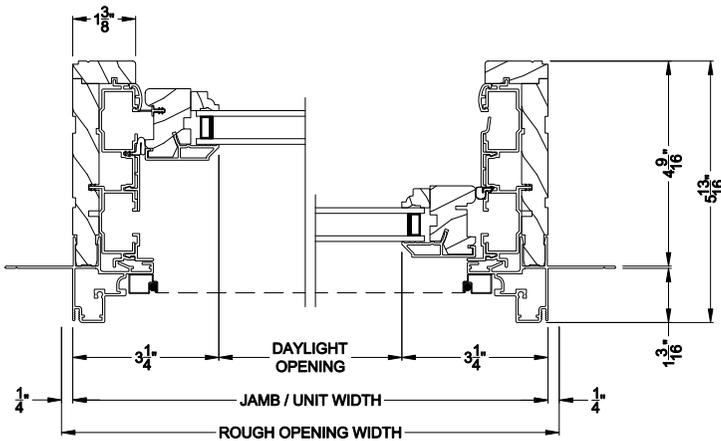
Premium Series™

Double Hung Windows

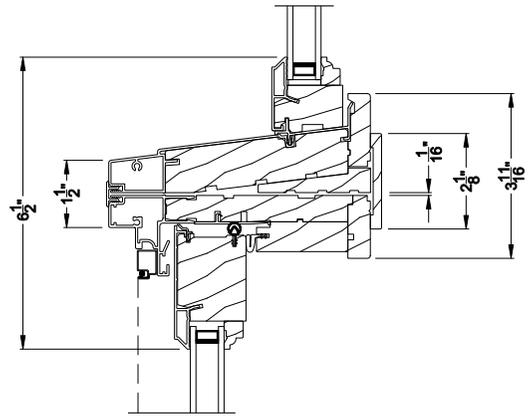
CROSS SECTION DETAILS



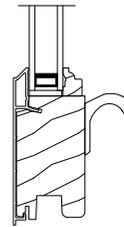
PREMIUM DOUBLE HUNG WINDOW (8109)
Vertical Section



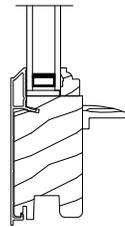
PREMIUM DOUBLE HUNG WINDOW (8109)
Horizontal Section



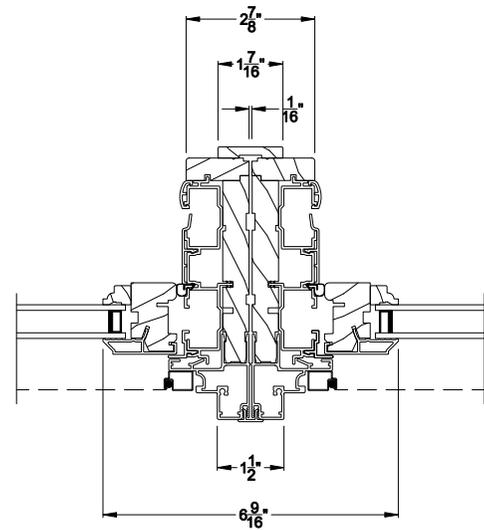
PREMIUM DOUBLE HUNG WINDOW
Horizontal Stack Section - Transom Stack over DH



Optional Historical Sash Lift



Optional Contemporary Sash Lift



PREMIUM DOUBLE HUNG WINDOW
Vertical Mull Section - DH / DH

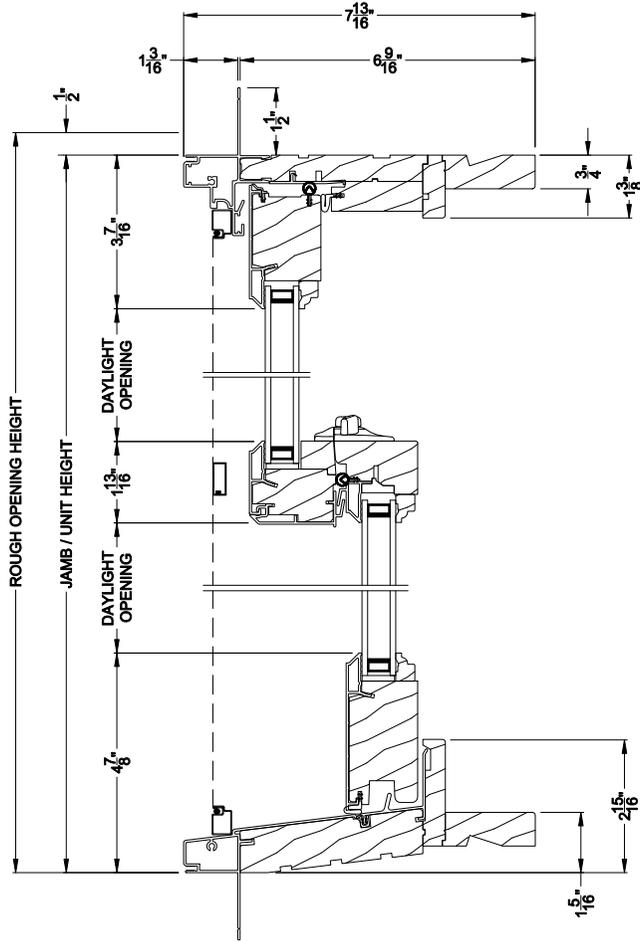
Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

Weather Shield®

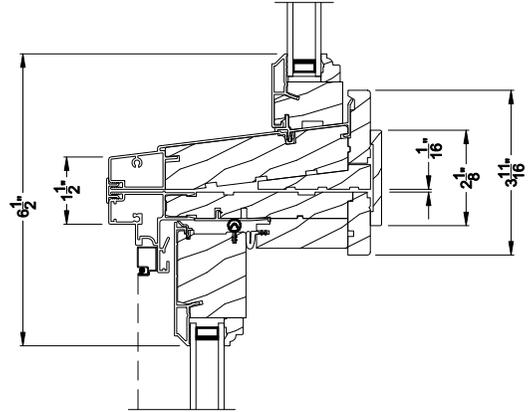
Premium Series™

Double Hung Windows

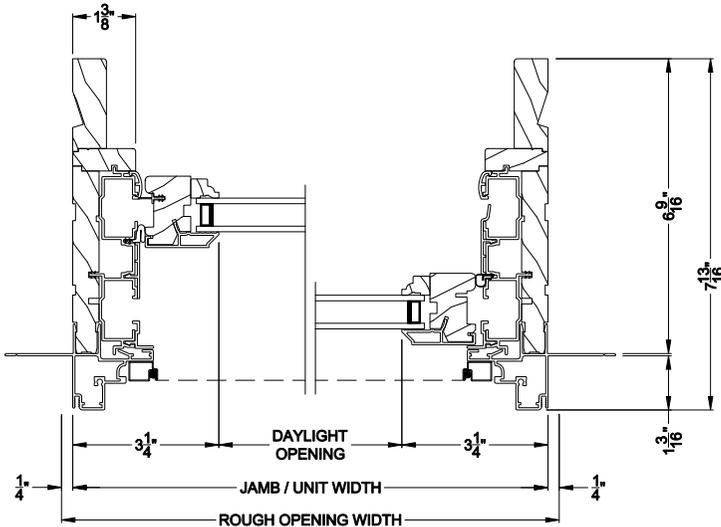
CROSS SECTION DETAILS



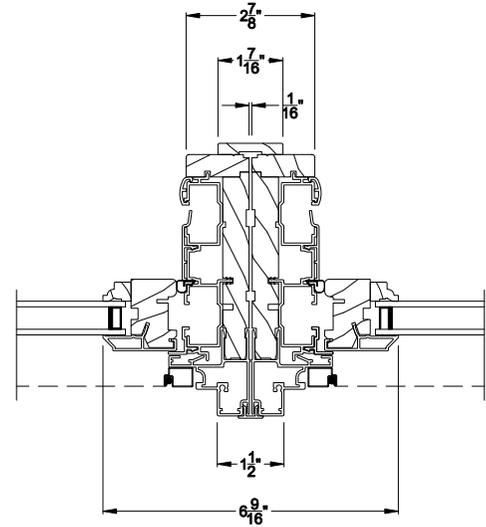
PREMIUM DOUBLE HUNG WINDOW (8109)
Horizontal Stack Section - Transom Stack over DH



PREMIUM DOUBLE HUNG WINDOW
Vertical Mull Section - DH / DH



PREMIUM DOUBLE HUNG WINDOW (8109)
Horizontal Section - 6-9/16\"/>



PREMIUM DOUBLE HUNG WINDOW
Vertical Mull Section - DH / DH

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

Double Hung Windows (610)

Unit Dimension	1'-7 15/16"	1'-11 15/16"	2'-3 15/16"	2'-7 15/16"	2'-9 15/16"	2'-11 15/16"	3'-1 15/16"	3'-3 15/16"	3'-7 15/16"	3'-11 15/16"
Jamb Dimension	1'-5 5/16"	1'-9 5/16"	2'-1 5/16"	2'-5 5/16"	2'-7 5/16"	2'-9 5/16"	2'-11 5/16"	3'-1 5/16"	3'-5 5/16"	3'-9 5/16"
Rough Opening	1'-6 5/16"	1'-10 5/16"	2'-2 5/16"	2'-6 5/16"	2'-8 5/16"	2'-10 5/16"	3'-0 5/16"	3'-2 5/16"	3'-6 5/16"	3'-10 5/16"
Metric R.O. (mm)	465	567	668	770	821	872	922	973	1075	1176
Glass Size	11 7/8"	15 7/8"	19 7/8"	23 7/8"	25 7/8"	27 7/8"	29 7/8"	31 7/8"	35 7/8"	39 7/8"
2'-10 15/16"										
2'-9 1/8"										
3'-2 15/16"										
3'-1 1/8"										
3'-5 1/8"										
3'-5 5/8"										
3'-9 1/8"										
3'-9 5/8"										
3'-10 15/16"										
4'-2 15/16"										
4'-1 1/8"										
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4'-10 15/16"										
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5'-10 15/16"										
5'-9 1/8"										
5'-9 5/8"										
6'-2 15/16"										
6'-1 1/8"										
6'-1 5/8"										
6'-11 1/16"										

Double Hung Windows (610)

Unit Dimension	1'-7 15/16"	1'-11 15/16"	2'-3 15/16"	2'-7 15/16"	2'-9 15/16"	2'-11 15/16"	3'-1 15/16"	3'-3 15/16"	3'-7 15/16"	3'-11 15/16"
Jamb Dimension	1'-5 5/16"	1'-9 5/16"	2'-1 5/16"	2'-5 5/16"	2'-7 5/16"	2'-9 5/16"	2'-11 5/16"	3'-1 5/16"	3'-5 5/16"	3'-9 5/16"
Rough Opening	1'-6 5/16"	1'-10 5/16"	2'-2 5/16"	2'-6 5/16"	2'-8 5/16"	2'-10 5/16"	3'-0 5/16"	3'-2 5/16"	3'-6 5/16"	3'-10 5/16"
Metric R.O. (mm)	465	567	668	770	821	872	922	973	1075	1176
Glass Size	11 7/8"	15 7/8"	19 7/8"	23 7/8"	25 7/8"	27 7/8"	29 7/8"	31 7/8"	35 7/8"	39 7/8"
6'-6 15/16"										
6'-5 1/8"										
6'-5 5/8"										
1972										
33 11/16"										
6'-10 15/16"										
6'-9 1/8"										
6'-9 5/8"										
2073										
35 11/16"										
7'-6 15/16"										
7'-5 1/8"										
7'-5 5/8"										
2276										
39 11/16"										
7'-10 15/16"										
7'-9 1/8"										
7'-9 5/8"										
2378										
41 11/16"										
8'-4 15/16"										
8'-3 1/8"										
8'-3 5/8"										
2530										
44 11/16"										

2 - Wide Units Width Dimensions					3 - Wide Units Width Dimensions				
Base Code	Jamb Dimension (Frame Size)	Unit Dimension (Brickmould Size)	Rough Opening	Metric R.O. (mm)	Base Code	Jamb Dimension (Frame Size)	Unit Dimension (Brickmould Size)	Rough Opening	Metric R.O. (mm)
DH2-12	2'-10 11/16"	3'-1 5/16"	2'-11 11/16"	906	DH3-12	4'-4 1/16"	4'-6 11/16"	4'-5 1/16"	1348
DH2-16	3'-6 11/16"	3'-9 5/16"	3'-7 11/16"	1110	DH3-16	5'-4 1/16"	5'-6 11/16"	5'-5 1/16"	1653
DH2-20	4'-2 11/16"	4'-5 5/16"	4'-3 11/16"	1313	DH3-20	6'-4 1/16"	6'-6 11/16"	6'-5 1/16"	1957
DH2-24	4'-10 11/16"	5'-1 5/16"	4'-11 11/16"	1516	DH3-24	7'-4 1/16"	7'-6 11/16"	7'-5 1/16"	2262
DH2-26	5'-2 11/16"	5'-5 5/16"	5'-3 11/16"	1618	DH3-26	7'-10 1/16"	8'-0 11/16"	7'-11 1/16"	2415
DH2-28	5'-6 11/16"	5'-9 5/16"	5'-7 11/16"	1719	DH3-28	8'-4 1/16"	8'-6 11/16"	8'-5 1/16"	2567
DH2-30	5'-10 11/16"	6'-1 5/16"	5'-11 11/16"	1821	DH3-30	8'-10 1/16"	9'-0 11/16"	8'-11 1/16"	2719
DH2-32	6'-2 11/16"	6'-5 5/16"	6'-3 11/16"	1922	DH3-32	9'-4 1/16"	9'-6 11/16"	9'-5 1/16"	2872
DH2-36	6'-10 11/16"	7'-1 5/16"	6'-11 11/16"	2126	DH3-36	10'-4 1/16"	10'-6 11/16"	10'-5 1/16"	3177
DH2-40	7'-6 11/16"	7'-9 5/16"	7'-7 11/16"	2329	DH3-40	11'-4 1/16"	11'-6 11/16"	11'-5 1/16"	3481



COMMONWEALTH of VIRGINIA

Department of Historic Resources

2801 Kensington Avenue, Richmond, Virginia 23221

Matt Strickler
Secretary of Natural Resources

Julie V. Langan
Director

Tel: (804) 367-2323
Fax: (804) 367-2391
www.dhr.virginia.gov

January 27th, 2020

John A. Janney
John Janney Building Inc.
612 Lafayette Boulevard
Fredericksburg, VA – 22401

Re: Janney-Marshall Co. Building – Fredericksburg
Part 2 and Amendment #1 Response
DHR # 2018-202

Dear Mr. Janney –

Thank you for submitting the State and Federal Rehabilitation Tax Credit Application, Part 2, “Description of Rehabilitation,” and Amendment #1 for the property located at 401 Princess Anne Street in Fredericksburg. We are also in receipt of the necessary State application fee and appreciate its timely submission. Based on the materials provided, the proposed scope of work is consistent with the Secretary of the Interior’s *Standards for Rehabilitation* and the project is approved provided the below conditions are met.

CONDITIONS:

The following conditions should be met in order for the project to receive approval. If additional information is requested, please submit the materials as an Amendment to the Part 2 application. Otherwise, evidence of the completed, compliant work must be submitted with the Part 3 application.

Repair of Historic Wood Windows – Repair to the historic wood windows must follow the guidance found in the National Park Service’s *Preservation Brief #9: The Repair of Historic Wooden Windows*, which can be found at <https://www.nps.gov/tps/how-to-preserve/briefs/9-wooden-windows.htm>.

Consolidating Historic Windows – Please do not consolidate the historic wood windows. Historic windows should remain in-place where they currently exist, with matching replacement windows installed wherever the historic windows do not exist for repair.

Replacement Windows – Replacement windows for this project should be wood, and match the design, profiles, and dimensions of the historic windows exactly. This is especially important as a

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Tel: (540) 868-7029
Fax: (540) 868-7033

significant number of historic wood windows remain, and so these replacement windows will be located in close proximity to the historic examples.

Railing for Loading Dock – Please provide more detailed specifications of the proposed new railing for the loading dock. As a reminder, the new railing should seek to be as visually minimal as possible, so as to protect the character of the historic loading dock structure.

Masonry Repair – All repair to the historic masonry must follow the guidance found in the National Park Service’s *Preservation Brief #2: Repointing Mortar Joints in Historic Masonry Buildings*, which can be found at <https://www.nps.gov/tps/how-to-preserve/briefs/2-repoint-mortar-joints.htm>. It appears that the darker masonry test patch is the closest match for this project – that said, as we recognize that printed images are often not true to color, it is the applicant’s responsibility to ensure that the areas of new mortar visually match the historic mortar as closely as possible. This includes for qualities such as color, texture, tooling, and joint profile.

Please notify DHR as soon as the masonry repair has been completed, but before the structure has been repainted. A site visit to view the completed repointing work will be scheduled for an in-person review of the completed work. This in-person review and approval is required for approval of this work.

Please be aware that DHR is conducting a physical inspection of all properties as part of the Part 3 review process. Consequently, we anticipate that review of completed projects will take approximately 60 days from the date of submission.

This conditional approval is for the Part 2 application as submitted. All new information should be sent for review and approval to the Virginia Department of Historic Resources (DHR) as an Amendment to the original application; you can find the appropriate form through the National Park Service’s website at <http://www.nps.gov/tps/tax-incentives/application.htm>. We have forwarded a copy of the Part 2 and Amendment #1 to the National Park Service with our recommendations ~ you will receive their response in a separate letter.

Please feel free to contact me with questions or concerns at 804-482-6452 or by e-mail at Jessica.Ugarte@dhr.virginia.gov.

Sincerely,



Jessica Aurora Ugarte
Tax Credit Reviewer
Office of Preservation Incentives

cc: Mary Harding Sadler

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UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

OMB Approved
No. 1024-0009
Form 10-168
Rev. 2014

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

NPS Project Number
39572, DHR #2018-202

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. Property Name Janney-Marshall Co. Building

Street 401 Princess Anne Street

City Fredericksburg County _____ State VA Zip 24401-6042

Name of Historic District Fredericksburg Historic District

Listed individually in the National Register of Historic Places; date of listing _____

Located in a Registered Historic District; name of district Fredericksburg Historic District

Part 1 – Evaluation of Significance submitted? Date submitted 11/19/18 Date of certification 01/30/19

2. Project Data

Date of building ca. 1870 Estimated rehabilitation costs (QRE) \$2,000,000

Number of buildings in project 1 Floor area before / after rehabilitation 20,906 / 20,906 sq ft

Start date (estimated) 08/01/2019 Use(s) before / after rehabilitation vacant / res/com

Completion date (estimated) 03/01/2023 Number of housing units before / after rehabilitation 0 / 12

Number of phases in project 1 Number of low-moderate income housing units before / after rehabilitation 0 / 0

3. Project Contact (if different from applicant)

Name Mary Harding Sadler or Catherine Easterling Company Sadler & Whitehead Architects, PLC

Street 726 W. 33rd Street City Richmond State VA

Zip 23227-3531 Telephone (804) 231-5299 Email Address sadler@ or catherine@sadlerandwhitehead.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name John A. Janney Signature [Signature] Date 10/17/19

Applicant Entity John A. Janney c/o John Janney Building Inc. SSN 230-82-1221 or TIN _____

Street 612 Lafayette Blvd City Fredericksburg State VA

Zip 22401-6088 Telephone (540) 361-1200 Email Address jjbuilderinc@verizon.net

Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:

- the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
- the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
- the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date _____ National Park Service Authorized Signature _____

NPS conditions or comments attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Property name Janney-Marshall Co. Building NPS Project Number 39572, DHR #2018-
Property address 401 Princess Anne Street Fredericksburg VA 24401-6042

5. Detailed description of rehabilitation work Use this page to describe all work or create a comparable format with this information.
Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number <u>1</u>	Feature <u>Overview</u>	Date of Feature <u>1870, later dates</u>
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Describe existing feature and its condition

The Janney-Marshall Co. Building at 401 Princess Anne Street is a three-story, painted brick warehouse constructed ca. 1870 as a much smaller, two-story building. The building was expanded multiple times, and additions were added to the east and north elevations, and a third floor was added to the original two-story warehouse. The evolution of the brick building is particularly evident at the interior, where cut joists and infilled joist pockets are visible throughout the space. A recessed, front-gable, metal-clad addition is attached to the north elevation with a small hyphen. The addition was constructed during the Period of Significance for the historic district (1727-1958), and is a contributing feature. The warehouse is currently vacant.

The interior of the brick warehouse is an open, heavy-timber-framed warehouse, with a small, much-altered office area in the front of the 1st floor. The metal-clad addition also has wood framing.

Photo numbers All Drawing numbers All

Describe work and impact on feature

The historic brick warehouse will be adapted for residential and commercial use. Apartment units will be added on floors 1-3. The rear of the first floor will be maintained as open office or commercial space. The interior of the metal addition is not included in the scope of work.

Additional changes include:

- Removal of north elevation metal canopies that block historic window openings
- Re-opening of bricked-in masonry openings
- Repairs to the north elevation loading dock
- Addition of a simple rail and access ramp to the north elevation loading dock
- Construction of a new interior stair
- Installation of a new elevator
- Installation of new rooftop equipment

The project will be completed in a single phase.

Number <u>2</u>	Feature <u>Site</u>	Date of Feature <u>1870s, later</u>
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Describe existing feature and its condition

The brick warehouse and metal addition occupy most of an urban parcel located at the corner of Princess Anne and Frederick Streets. The west and south elevations of the main warehouse abut a public sidewalk. The rear of the property has no setback, and faces a large, vacant parcel owned by the City of Fredericksburg.

The space in front of the north elevation of the recessed metal shed includes a concrete apron and a gravel and grass parking area. Poured concrete covers the small amount of open space between the metal shed and the loading dock.

Photo numbers 1-3, 10, 11, 14 Drawing numbers Boundary Survey

Describe work and impact on feature

No site work is proposed at this time. Any proposed changes to the site will be submitted for review and approval in a future amendment.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Number 3	Feature Front (Princess Anne St) elevation	Date of Feature 1870s, later dates
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Describe existing feature and its condition

The three-story, five-bay front of the Janney-Marshall Warehouse faces Princess Anne Street.

- A simple concrete stoop with a pipe rail leads to a multi-light wood entry door (photos 5-6).
- Most of the existing first floor window openings appear to have been modified. The modifications date from the period of significance. Two of the openings were once entry doors, as evidenced by the simple concrete stoops that remain (photos 7-8).
- The six bays of second and third floor windows are stacked, and have simple wood sills.
- Painted sign bands are located above each level of windows (photo 3).
- A flat brick parapet with terra cotta coping extends above a simple metal cornice. The face of the parapet is clad in metal.
- Substantial areas of inappropriate repointing exist at the base of the building (photos 3, 8)

Metal shed addition (photos 9-10):

- The one-story metal-clad shed addition has a front-gable roof, three boarded-up window openings, and an infilled loading opening. A section of metal extends beyond the roofline.
- The addition's corrugated metal cladding is painted.
- The recessed hyphen that connects the shed to the main warehouse has a single six-over-six window.

Photo numbers 1-10

Drawing numbers A2.0, A2.2

Describe work and impact on feature

The Princess Anne elevation will be preserved in its current configuration. The painted masonry will be repainted.

- The concrete stoop, pipe rail, and wood entry door will be preserved.
- The historic modified 1st floor openings will be preserved in their current configuration.
- The stacked 2nd and 3rd floor windows will be repaired in kind and preserved. The applicant would like to consolidate all remaining six-over-six wood sash along the north and south elevations of the buildings, and install new windows to match the historic windows along the Princess Anne Street elevation. Please see the Window and Doors block below for additional information about this treatment.
- The painted sign bands will be carefully repainted.
- The brick parapet, coping, and metal cornice will be repaired in kind, if necessary.
- Areas of deteriorated masonry will be repointed. Please see the Masonry block below for additional information about this treatment.

Metal shed addition:

- The metal shed and connector will be preserved. The corrugated metal cladding will be repainted, but no other work is proposed at this time.

Number 4	Feature Frederick St (south) elevation	Date of Feature 1870s, later dates
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Describe existing feature and its condition

The three-story, nine-bay south side of the Janney-Marshall Warehouse faces Frederick Street.

- Window openings are stacked at the 1st, 2nd, and 3rd floors. All windows have segmental

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

arch lintels.

- One larger masonry opening at the SW corner has been infilled with masonry (photo 12).
- Window openings in the rear addition have masonry sills. Five of the openings are half size, and hold a single six-light sash (photo 13).

The south elevation of the metal shed addition is clad in painted, corrugated metal (photos 15, 17).

Photo numbers 11-13, 15, 17

Drawing numbers A2.1, A2.3

Describe work and impact on feature

The Frederick Street elevation will be preserved in its current configuration. The painted masonry will be repainted.

- Most window openings will be preserved in their current configuration. Remaining historic sash will be preserved and repaired in kind.
- Masonry infill will be removed from the opening at the SW corner. A new six-over-six window will be installed in the existing opening. Masonry infill will be added below the new window to infill the rest of the opening. The existing concrete sill will remain.
- Two of the smaller openings at the east addition will be lengthened. Building code requires a second means of egress for apartment buildings at this location, and the existing window openings are too small to qualify. This is a minimal change to the elevation, and should not have a negative impact on the character of the building.

The south elevation of the metal shed addition will be repainted and preserved in kind.

Number 5	Feature North side elevation	Date of Feature 1870s, later dates
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Describe existing feature and its condition

The three-story, painted brick north elevation of the building faces the metal shed addition.

- Two simple metal canopies span portions of the north elevation. They are constructed with stock 2x4 framing and prefabricated 5V galvanized roofing. It appears that many elements of each canopy's roofing and framing have been replaced (see canopy photo pkt). A City of Fredericksburg building permit indicates the canopies were installed in 1955, near the end of the district's expanded Period of Significance (1727-1958). The ledger of the upper canopy (closest to Princess Anne Street) runs across three infilled window openings. The lower canopy blocks natural light from 2nd floor windows.
- A concrete loading dock spans most of the north elevation. The thin, poured slab is supported by formed concrete piers, leaving regular open bays beneath the slab. Two of the bays closest to Princess Anne Street are infilled. The slab is in poor condition. The dock has no permanent access stairs. (Photo 19-20c)
- Two loading bays retain historic, paired metal doors (photo 18, 36).
- One historic loading bay is infilled with a non-historic roll-up garage door (photo 32).
- The north elevation retains most of its historic wood windows. Several historic windows have been infilled with masonry. Several infilled 1st floor openings have flat brick lintels, and appear to date from a later period than the openings with segmental arches.
- The rear (east) addition includes several smaller, historic openings at the 2nd floor.
- Painted sign bands exist above the 2nd and 3rd floor windows (photo 1).

Metal Shed Addition (photo 16):

- The shed has a one-story north elevation with no openings. A portion of the side is clad in painted metal. A portion of the side is painted block.

Photo numbers 1,16,18-20c,32,36; canopy photo packet

Drawing numbers A2.1, A2.3

Describe work and impact on feature

The north elevation will be preserved. Painted masonry will be repainted.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

- The metal canopies are not a character-defining feature of the building, and the applicant would like to remove them so that the character-defining window openings can be restored.
- The loading dock slab will be resurfaced in kind. Because the slab is so thin and fragile, and because water is infiltrating the building below the dock, the applicant would like to install a new concrete wall flush with the loading dock. This wall will allow the applicant to attach simple railings so that no additional drilling will occur at the historic slab. The new wall will help prevent future water infiltration into the building.
- A simple new concrete ramp will be added to the end of the loading dock, which is largely obscured from view by the metal shed addition. This will provide universal access to the building in the location that will have the least impact on the historic building.
- A simple new metal canopy will be installed across a portion of the 1st floor. The new canopy will be held above historic window heads.
- One pair of historic, metal loading doors will be preserved in place. One pair of doors will be fixed in an open position adjacent to the historic opening at the building interior. The opening will receive new paired full-light doors.
- The non-historic roll-up garage door will be replaced with paired, full-light doors. Because these openings never had roll-up doors, the infill will not have a gridded garage door appearance.
- Historic windows will be preserved and repaired in kind as needed. Several infilled openings will be re-opened. One later infilled opening on the 1st floor will be re-opened and lengthened to accommodate a new simple egress door.
- Two of the smaller window openings in the east addition will be lengthened to provide the required second means of egress for two apartment units. The openings are now too small to provide code-compliant egress. These window openings are largely obscured from view by the metal shed addition.
- Painted sign bands will be restored.

Metal Shed Addition:

- The shed will be repainted. No other work is planned at this time.

Number 6	Feature Rear (East) elevation	Date of Feature Pre-1922
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Describe existing feature and its condition

The three-story, painted brick rear elevation of the building has a stepped parapet.

- The 2nd and 3rd floors have stacked window openings. Windows at the 3rd floor have 6/6 wood sash. Windows at the 2nd floor are smaller, and each window only has one six-light sash.

Metal Shed Addition:

- The east elevation of the shed is painted metal, and has boarded-up openings.

Photo numbers 14

Drawing numbers A2.0, A2.2

Describe work and impact on feature

The rear elevation of the building will be preserved in its current form. Painted masonry will be repainted.

- Historic window sash will be preserved. No openings will be modified.
- Gas and electrical meters will be located at the rear elevation.
- A small air intake vent will be cut into the masonry. The vent louvers will be painted to match the historic masonry.

Metal Shed Addition:

- The metal shed will be repainted. No other work is proposed at this time.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Number 7	Feature Windows and Doors	Date of Feature unknown
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Describe existing feature and its condition

The applicant completed a thorough survey of windows and doors in the building (see sheet A6.0). Historic six-light sash have been removed from their openings for repair and repainting. The sash have been numbered, and remain on site adjacent to their historic openings inside the building (see enclosed representative photographs from the window survey, as well as interior photos). Two-over-two wood windows remain in their openings. Some historic openings have been infilled.

- The small, historic workshop/office has several interior 2/2 wood windows (photo 26).
- The building retains several historic exterior doors, previously described in the elevation sections above.
- Historic interior doors are salvaged from an unknown location and installed in non-historic office partitions at the front of the building (photos 21-22).
- Several historic doors remain in a small workshop room near the non-historic offices. These have not been moved (photos 28-29).

Photo numbers Representative survey photos, 61-62 Drawing numbers A2.1-A2.3, A6.0 window survey

Describe work and impact on feature

- Historic window sash will be preserved and repaired in kind. The few window sash that are missing or deteriorated beyond repair will be replaced in kind. Of the 83 window openings, only nine windows need partial or full replacement. Some of the windows identified as "poor" only need muntin replacement. See enclosed window survey and representative photographs. The window numbers on plan sheets correspond to survey numbers.
- Several infilled several window openings on the north elevation will be reopened. The applicant would like to consolidate historic window sash along the north elevation so that this side of the building retains a consistent appearance. The applicant proposes installing historic 6/6 sash from the Princess Anne Street elevation in north elevation openings. New aluminum clad wood 6/6 windows will be installed in the Princess Anne elevation. Historic 2/2 windows in the Princess Anne elevation will remain in place.
- Several of the smaller window openings will be elongated to provide the necessary 2nd means of egress from several apartment buildings. The applicant proposes adding new six-light sash to the lower opening. The current openings are too small to count for egress.
- Two deteriorated openings under the loading dock will be infilled to prevent water infiltration. The openings do not currently appear to have windows.
- Exterior storm windows will be installed at window openings. The meeting rails of new storm windows will align with the meeting rails of the historic window sash. Storms will match the color of the window sash.
- Historic exterior doors will be repaired in kind and retained, as noted in previous elevation descriptions. New infill will be full-light storefront doors.
- The small, historic workshop/office windows will be preserved.
- Historic salvaged doors will be removed from non-historic partitions. They can be stored on site or reused/displayed in the building.

Number 8	Feature Roof	Date of Feature unknown
-----------------	---------------------	--------------------------------

Describe existing feature and its condition

- The building has a low-pitched gable roof covered with a membrane roof. The front (west) end of the roof has a flat parapet wall. The rear (east) end has a stepped parapet. The sides do not have parapet walls. A stepped parapet separates the main building from the rear addition.
- A small, metal hoist-way houses freight elevator equipment.
- Several passive vents are located along the roof ridge.
- An historic masonry chimney is located near the Princess Anne side of the roof.

Photo numbers Mockup photos Drawing numbers A1.2, A1.5, A1.8

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Describe work and impact on feature

- A structural, insulated panel will be added on top of the existing membrane roof. The panel will be 4-5/8" deep, and will be finished with the same membrane roofing as the existing roof. This panel will allow the historic ceiling structure to remain visible throughout the 3rd floor interior. See enclosed product sample photo.
- The metal hoist-way will be removed to accommodate a new, low elevator overrun with a new, low, sloped hip roof. The new overrun has been mocked up. See enclosed photos.
- Six of the seven ridge vents will be preserved in their current locations. One vent will be relocated to accommodate the elevator overrun.
- A required roof hatch will be added above the stair tower. The hatch is flat, but code requires a simple metal safety railing around it. This rail has been mocked up. See enclosed photographs.
- Because the historic warehouse has zero setback on the west, east, and south elevations, and has an historic loading dock on the north elevation, new rooftop equipment must be located on the roof. Most units will be placed on the south side of the roof to minimize visibility. They will be set back approximately 10' from the edge of the roof, and are centered along an interior column line in order to eliminate the need for additional structural stabilization inside the building. The single unit on the north side of the roof is located to maximize efficiency. If the location of this unit is altered, several additional units will be necessary. The units have been mocked up. Please see enclosed photographs.
- The historic chimney will be preserved above the roof line, but will be removed within the building.

Number 9	Feature <u>Masonry</u>	Date of Feature <u>1870s, later dates</u>
----------	------------------------	---

Describe existing feature and its condition

The historic warehouse is constructed of brick. The brick has been painted, but is flaking off. Deteriorated masonry is concentrated around the base of the building - including under the loading dock - and above window heads. Inappropriate old repairs, including Portland cement parging, is evident on the Princess Anne and Frederick Street elevations.

Photo numbers Masonry photos 1-4, Pt 2 photos 1-14 Drawing numbers --

Describe work and impact on feature

- Painted historic masonry will be repainted.
- Deteriorated masonry will be repointed in accordance with Preservation Brief 2. Approximately less than 5% of the building will be repointed. Masonry repairs will be concentrated around the base of the building.
- Existing parging will remain. Removal of the cement may cause irreparable damage to the historic brick.
- The applicant began repointing the NW corner of the building with a lime-based mortar prior to the submittal of a Part 2 application. DHR staff found the repointing to be unacceptable. The mason has removed the new mortar from the joints (see enclosed photographs), and has left a test patch for review. The applicant has used a gentle, soy-based gel to remove loose paint from existing mortar near the test patches so that an adequate comparison can be made. Historic mortar joints appear to be fairly flush with the face of the brick. Masonry repairs will not resume until DHR and NPS approval is obtained. A second test patch with a slightly darker mortar is being prepared.

Number 10	Feature <u>Stairs and Elevator</u>	Date of Feature <u>unknown</u>
-----------	------------------------------------	--------------------------------

Describe existing feature and its condition

- The existing stair to the basement is wood, and is not historic (photos 65-65a)
- The stair from the 1st to the 2nd floor is enclosed in modern beadboard, and is not historic (photos 31-31b, 45, 50). The stair runs to the upper floors are also not historic.
- The freight elevator is historic. It has been enclosed with non-historic partitions,

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

including salvaged beadboard paneling installed horizontally and knotty pine paneling. See photos 35, 47, 56).

Photo numbers 31-31b, 35, 45, 47, 50, 56, 65-65a

Drawing numbers A3.0, A3.1

Describe work and impact on feature

- The non-historic basement stair will be demolished.
- The non-historic stair at the west end of the building will be demolished. New flooring will be patched in to match the historic wood floors.
- The freight elevator will be removed. Portions of the mechanics will be salvaged and displayed in public spaces in the building.
- The existing freight elevator opening will be enlarged for a new hydraulic elevator. The new elevator will be enclosed with a cmu shaft.
- A new egress stair will be added at the north side of the building interior. The stair will be enclosed as required by code. A simple new exposed steel rigid frame will be added inside the new egress stair enclosure to brace the existing perimeter masonry wall. The frame will be attached with through bolting. Exterior bolts will be capped with cast iron star plates, which are already used along the building exterior. Masonry walls will remain exposed in the stair shaft. See Sections and Details on sheets A3.0 and A3.1. Fall protection will be added to the existing window in the new stair shaft.

Number 11	Feature Interior Plan	Date of Feature 1870s, later dates
------------------	------------------------------	---

Describe existing feature and its condition

- With the exception of a front office space, the historic warehouse has an open plan that is defined by a grid of wood columns and beams. A masonry wall separates the earlier portion of the warehouse from the rear (east) addition. This wall has an existing door opening, as well as infilled window openings. The rear addition has metal columns and beams on the 1st and 2nd floors, and wood columns on the 3rd floor.
- A small historic workshop/office space remains near the NW corner of the building. The room has historic beadboard cladding, a beadboard ceiling, and 2/2 windows (photos 26-29).
- Non-historic offices occupy the west end of the warehouse. Thin partitions rest atop vinyl flooring. The space has non-historic doors that appear to date from the 1970s, as well as historic doors that appear to have been salvaged from an unknown location. The non-historic offices have dropped ceilings with painted furring strips, furred-out walls, and wrapped columns. Office trim overlaps existing simple trim at the front of the building in a shoddy manner. Photos 21-25a.

Photo numbers 21-65

Drawing numbers A1.0, A1.1, A1.3, A1.4, A1.6, A1.7

Describe work and impact on feature

The historic warehouse will be adaptively reused for apartments and open office/commercial space. The metal shed addition is not in the scope of work, and its interior will not be touched.

- Historic wood columns and beams will be preserved and remain exposed. Wrapped columns will be unwrapped.
- The masonry wall separating the main warehouse from the rear addition will be preserved. Several infilled window openings in this wall will be lengthened for new doors within units on all floors. The width of the opening and the header will not be altered.
- The 1st floor of the rear addition will remain open.
- The historic 1st floor workshop/office will be preserved and repurposed as a bathroom.
- The non-historic offices at the west end of the building will be demolished.
- New apartment units will be added at each floor. New partitions will not interrupt window openings.

Number 12	Feature Interior Finishes	Date of Feature 1870s, later dates
------------------	----------------------------------	---

Describe existing feature and its condition

Walls:

- Non-historic office walls are furred out.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

- The historic workshop has beadboard walls.
- Historic warehouse walls are painted and unpainted masonry. Some masonry has been covered with non-historic paneling. The applicant has since removed this paneling from the masonry walls.

Floors:

- The building has wood floors throughout the building. The floors are in fairly good condition, except where warped on the first floor.
- The non-historic office area at the west end of the building has vinyl flooring.

Ceilings:

- Ceiling structure is exposed throughout the warehouse spaces. Some areas are painted, some areas are unpainted.
- The historic workshop has a beadboard ceiling.
- The non-historic offices at the west end of the building have dropped ceilings with painted furring strips.

Historic Structure:

- Historic columns and beams area exposed throughtout the warehouse. Some columns and beams are painted, and some remain unpainted.

Photo numbers 21-65

Drawing numbers --

Describe work and impact on feature

Walls:

- Non-historic, furred out office walls will be removed, and the historic masonry exposed.
- The beadboard walls in the historic workshop will be preserved.
- Painted masonry walls will be repainted. Unpainted masonry walls will remain unpainted.
- New partitions for apartments will be drywall.

Floors:

- Historic wood floors will be preserved and repaired in kind. Openings for non-historic stairs will be infilled with wood flooring to match existing. Where possible, wood salvaged from cutting the new stair opening will be used to infill non-historic stair openings.
- Vinyl flooring will be removed from the front end of the building.
- New bathrooms will have tile floors.

Ceilings:

- Ceiling structure will remain exposed throughout the building, except in limited corridor areas that must be fire rated. Bathrooms will have dropped ceilings to conceal mechanical equipment.
- The historic beadboard ceiling in the workshop will be preserved and remain exposed.
- Dropped ceilings will be removed from the offices at the west end of the building. Historic structure will be uncovered and remain exposed.
- Painted ceiling structure will be repainted. Unpainted ceiling structure will remain unpainted.

Historic Structure:

- Historic columns and beams will be preserved and remain exposed. Painted structure will be repainted. Unpainted structure will remain unpainted.

Number 13	Feature Building Systems	Date of Feature unknown
------------------	---------------------------------	--------------------------------

Describe existing feature and its condition

Existing building systems are obsolete, and in need of replacement.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Photo numbers ---

Drawing numbers Mechanical plans

Describe work and impact on feature

New mechanical, electrical, and plumbing systems will be installed to comply with code requirements. HVAC ducts will be exposed where historic structure is exposed, or where drywall required for fire rating is held tight to the historic ceiling structure. HVAC components will be concealed above dropped ceilings in bathrooms.

New rooftop mechanical equipment will be located on the roof, as described in block Number 8.

Mechanical plans are enclosed.

Add Item

THE JANNEY MARSHALL COMPANY, INC. DB 00 PAGE 60 GPIN 7789-23-2199 ZONING: C-D
 JANNEY MARSHALL COMPANY, INC. DB 157 PAGE 420, PAGE 423 & PAGE 426 GPIN 7789-23-2233 ZONING: C-D
 CITY OF FREDERICKSBURG, VIRGINIA DB 328 PAGE 732 GPIN 7789-23-3296 ZONING: C-T

NOTES

1. THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WERE PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND DOES NOT, THEREFORE, NECESSARILY INDICATE ALL OR ANY ENCUMBRANCES ON THE PROPERTIES.
2. BY GRAPHIC PLOTTING ONLY, THE PROPERTY DELINEATED ON THIS PLAT APPEARS TO LIE WITHIN A FEMA IDENTIFIED 'SPECIAL FLOOD HAZARD AREA' AS PER FLOOD INSURANCE RATE MAP FOR THE CITY OF FREDERICKSBURG, VIRGINIA, COMMUNITY PANEL NUMBER 5100650037C DATED EFFECTIVE SEPTEMBER 19, 2007. THE PROPERTY IS LOCATED WITHIN ZONE X, 'AREAS OF 0.2% ANNUAL CHANCE FLOOD' AS DEFINED THEREIN.
3. THE PROPERTY SHOWN HEREIN IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 NORTH ZONE (NAD83) AS COMPUTED FROM A GPS SURVEY WHICH TIES THIS SUBDIVISION BOUNDARY TO NGS MONUMENT DC WAAS 1 CORS ARP (ZDC1 - PID DF9217).
4. THE GRID FACTOR (ELEVATION FACTOR X SCALE FACTOR) THAT HAS BEEN APPLIED TO THE FIELD DISTANCE TO DERIVE THE REFERENCED COORDINATES IS 0.99996602. UNLESS OTHERWISE STATED THE PLAT DISTANCES SHOWN ARE INTENDED TO BE HORIZONTAL DISTANCES MEASURED AT THE MEAN ELEVATION OF THE DEVELOPMENT.
5. THE BEARINGS SHOWN ARE REFERENCED TO VCS 1983 GRID NORTH. THE FOOT DEFINITION USED FOR CONVERSION OF THE MONUMENT COORDINATES IS THE "U.S. SURVEY FOOT" OR 1 FT = 1200/3937 METER.
6. GEODETIC CONTROL MONUMENTS EXISTING OR PLACED WITHIN THE BOUNDARIES OF THIS DEVELOPMENT SHALL NOT BE DISTURBED. THE LANDOWNER ASSUMES THE RESPONSIBILITY FOR REPLACEMENT OF ANY DISTURBED MONUMENT.
7. THE LAND BOUNDARY SHOWN ON THIS PLAT IS THE RESULT OF A FIELD SURVEY BY FAIRBANKS & FRANKLIN IN SEPTEMBER AND OCTOBER, 2018.
8. NO SUBSURFACE, HAZARDOUS WASTE OR WETLAND INVESTIGATIONS WERE PROVIDED NOR WERE ANY UTILIZED IN THE PREPARATION AND DEVELOPMENT OF THIS PLAT AND THE SURVEY ON WHICH IT IS BASED.
9. THE PARCELS DESCRIBED WITHIN THIS PLAT LIE WITHIN THE RESOURCE MANAGEMENT AREA (RMA) AND DO NOT CONTAIN RESOURCE PROTECTION AREAS (RPA) WITHIN THE CHESAPEAKE BAY PRESERVATION AREA OVERLAY DISTRICT.

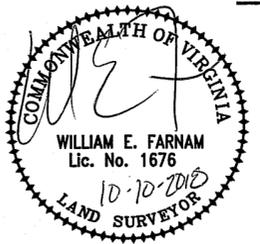


Fairbanks & Franklin

Civil Engineering
Land Planning

1005 Mahone Street
Fredericksburg, VA 22401
(540) 899-3700

BOUNDARY SURVEY
 ON LANDS STANDING IN THE NAMES OF
THE JANNEY MARSHALL COMPANY, INC.
 AND
CITY OF FREDERICKSBURG, VIRGINIA
 CITY OF FREDERICKSBURG, VIRGINIA

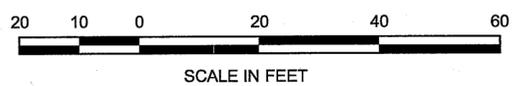
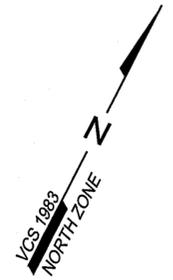
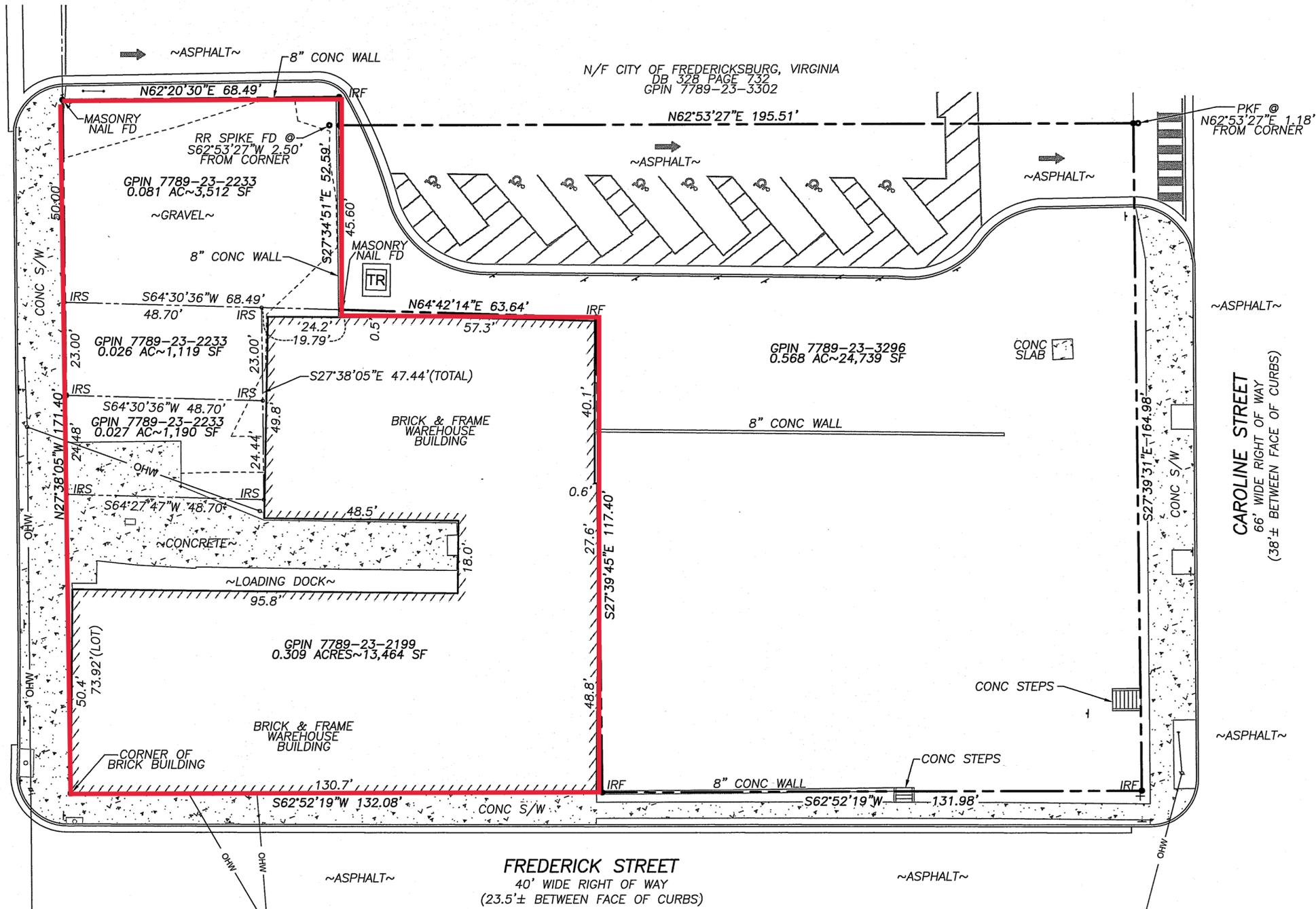


DATE : OCT.10, 2018
 DESIGNED:
 DRAWN : WEF
 CHECKED : WEF

REVISIONS:

DOCUMENT NO.
270-1003 BS

SHEET
1 OF 1



PLANS AND DETAILS

Janney Marshall Warehouse - Adaptive Reuse

401 Princess Anne Street
Fredericksburg, VA 22401

Construction Notes

General Notes

Code Data

Applicable Code
 2015 Virginia Construction Code
 2015 Virginia Mechanical Code
 2015 Virginia Plumbing Code
 2015 Virginia Electrical Code
 2015 Virginia Existing Building Code
 2012 Virginia Statewide Fire Prevention Code
 2015 Virginia Fuel Gas Code
 2015 Virginia Energy Conservation Code
 2010 ANSI A117.1 Accessible Standards

Use Group
 R-2 (Residential) / B (Business)

Construction Type
 Existing IIIB with new NFPA 13 sprinkler system

Travel Distance
 R-2 with 1 exit = 125 feet max - per Table 1006.3.2(1)
 B w/ 1 exit = 100 feet max - per Table 1006.3.2(2)

Exit Requirements
 R-2 with 1 exit per Table 1006.3.2(1)
 1 provided for 2nd & 3rd floors / 1st floor - 2 units w/ private exit
 B w/ 1 exit per Table 1006.3.2(2)
 1 provided at 1st floor

Plumbing Req's / Provided
 B (Business)
 WC - 1 M/F per 25 < 50 req / 1 M/F Lav provided
 1 M/F Lav per 40 < 80 req / 1 M/F Lav provided
 1 service sink req / 1 provided
 Drinking Fountain per VPC 410.2 NOT required (< 15 occupants)

Occupant Load

1st floor Business B	= 1757 sq ft at 100 gross	POST 15
1st floor Residential R-2 units	= 3396 sq ft at 200 gross	17 occupants
2nd floor Residential R-2 units	= 5571 sq ft at 200 gross	28 occupants
3rd floor Residential R-2 units	= 5568 sq ft at 200 gross	28 occupants
Total Occupant Load		88 Occupants

Occupancy & Separations
 2015 VEBC - Level 3 alterations (Section 604)

VEBC 906.4 Occupancy Separation (Historic Buildings)
 1 hr reduced to 0 hr with NFPA 13 sprinkler system
 applies to floor & walls of B use at 1st floor &
 horizontal assemblies between dwelling units

VCC 420.2 Separation Walls / VCC 708.3 Fire Resistance Rating
 Corridor walls w/ sprinkler - 1/2 hr (Table 1020.1)
 Dwelling Unit walls w/ sprinkler - 1/2 hr

Corridors / Stair
 1/2 hr walls & ceiling continuous (stair open to corridor)
 Stair 3 stories from grade w/ safety gate at Basement entry

Abbreviations

A.F.F.	ABOVE FINISHED FLOOR	FTG	FOOTING	REIN	REINFORCEMENT
BB	BOTTOM OF BOARD	GA	GAGE	REV	REVERSE
BLDG	BUILDING	GLV	GALVANIZED	RFT	ROUGH OPENING
BLKG	BLOCKING	GMB	GYPSPUM WALL BOARD	RTU	ROUGH TOP UNIT
BRT	BEARING	H	HORIZONTAL	RO	ROOF TOP UNIT
BRG	BEARING	HP1	HOLLOW METAL	SAN	SANITARY
C.J.	CONTROL JOINT	INSUL	INSULATION	SB	SPLASH BLOCK
CLG	CLEAR	INV	INVERT	SECT	SECTION
CL	CENTERLINE	JT	JOINT	SFT	SQUARE FEET
CLU	CONC. MASONRY UNIT	KIT	KITCHEN	SD	STORY DRAIN
COL	COLUMN	LAV	LAVATORY	SHT	SHEET
CONC	CONCRETE	MAS	MASONRY	SH	SIMILAR
CONT	CONTINUOUS	MAX	MAXIMUM	SS	STORY SEWER
CPT	CARPET	MECH	MECHANICAL	SQ	SQUARE
DBL	DOUBLE	MIN	MINIMUM	STD	STANDARD
DET	DETAIL	MLD	HOLDING	STL	STEEL
DN	DOWN	MTL	METAL	STRUC	STRUCTURAL
DN	DOWN	MTD	POUNDED	TEL	TELEPHONE
DN	DOWN	NO	NOT IN CONTRACT	TF	TOP OF
DN	DOWN	NTS	NOT TO SCALE	THK	THICK
DN	DOWN	OC	ON CENTER	TYP	TYPICAL
DN	DOWN	OPNG	OPENING	UNO	UNLESS OTHERWISE NOTED
DN	DOWN	OTO	OUT TO OUT	V	VERTICAL
DN	DOWN	PR	PART	W	WIDE
DN	DOWN	PRT	PARTIAL	WF	W/FL
DN	DOWN	PLY	PLYWOOD	WDR	WINDOW
DN	DOWN	PL	PROPERTY LINE	WD	WOOD
DN	DOWN	PT	PRESERVATIVE TREATED	WH	WATER HEATER
DN	DOWN	PTD	PAINTED	WP	WATERPROOFING

MEP Engineer

Westside Engineering
 5525 Interstate North Parkway
 Suite 200
 Atlanta, GA 30328

Agency with Jurisdiction

City of Fredericksburg Building Services
 715 Princess Anne St., Room L6
 Fredericksburg, VA 22401
 Ph: 540-372-1080

Building Area

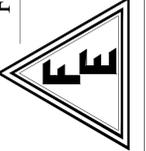
Existing Building Floor Area 20,906 sq ft
 Proposed Building Floor Area 20,906 sq ft

List of Drawings

Sheet #	Description	Latest Rev
A0.0	Cover Sheet	
A1.0	Existing Basement & 1st Floor Plans	
A1.1	Existing 2nd & 3rd Floor Plans	
A1.2	Existing Roof Plan	
A1.3	Basement & 1st Floor Demo Plans	
A1.4	2nd & 3rd Floor Demo Plans	
A1.5	Roof Demo Plan	
A1.6	New Work Basement & 1st Floor Plans	
A1.7	New Work 2nd & 3rd Floor Plans	
A1.8	New Work Roof Plan	
A1.9	Basement & 1st Floor Reflected Ceiling Plans	
A1.10	2nd & 3rd Floor Reflected Ceiling Plans	
A2.0	Existing Front & Rear Elevations	
A2.1	Existing Left & Right Side Elevations	
A2.2	New Work Front & Rear Elevations	
A2.3	New Work Left & Right Side Elevations	
A3.0	Building Section	
A3.1	Partial Building Section & Existing Col Details	
A6.0	Schedules	
M1.0	MEP	
M1.1	Basement & 1st Floor Mechanical Layout	
M1.2	2nd & 3rd Floor Mechanical Layout	

Initials:	MTC
Rev #:	MTC
Issue:	DHR
Date:	2019-10-18

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 Email: rfreeland@freelandengineeringPC.com



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 Fredericksburg, VA 22401

DESIGNED BY: MTC

CHECKED BY: RPF

DATE: 2019-10-18

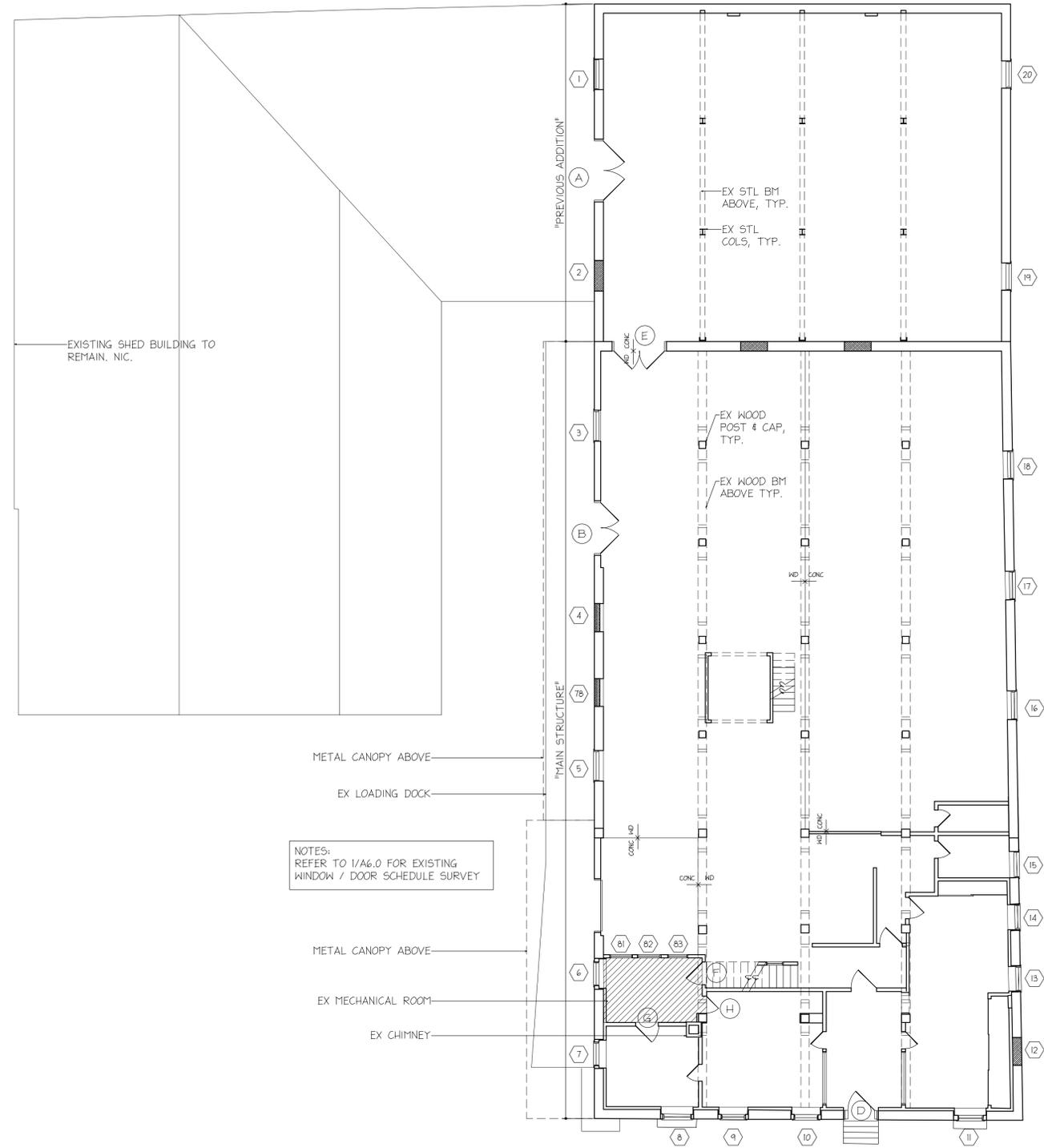
ISSUE: DHR

SHEET: COVER SHEET

SHEET NO: A0.0

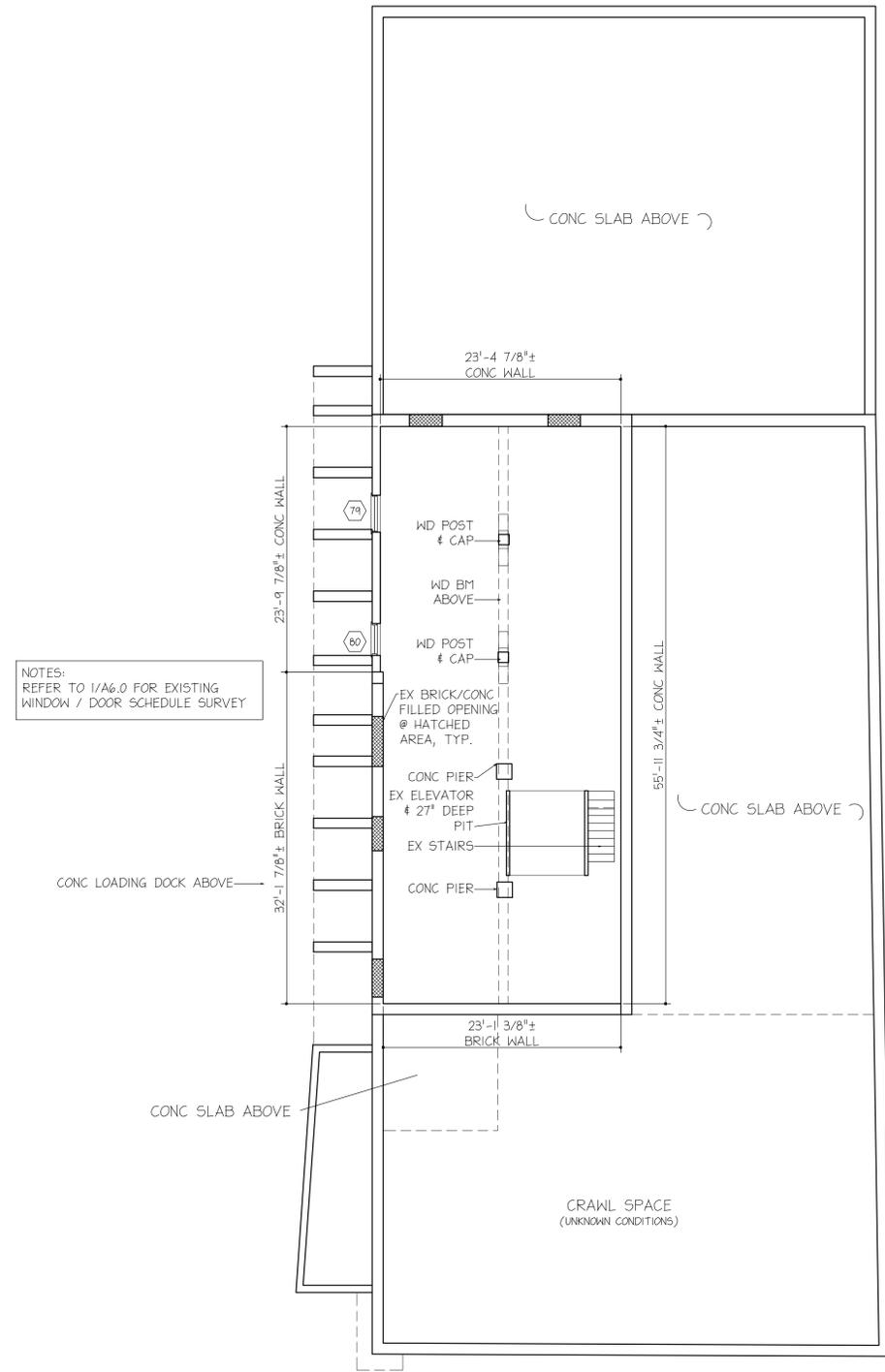
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EXISTING MAIN FLOOR PLAN

1/8"=1'-0" 2



EXISTING BASEMENT / FOUNDATION PLAN

1/8"=1'-0" 1

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Designed By:	MTC
Checked By:	RPF
Project #:	4267
Date:	2019-10-04
Issue:	DHR
Sheet:	

EXISTING BASEMENT & MAIN FLOOR PLANS

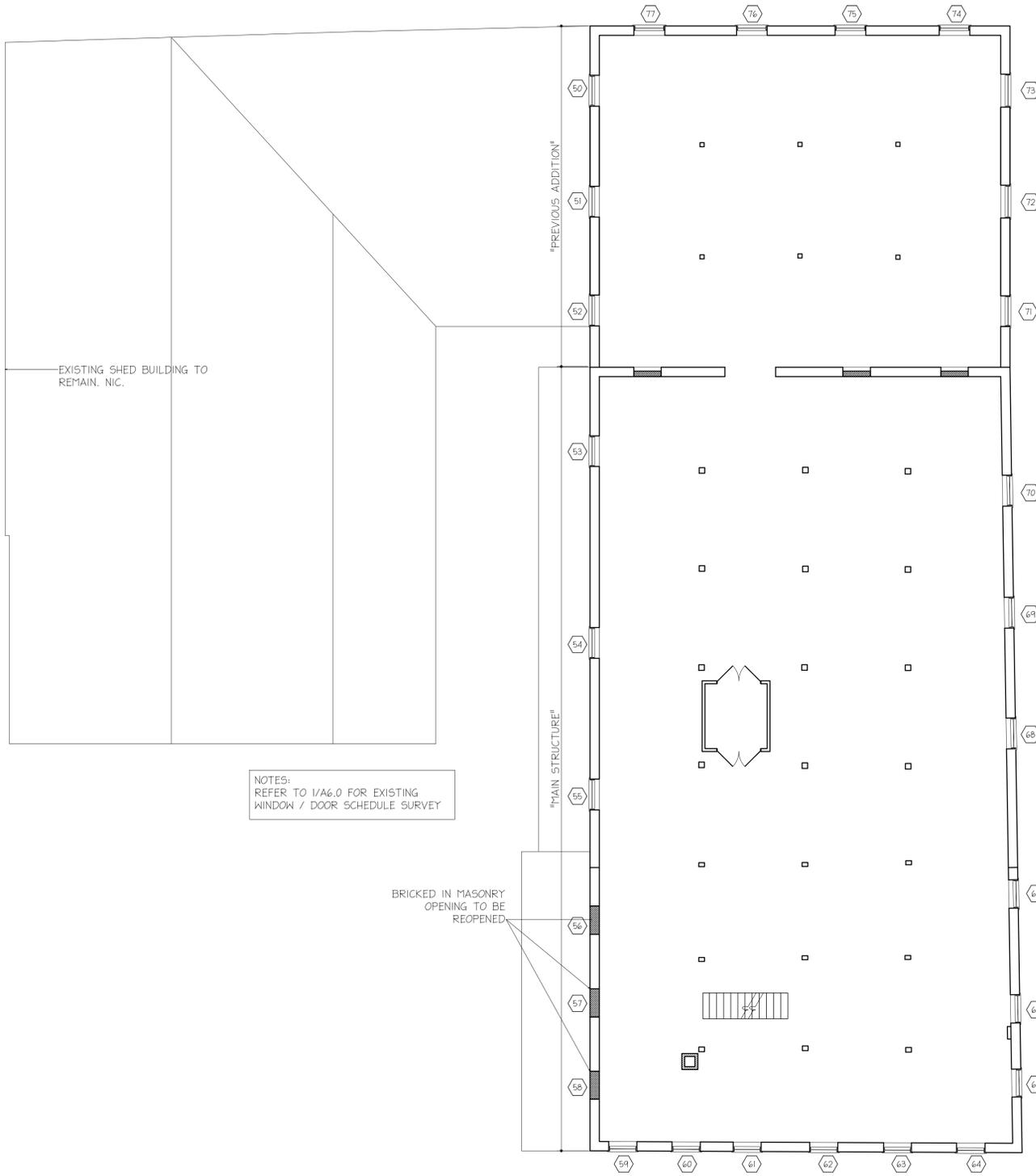
Sheet No: **A1.0**

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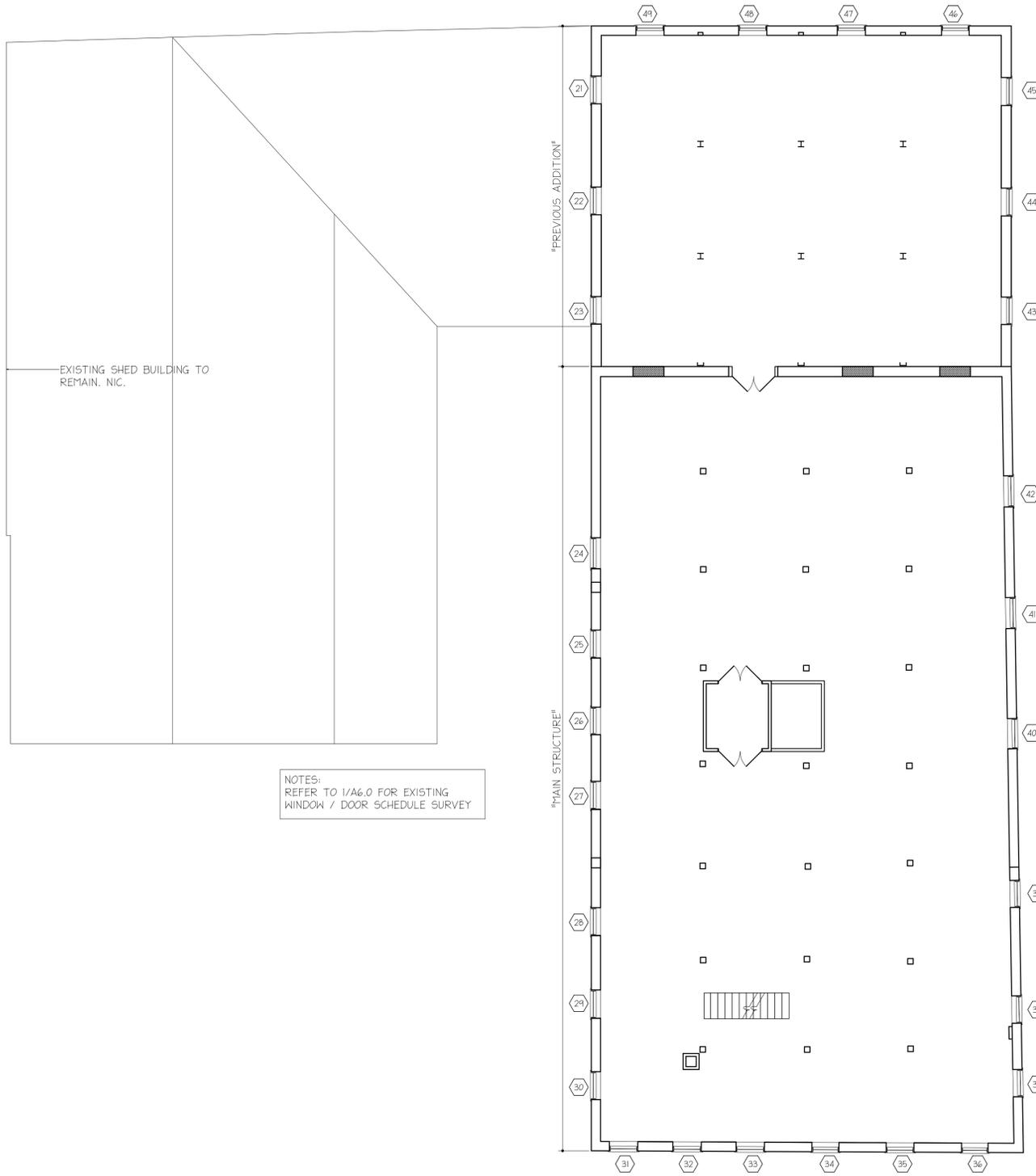
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2018-10-29	PRELIM		MTC
2019-06-22	PRELIM		MTC
2019-07-12	ARB		MTC
2019-09-12	PRELIM		MTC
2019-10-04	DHR		MTC



EXISTING 3RD FLOOR PLAN

1/8"=1'-0"

2



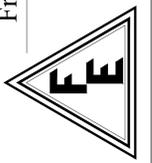
EXISTING 2ND FLOOR PLAN

1/8"=1'-0"

1

Date:	Issue:	Rev #:	Initials:
2018-09-29	MEASURE		MTC
2018-10-29	PRELIM		MTC
2019-05-22	PRELIM		MTC
2019-07-12	ARB		MTC
2019-09-12	PRELIM		MTC
2019-10-04	DHR		MTC

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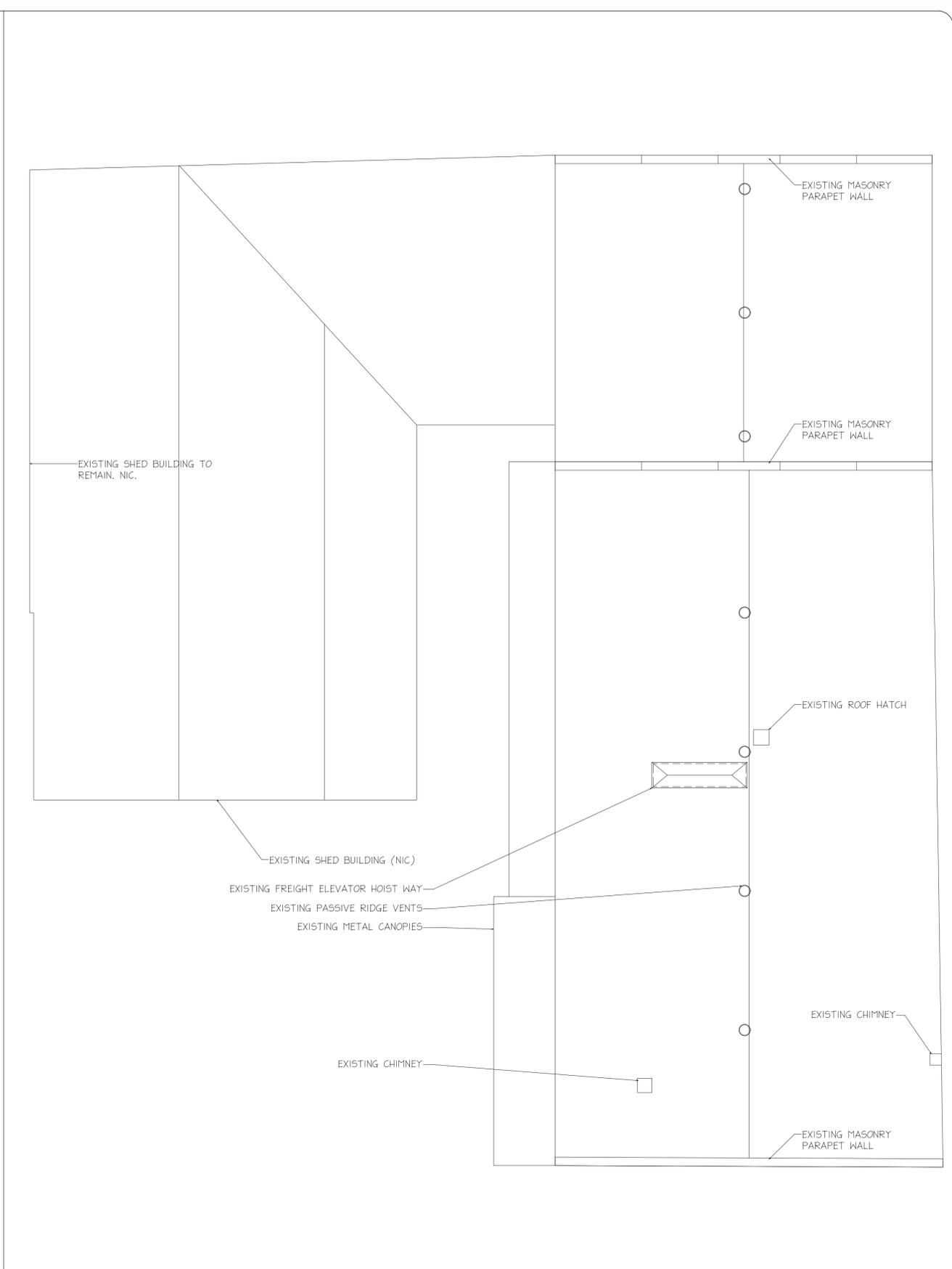


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Project #:	4267
Date:	2019-10-04
Issue:	DHR
Sheet:	EXISTING 2ND & 3RD FLOOR PLANS

Sheet No: **A1.1**



EXISTING ROOF PLAN 1/8"=1'-0" 1

Date:	Issue:	Rev #:	Initials:
2018-09-16	PRELIM		MTC
2019-10-04	DHR		MTC

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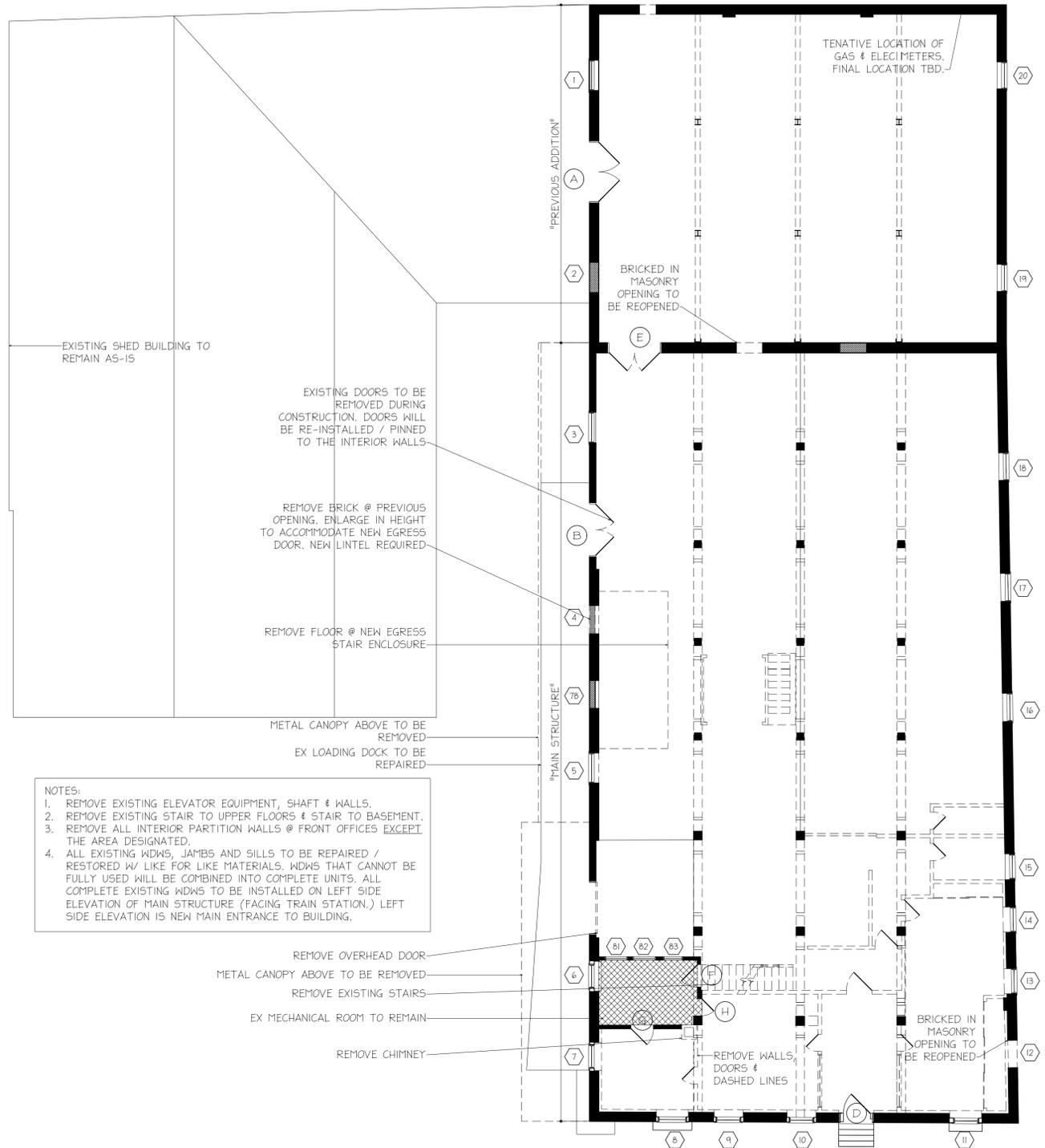
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Project #:	4267
Date:	2019-10-04
Issue:	DHR
Sheet:	

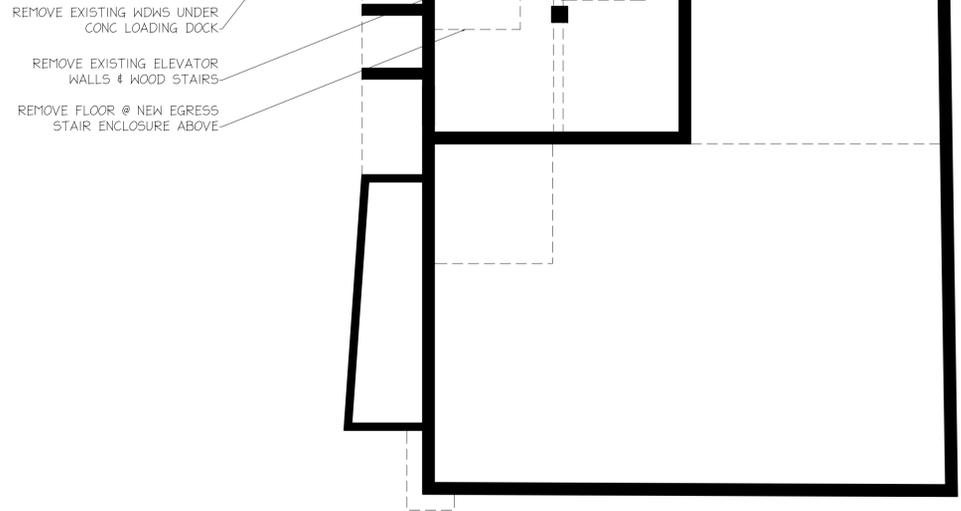
EXISTING ROOF PLAN

Sheet No: **A1.2**



MAIN FLOOR DEMO PLAN

1/8"=1'-0" 2

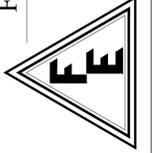


BASEMENT / FOUNDATION DEMO PLAN

1/8"=1'-0" 1

Date:	Issue:	Rev #:	Initials:
2019-08-30	REV/EN		MTC
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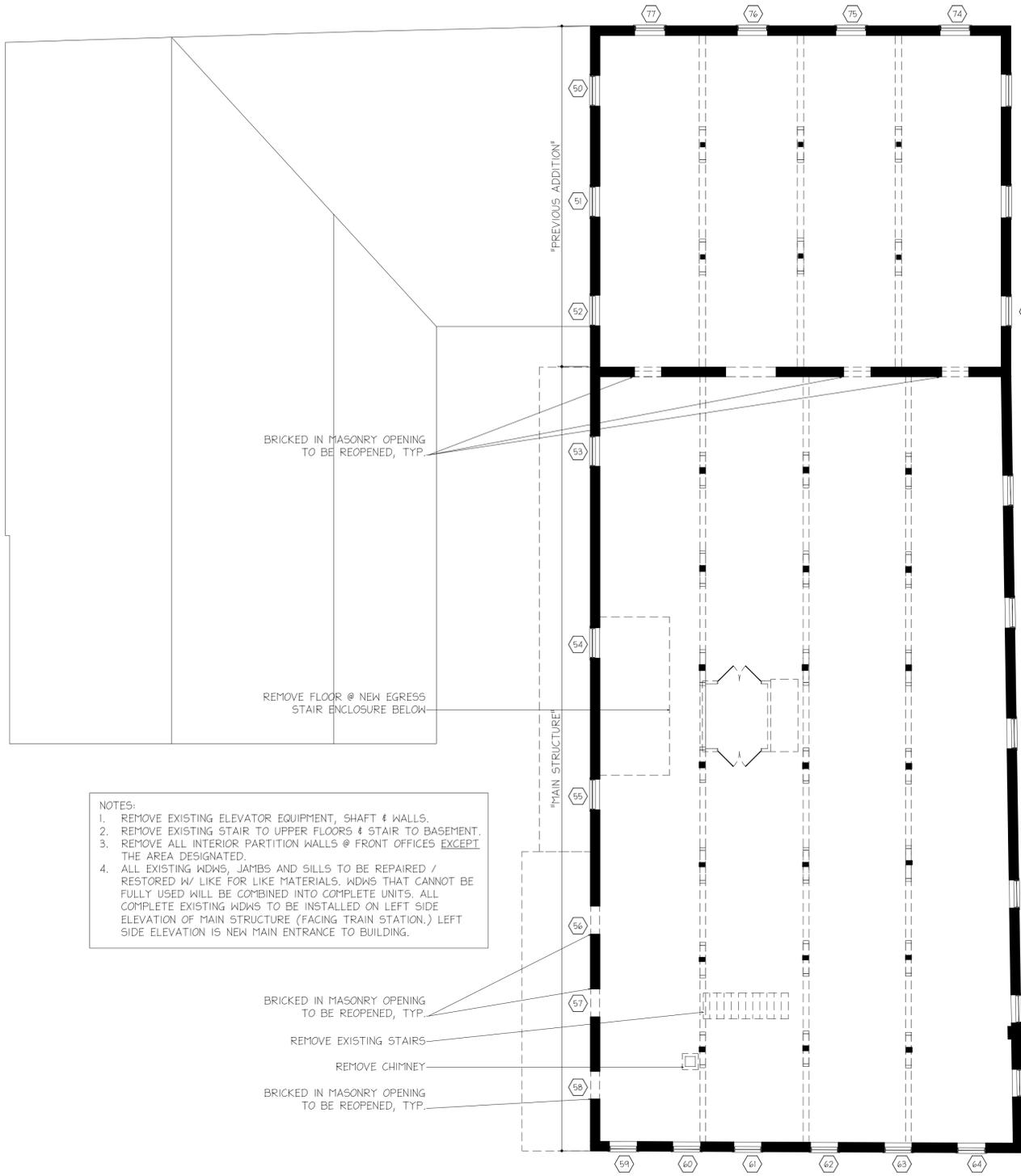
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Project #:	4267
Date:	2019-10-04
Issue:	DHR
Sheet:	

BASEMENT & MAIN FLOOR DEMO PLANS

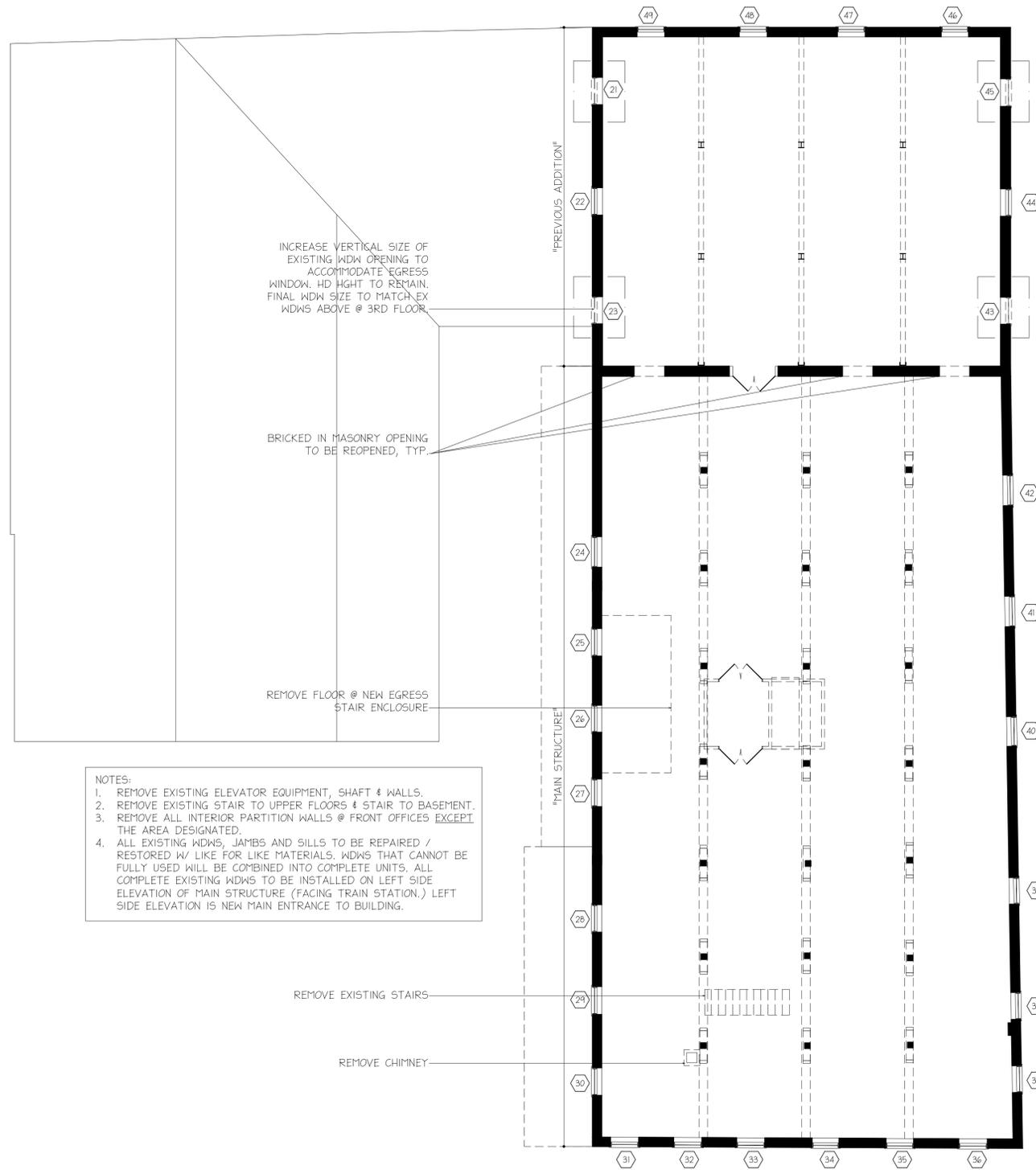
Sheet No: **A1.3**



3RD FLOOR DEMO PLAN

1/8"=1'-0"

2



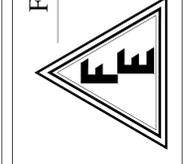
2ND FLOOR DEMO PLAN

1/8"=1'-0"

1

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2019-09-12	PRELIM		MTC
2019-10-04	DHR		MTC

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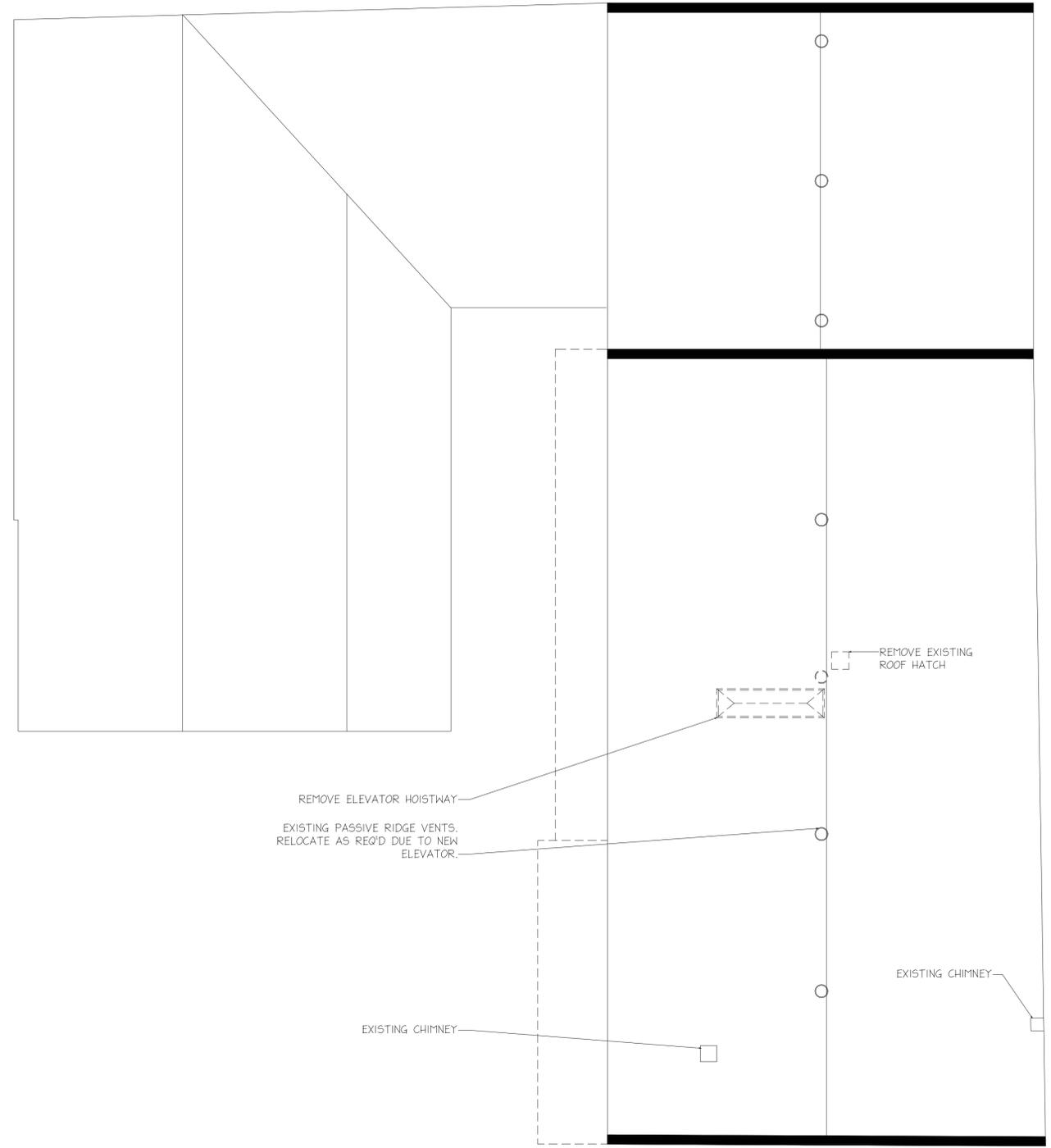
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Sheet:	

2ND & 3RD FLOOR DEMO PLANS

Sheet No: **A1.4**

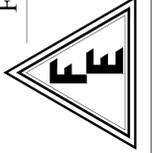


ROOF DEMO PLAN

1/8"=1'-0" 1

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2019-10-04	DHR		MTC

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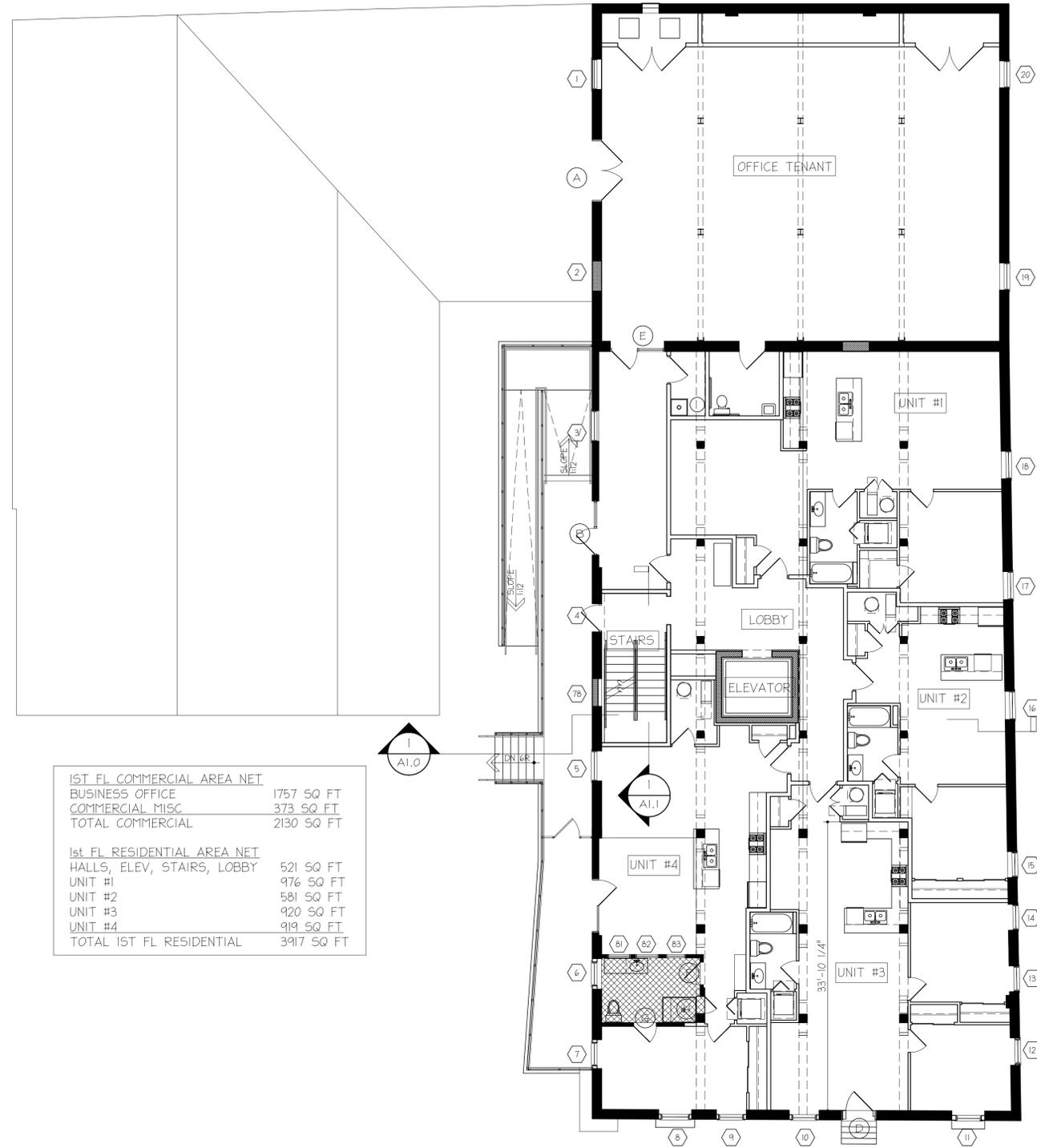
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Sheet:

ROOF DEMO PLAN

Sheet No: **A1.5**

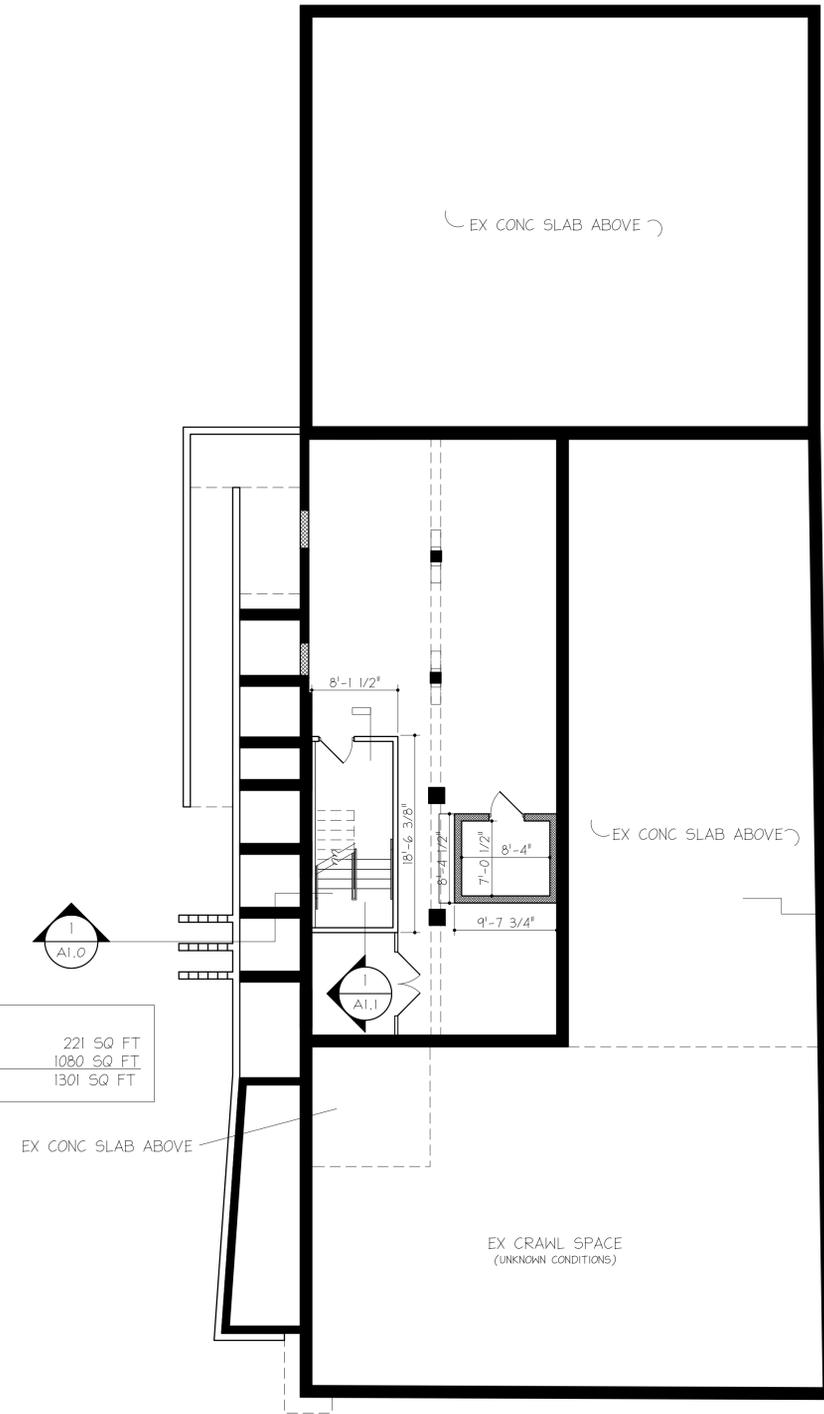


1st FL COMMERCIAL AREA NET	
BUSINESS OFFICE	1757 SQ FT
COMMERCIAL MISC	373 SQ FT
TOTAL COMMERCIAL	2130 SQ FT
1st FL RESIDENTIAL AREA NET	
HALLS, ELEV, STAIRS, LOBBY	521 SQ FT
UNIT #1	976 SQ FT
UNIT #2	581 SQ FT
UNIT #3	920 SQ FT
UNIT #4	919 SQ FT
TOTAL 1st FL RESIDENTIAL	3917 SQ FT

MAIN FLOOR PLAN

1/8"=1'-0" 2

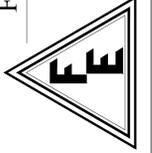
BASEMENT AREA NET	
ELEV, STAIRS	221 SQ FT
STORAGE	1080 SQ FT
TOTAL BASEMENT	1301 SQ FT



BASEMENT / FOUNDATION PLAN

1/8"=1'-0" 1

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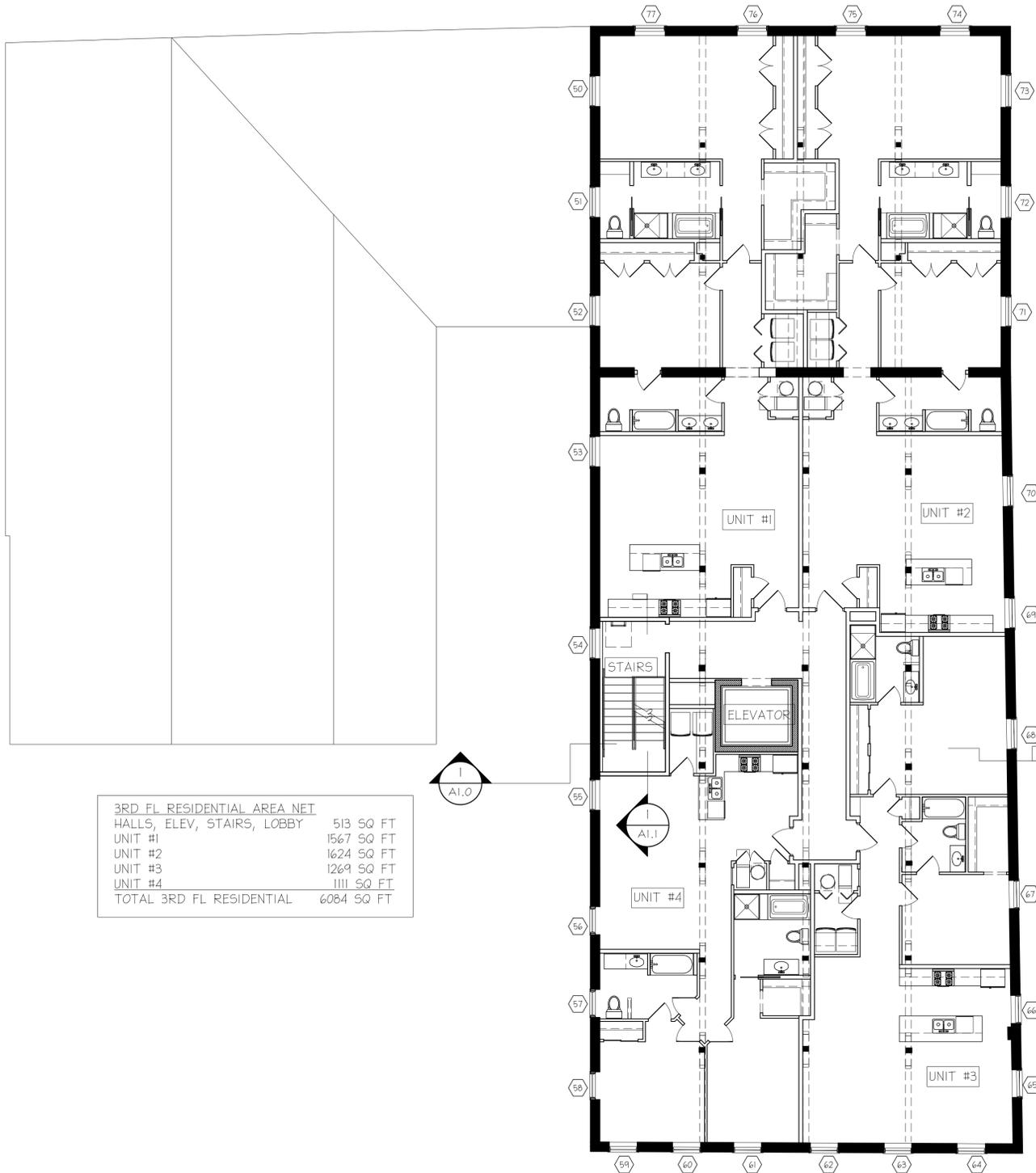
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Sheet:	

BASEMENT & MAIN FLOOR PLANS

Sheet No: **A1.6**

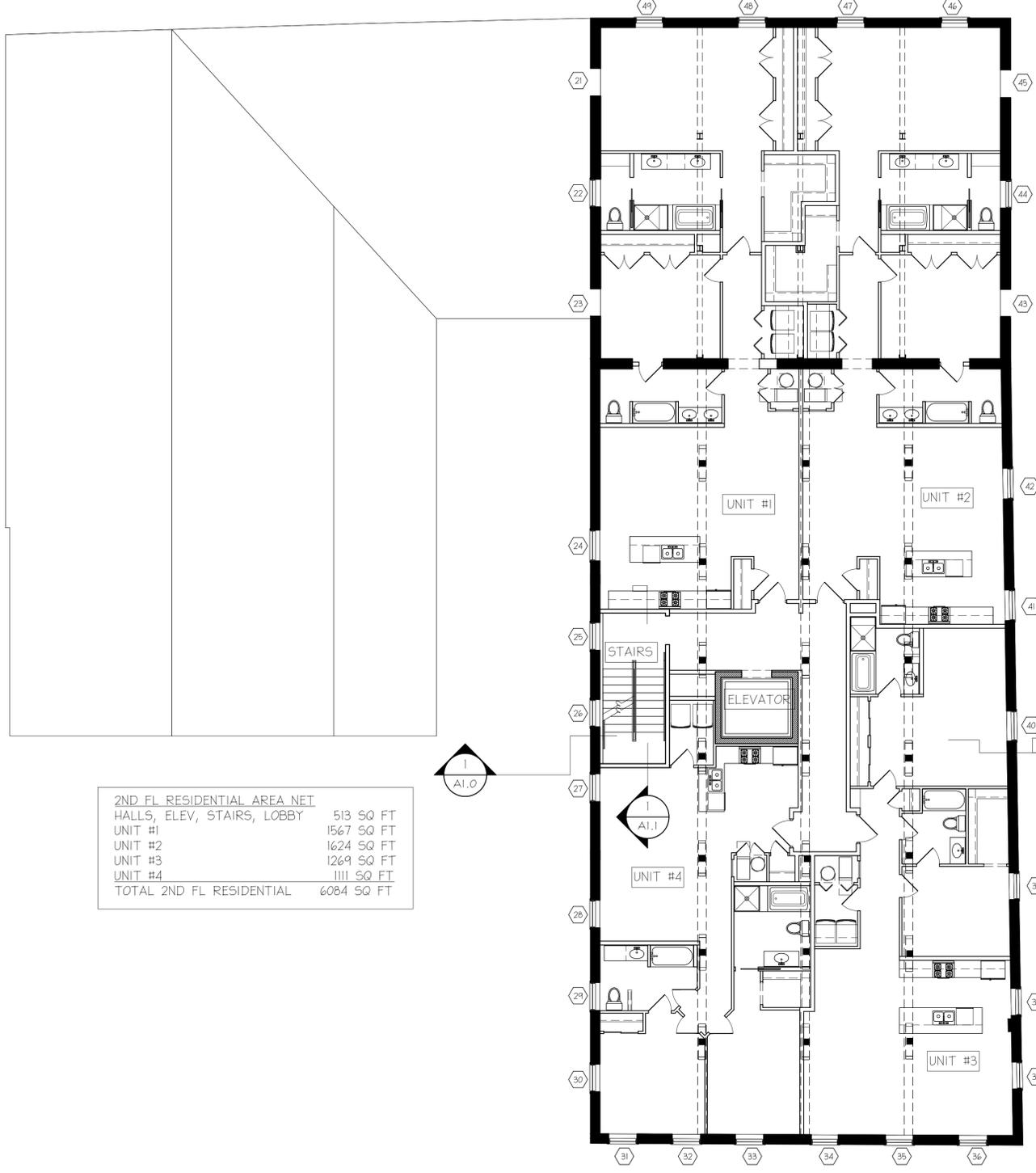
Date:	Issue:	Rev #:	Initials:
2019-06-25	PRELIM		MTC
2019-09-12	PRELIM		MTC
2019-10-04	DHR		MTC



3RD FL RESIDENTIAL AREA NET	
HALLS, ELEV, STAIRS, LOBBY	513 SQ FT
UNIT #1	1567 SQ FT
UNIT #2	1624 SQ FT
UNIT #3	1269 SQ FT
UNIT #4	1111 SQ FT
TOTAL 3RD FL RESIDENTIAL	6084 SQ FT

3RD FLOOR PLAN

1/8"=1'-0" 2



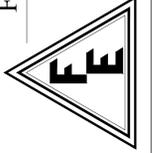
2ND FL RESIDENTIAL AREA NET	
HALLS, ELEV, STAIRS, LOBBY	513 SQ FT
UNIT #1	1567 SQ FT
UNIT #2	1624 SQ FT
UNIT #3	1269 SQ FT
UNIT #4	1111 SQ FT
TOTAL 2ND FL RESIDENTIAL	6084 SQ FT

2ND FLOOR PLAN

1/8"=1'-0" 1

Date:	Issue:	Rev #:	Initials:
2019-05-22	PRELIM		MTC
2019-06-18	PRELIM		MTC
2019-06-25	PRELIM		MTC
2019-09-12	PRELIM		MTC
2019-10-04	DHR		MTC

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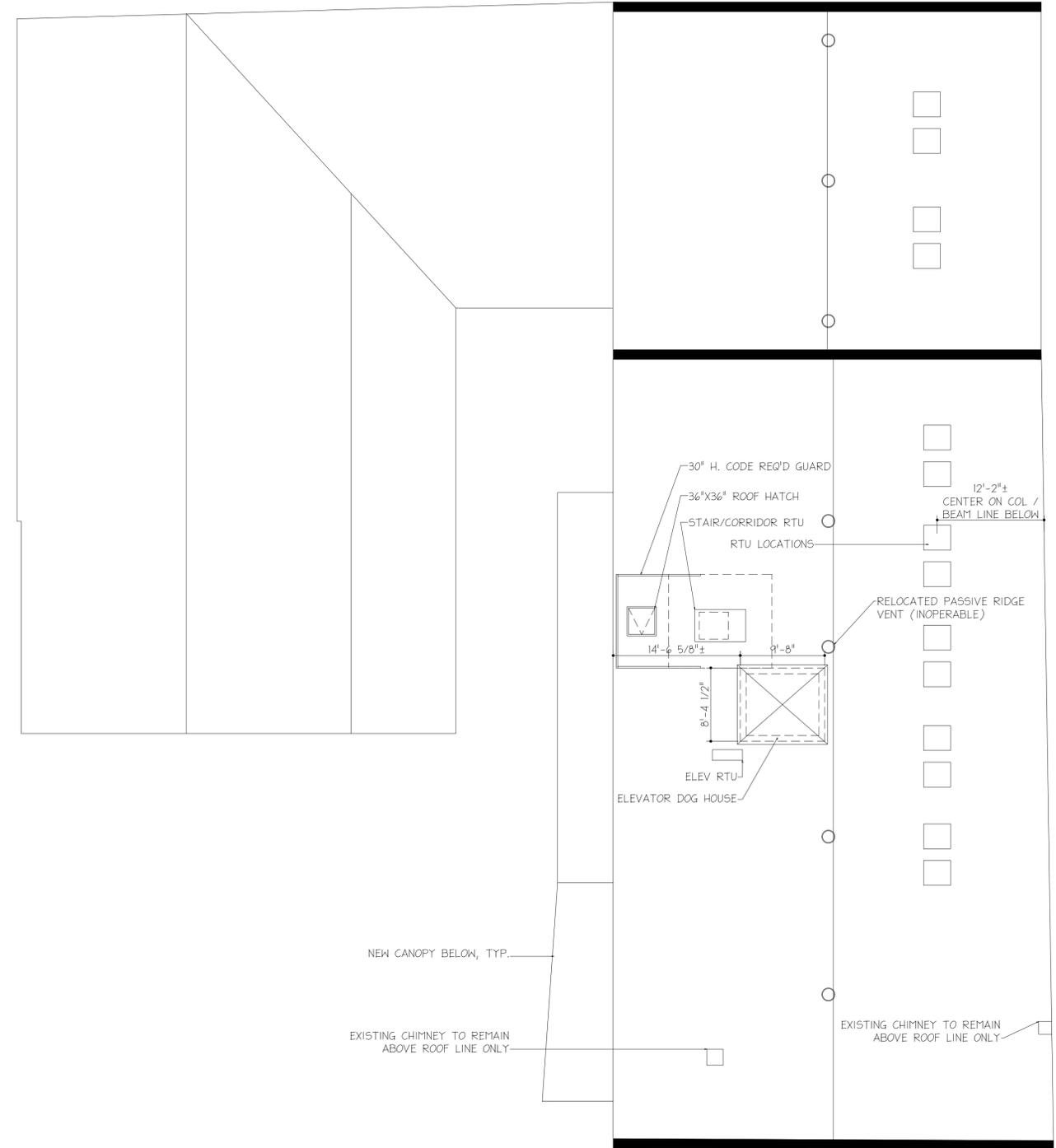
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Sheet:	

2ND & 3RD FLOOR PLANS

Sheet No: **A1.7**



ROOF PLAN

1/8"=1'-0" 1

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2019-10-18	DHR		MTC

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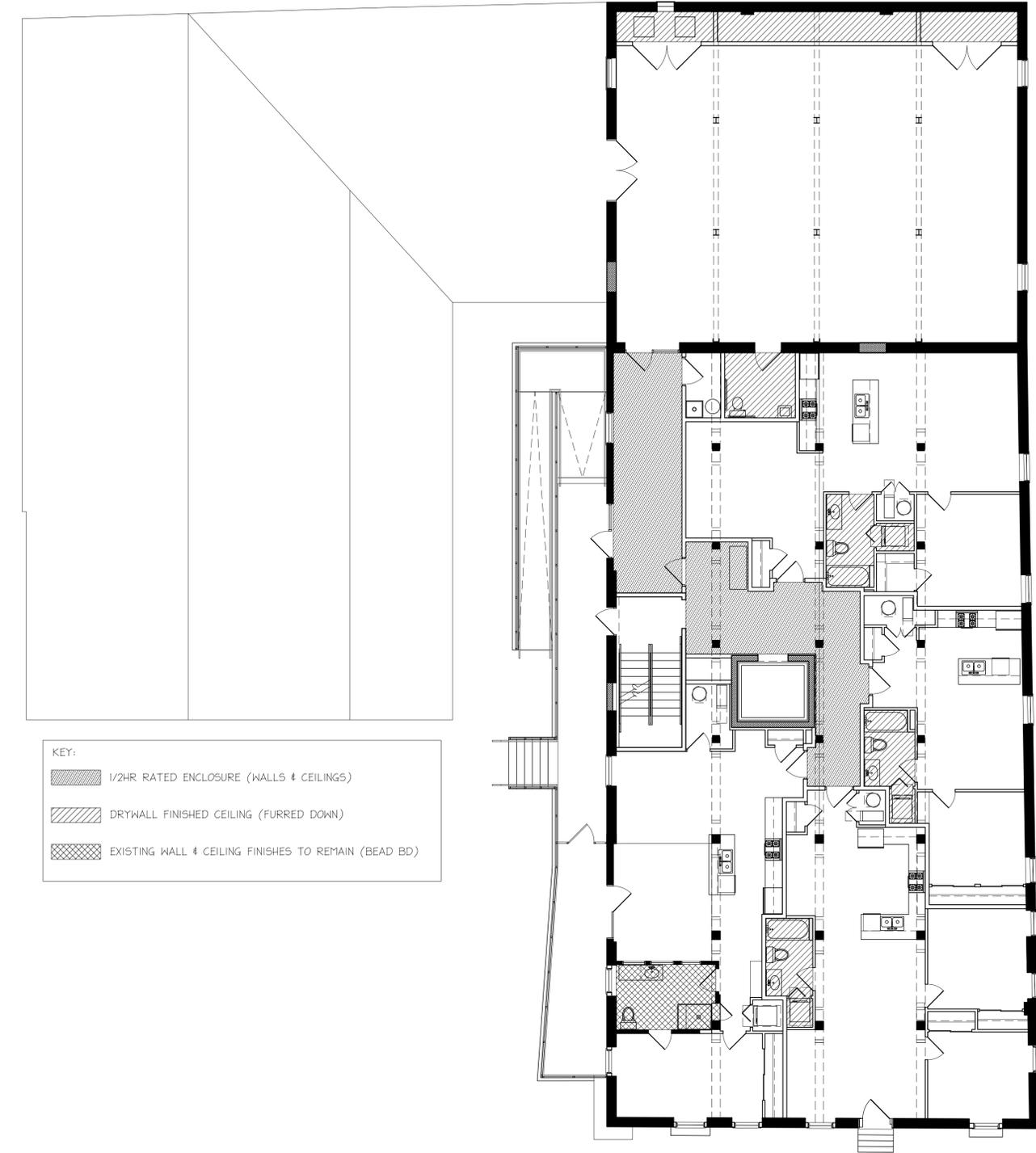
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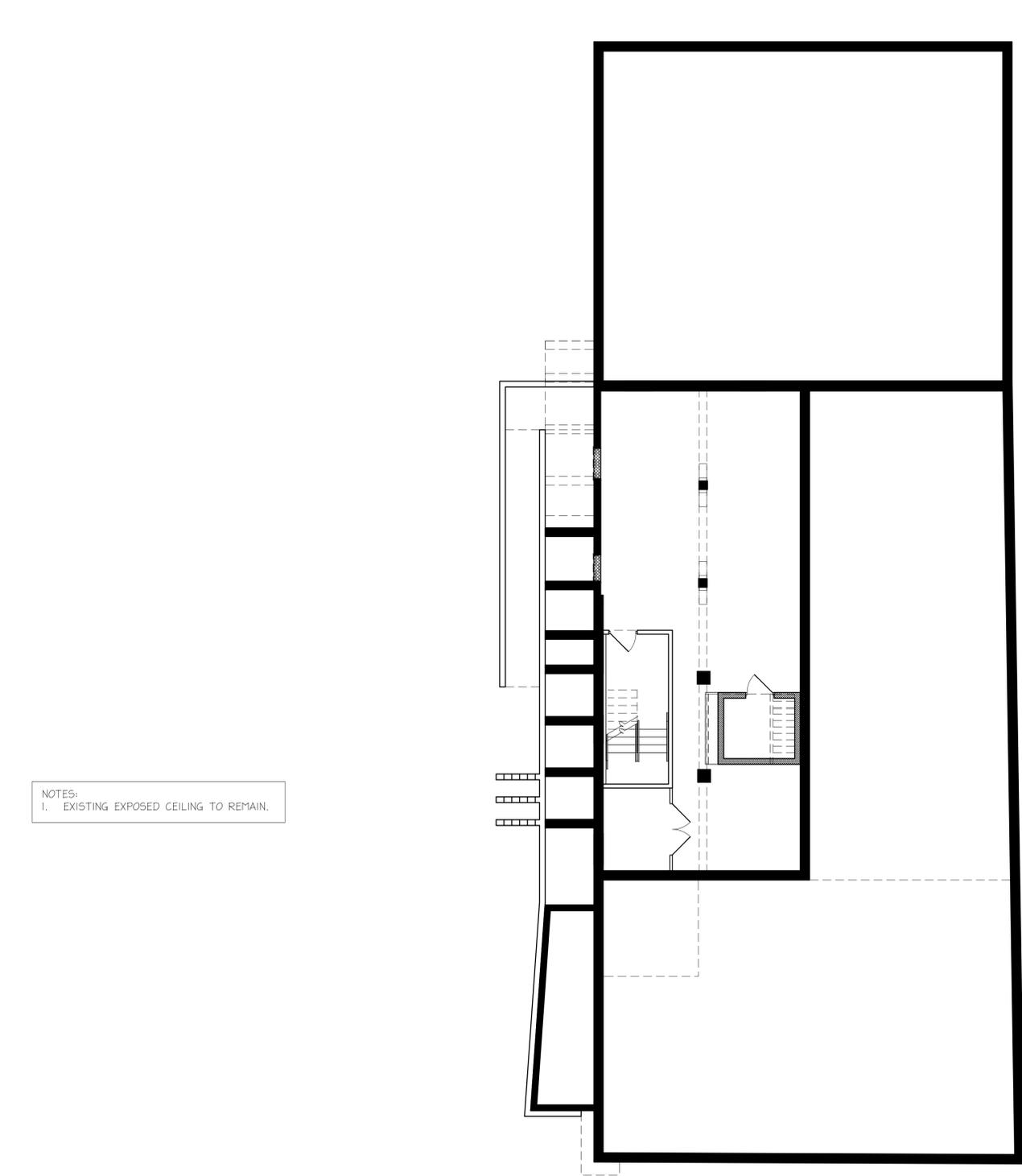
ROOF PLAN

Sheet No: **A1.8**



MAIN FLOOR REFLECTED CEILING PLAN

1/8"=1'-0" 2



BASEMENT REFLECTED CEILING PLAN

1/8"=1'-0" 1

Date:	Issue:	Rev #:	Initials:
2019-10-04	DHR		MTC
2019-10-18	DHR		MTC

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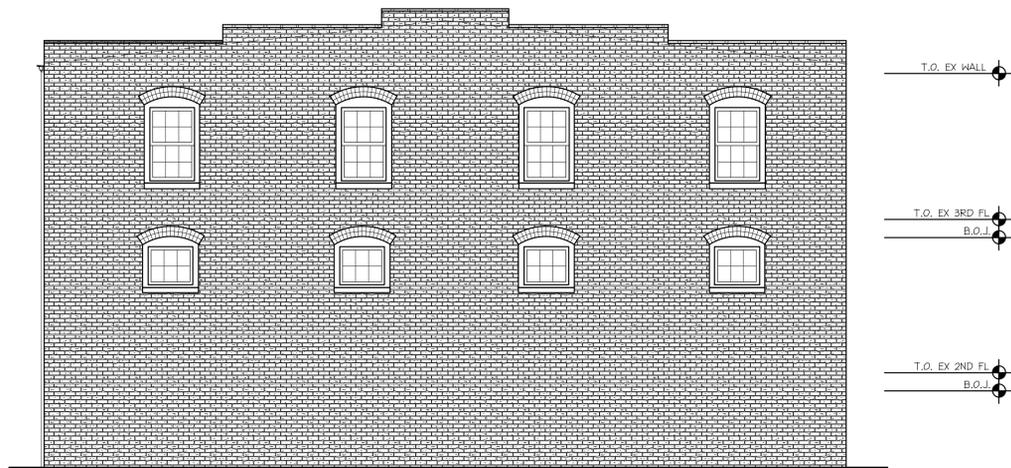
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 Date: 2019-10-18
 Issue: DHR
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BASEMENT & MAIN FLOOR REFLECTED CEILING PLANS

Sheet No: **A1.9**

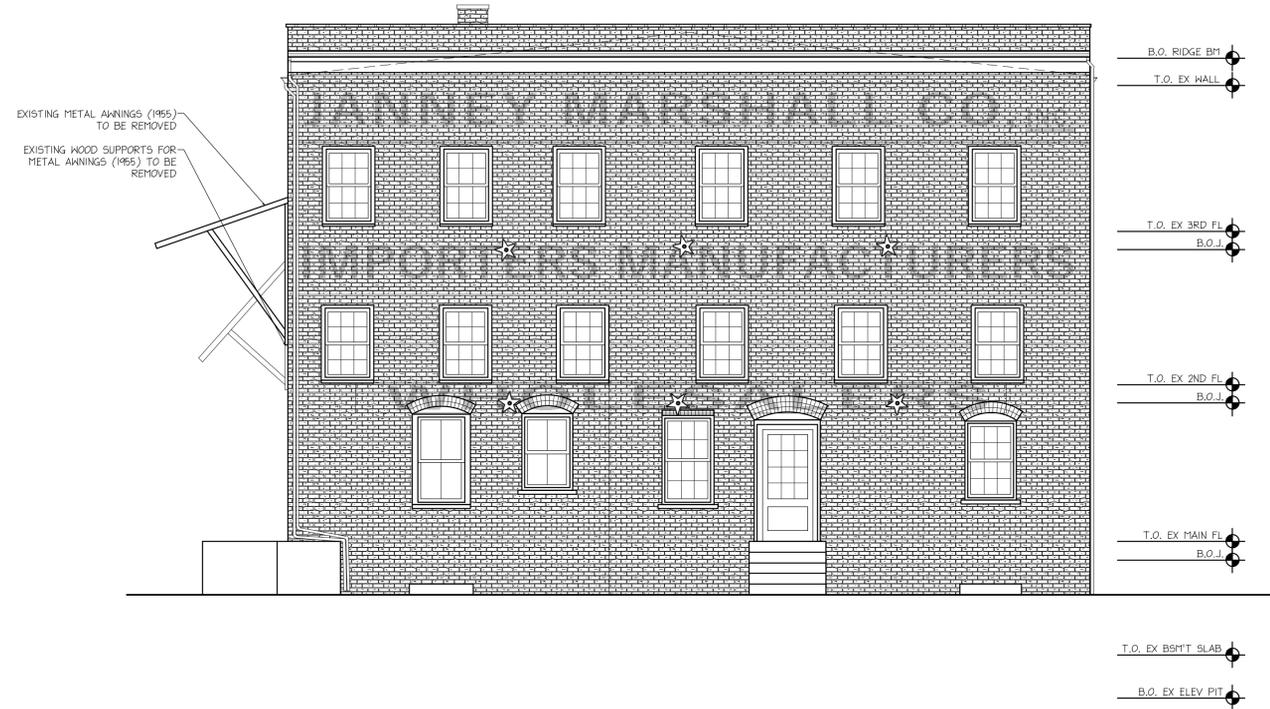


EXISTING REAR ELEVATION

3/16"=1'-0"

2

EXISTING FRONT ELEVATION

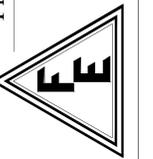


3/16"=1'-0"

1

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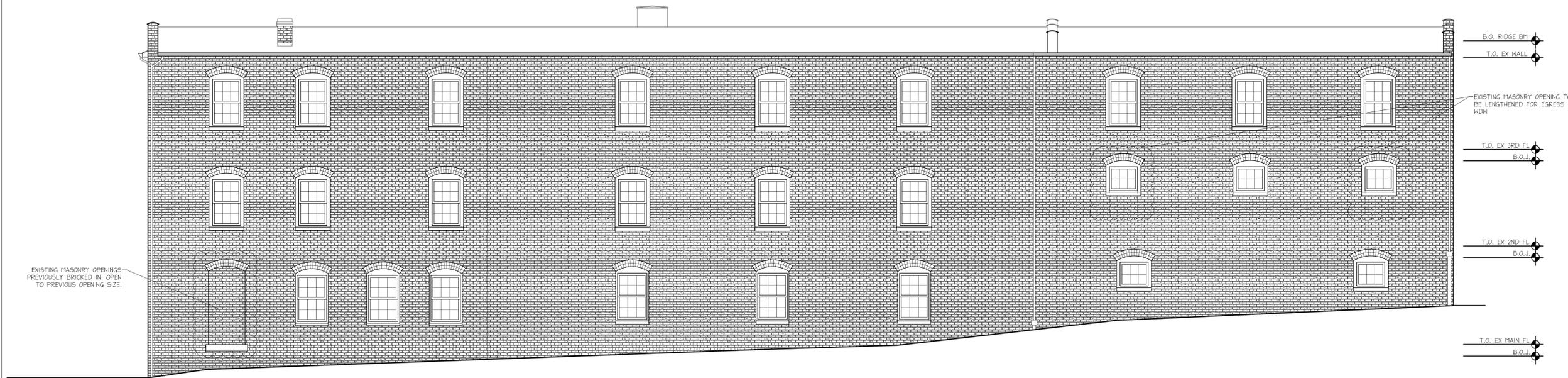
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Date: 2019-10-04
Issue: DHR
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EXISTING FRONT &
REAR ELEVATIONS

Sheet No: **A2.0**

Date:	Issue:	Rev #:	Initials:
2018-10-30	PRELIM		MTC
2019-05-22	PRELIM		MTC
2019-09-10	PRELIM		MTC
2019-10-04	DHR		MTC



EXISTING RIGHT SIDE ELEVATION (FREDERICK STREET)

3/16"=1'-0"

2



EXISTING LEFT SIDE ELEVATION (TRAIN STATION)

3/16"=1'-0"

1

Date:	Issue:	Rev. #:	Initials:
2018-10-30	PRELIM		MTC
2018-05-22	PRELIM		MTC
2019-09-10	PRELIM		MTC
2019-10-04	DHR		MTC

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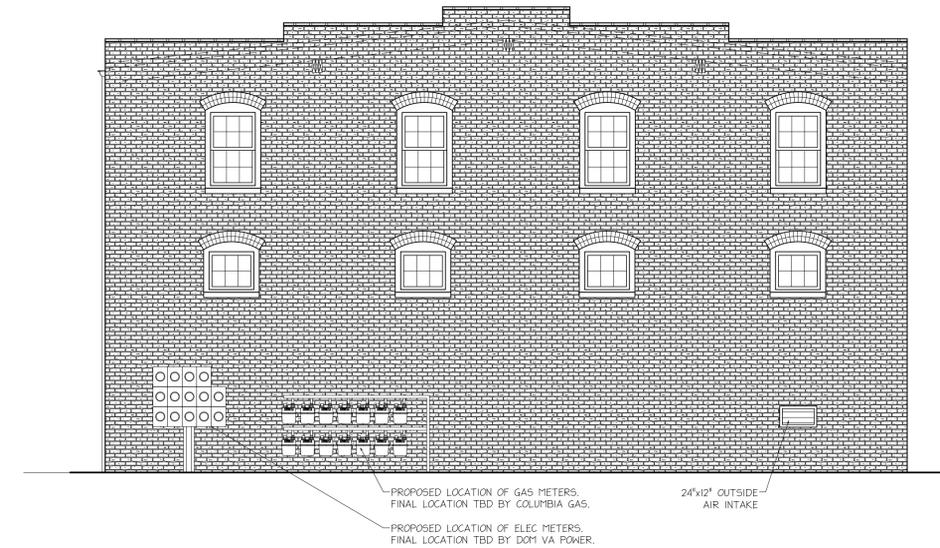
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EXISTING LEFT & RIGHT SIDE ELEVATIONS

Sheet No: **A2.1**

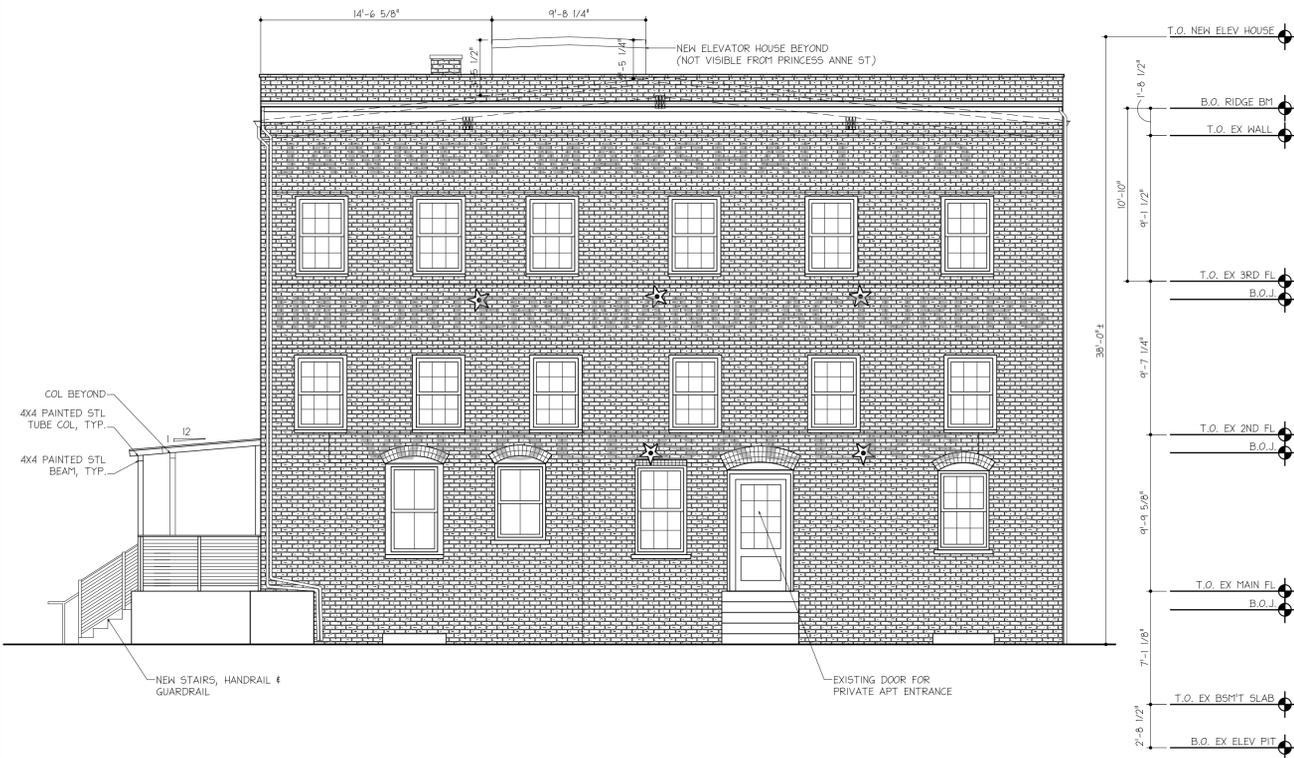


- NOTES:
1. ALL EXISTING PAINTED ADVERTISEMENTS TO BE RESTORED.
 2. ALL EXISTING BRICK TO BE CLEANED BY HAND, RE-POINTED & REPAINTED AS DICTATED BY HISTORIC MASON / PAINTER. BRICK PAINT COLOR TO MATCH THAT OF EXISTING.
 3. ALL EXISTING WDNWS, JAMBS AND SILLIS TO BE REPAIRED / RESTORED W/ LIKE FOR LIKE MATERIALS. WDNWS THAT CANNOT BE FULLY USED WILL BE COMBINED INTO COMPLETE UNITS. ALL COMPLETE EXISTING WDNWS TO BE INSTALLED ON LEFT SIDE ELEVATION OF MAIN STRUCTURE (FACING TRAIN STATION). LEFT SIDE ELEVATION IS NEW MAIN ENTRANCE TO BUILDING.
 4. OWNER DESIRES TO REPLACE ALL FRONT ELEVATION WDNWS (FACING PRINCESS ANNE ST) W/ NEW WOOD CLAD WDNWS. ALL NEW WDNWS AT THIS LOCATION WILL MATCH THE EXISTING WDNW LITE & SIZE CONFIGURATIONS.
 5. REFER TO WINDOW / DOOR SPREADSHEET FOR EXISTING OPENING SPECIFICS.

REAR ELEVATION

3/16"=1'-0"

2



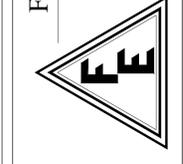
FRONT ELEVATION (PRINCESS ANNE STREET)

3/16"=1'-0"

1

Date:	Issue:	Rev #:	Initials:
2019-03-09	PRELIM		MTC
2019-05-22	PRELIM		MTC
2019-09-10	PRELIM		MTC
2019-10-04	DHR		MTC
2019-10-18	DHR		MTC

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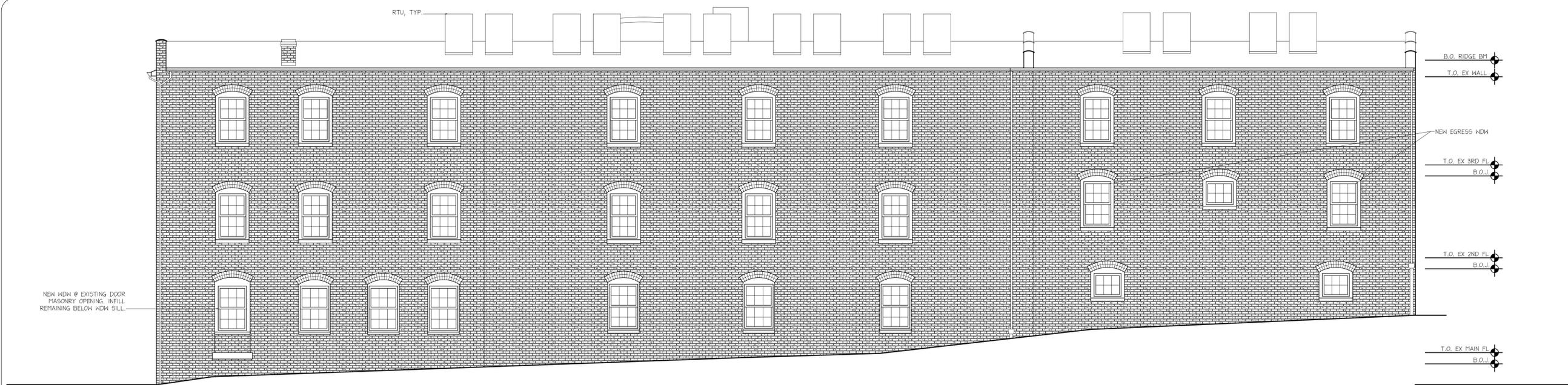
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Issue:	DHR
Sheet:	

FRONT & REAR ELEVATIONS

Sheet No: **A2.2**

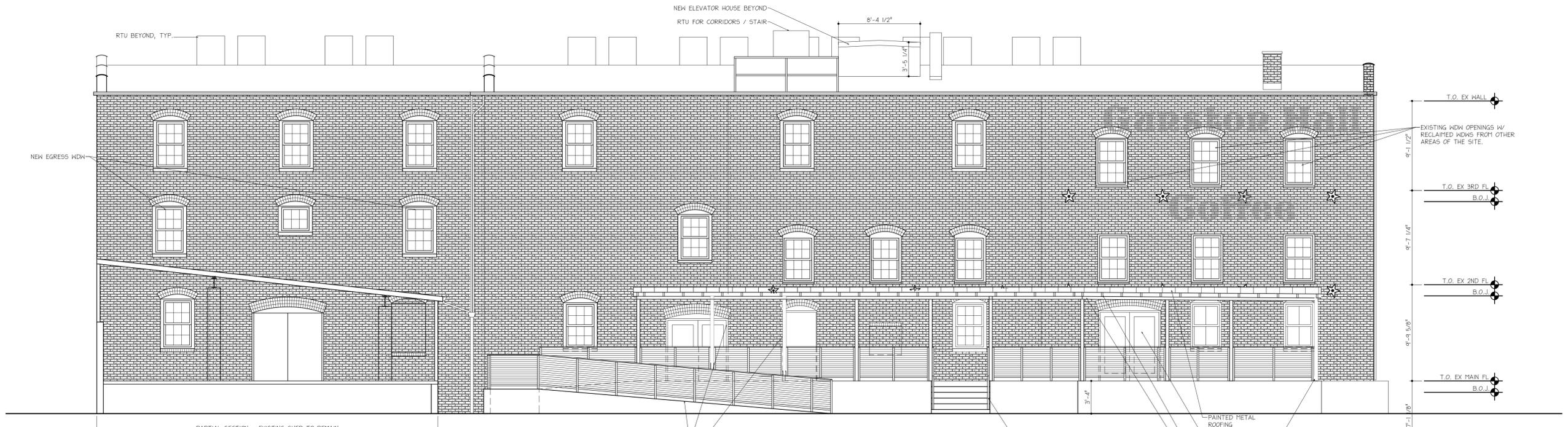


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 3. ALL EXISTING WDWs, JAMBS AND SILLS TO BE REPAIRED / RESTORED W/ LIKE FOR LIKE MATERIALS. WDWs THAT CANNOT BE FULLY USED WILL BE COMBINED INTO COMPLETE UNITS. ALL COMPLETE EXISTING WDWs TO BE INSTALLED ON LEFT SIDE ELEVATION OF MAIN STRUCTURE (FACING TRAIN STATION.) LEFT SIDE ELEVATION IS NEW MAIN ENTRANCE TO BUILDING.
 4. OWNER DESIRES TO REPLACE ALL FRONT ELEVATION WDWs (FACING PRINCESS ANNE ST) W/ NEW WOOD CLAD WINDOWS. ALL NEW WDWs AT THIS LOCATION WILL MATCH THE EXISTING WDW LITE & SIZE CONFIGURATIONS.
 5. REFER TO WINDOW / DOOR SPREADSHEET FOR EXISTING OPENING SPECIFICS.

RIGHT SIDE ELEVATION (FREDERICK STREET)

3/16"=1'-0"

2



- NOTES:
1. ALL EXISTING PAINTED ADVERTISEMENTS TO BE RESTORED.
 2. ALL EXISTING BRICK TO BE CLEANED BY HAND, RE-POINTED & REPAINTED AS DICTATED BY HISTORIC MASON / PAINTER. BRICK PAINT COLOR TO MATCH THAT OF EXISTING.
 3. ALL EXISTING WDWs, JAMBS AND SILLS TO BE REPAIRED / RESTORED W/ LIKE FOR LIKE MATERIALS. WDWs THAT CANNOT BE FULLY USED WILL BE COMBINED INTO COMPLETE UNITS. ALL COMPLETE EXISTING WDWs TO BE INSTALLED ON LEFT SIDE ELEVATION OF MAIN STRUCTURE (FACING TRAIN STATION.) LEFT SIDE ELEVATION IS NEW MAIN ENTRANCE TO BUILDING.
 4. OWNER DESIRES TO REPLACE ALL FRONT ELEVATION WDWs (FACING PRINCESS ANNE ST) W/ NEW WOOD CLAD WINDOWS. ALL NEW WDWs AT THIS LOCATION WILL MATCH THE EXISTING WDW LITE & SIZE CONFIGURATIONS.
 5. REFER TO WINDOW / DOOR SPREADSHEET FOR EXISTING OPENING SPECIFICS.

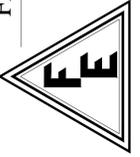
LEFT SIDE ELEVATION - NEW MAIN ENTRANCE (TRAIN STATION)

3/16"=1'-0"

1

Initials:	Rev. #:	Issue:	Date:
MTC		PRELIM	2019-03-09
MTC		PRELIM	2019-05-22
MTC		DHR	2019-09-10
MTC		DHR	2019-10-04
MTC		DHR	2019-10-18

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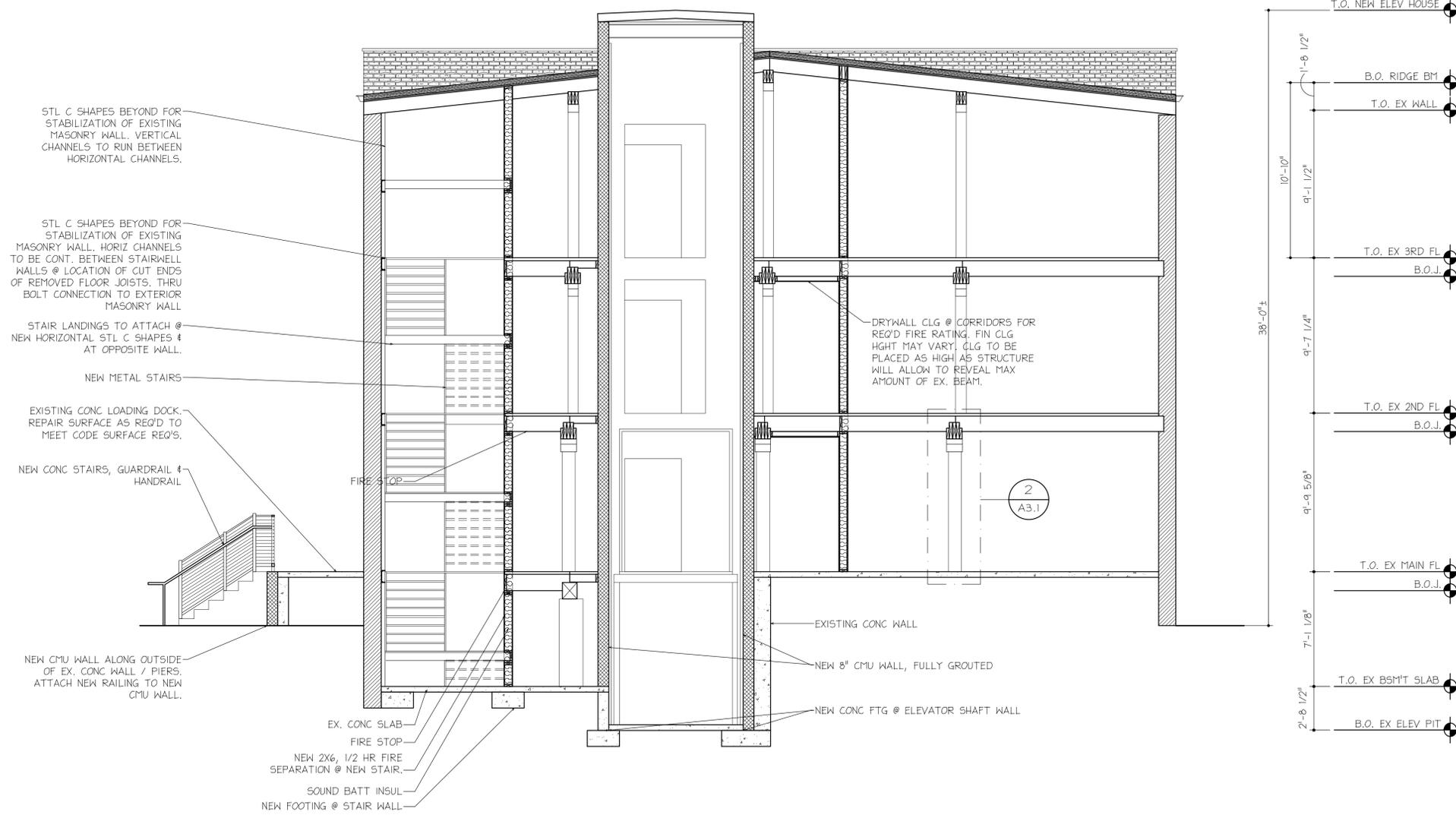
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PROPOSED LEFT & RIGHT SIDE ELEVATIONS

Sheet No: **A2.3**



STL C SHAPES BEYOND FOR STABILIZATION OF EXISTING MASONRY WALL. VERTICAL CHANNELS TO RUN BETWEEN HORIZONTAL CHANNELS.

STL C SHAPES BEYOND FOR STABILIZATION OF EXISTING MASONRY WALL. HORIZ CHANNELS TO BE CONT. BETWEEN STAIRWELL WALLS @ LOCATION OF CUT ENDS OF REMOVED FLOOR JOISTS. THRU BOLT CONNECTION TO EXTERIOR MASONRY WALL.

STAIR LANDINGS TO ATTACH @ NEW HORIZONTAL STL C SHAPES & AT OPPOSITE WALL.

NEW METAL STAIRS

EXISTING CONC LOADING DOCK. REPAIR SURFACE AS REQ'D TO MEET CODE SURFACE REQ'S.

NEW CONC STAIRS, GUARDRAIL & HANDRAIL

NEW CMU WALL ALONG OUTSIDE OF EX. CONC WALL / PIERS. ATTACH NEW RAILING TO NEW CMU WALL.

EX. CONC SLAB
FIRE STOP
NEW 2X6, 1/2 HR FIRE SEPARATION @ NEW STAIR.
SOUND BATT INSUL
NEW FOOTING @ STAIR WALL

DRYWALL CLG @ CORRIDORS FOR REQ'D FIRE RATING. FIN CLG HGT MAY VARY. CLG TO BE PLACED AS HIGH AS STRUCTURE WILL ALLOW TO REVEAL MAX AMOUNT OF EX. BEAM.

BUILDING SECTION

1/4"=1'-0" 1

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2019-10-18	DHR		MTC

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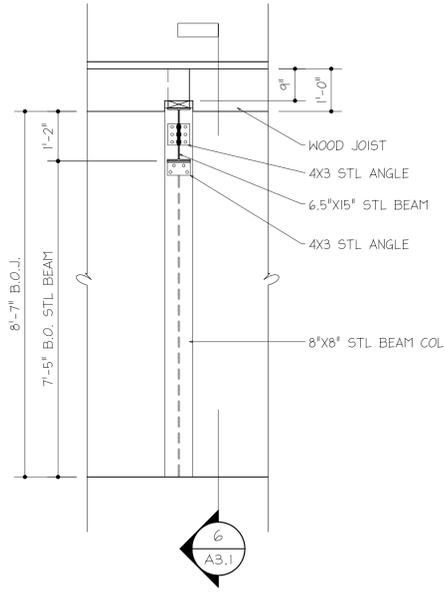


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BUILDING SECTION

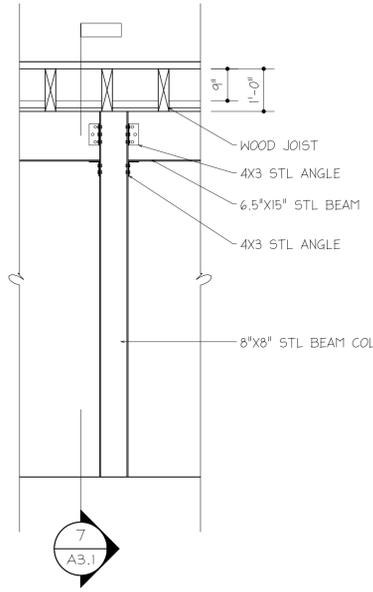
Sheet No: **A3.0**



DETAIL @ EX. STL POSTS / BEAM

1/2"=1'-0"

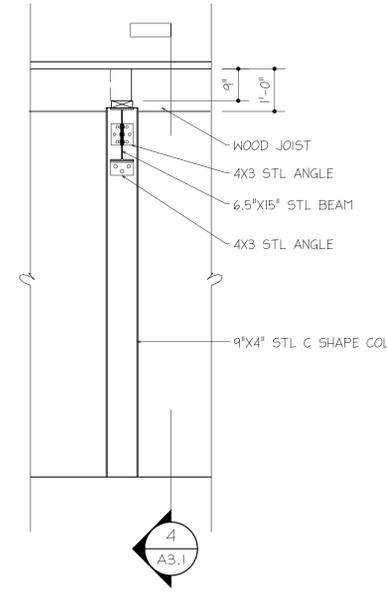
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DETAIL @ EX. STL POSTS / BEAM

1/2"=1'-0"

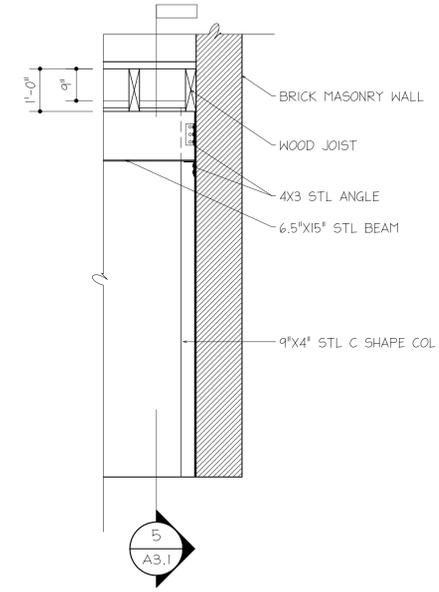
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DETAIL @ EX. STL POSTS / BEAM @ WALL

1/2"=1'-0"

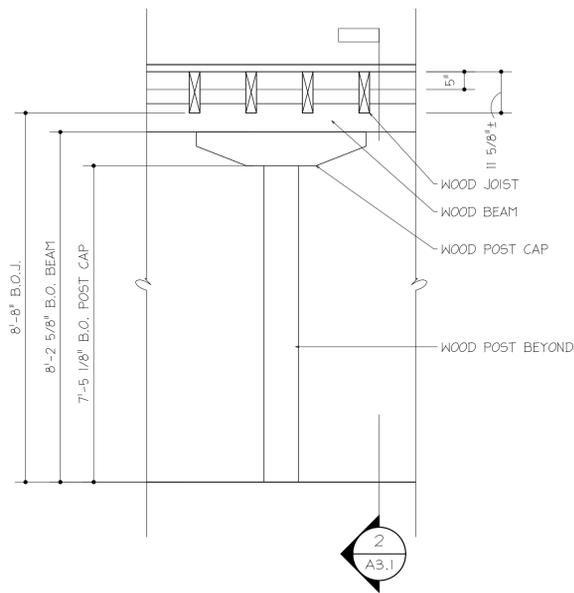
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DETAIL @ EX. STL POSTS / BEAM @ WALL

1/2"=1'-0"

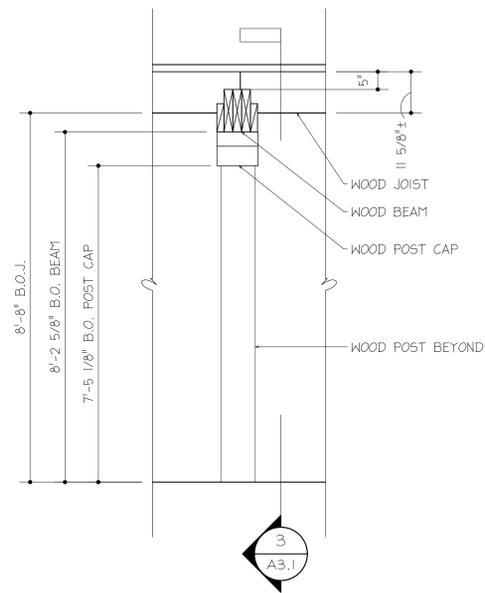
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DETAIL @ EX. WOOD POSTS / BEAM

1/2"=1'-0"

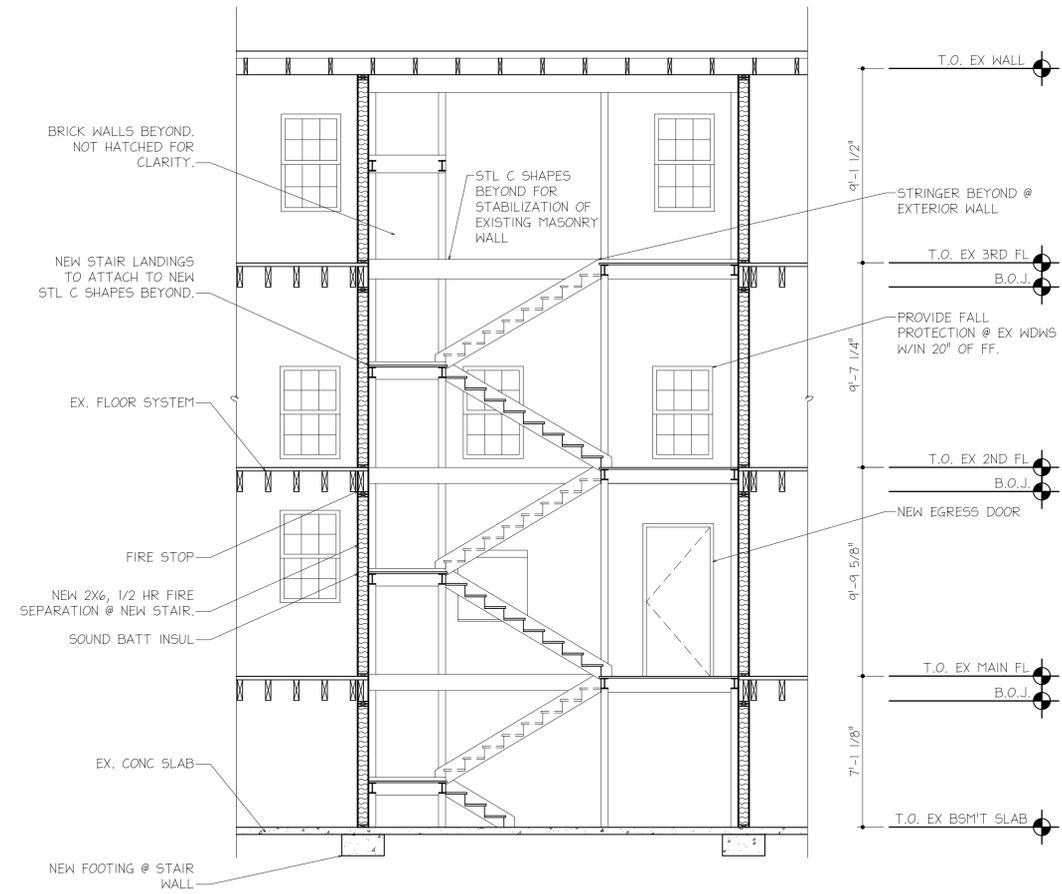
3



DETAIL @ EX. WOOD POSTS / BEAM

1/2"=1'-0"

2



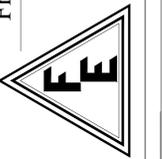
BUILDING SECTION

1/4"=1'-0"

1

Date:	Issue:	Rev #:	Initials:
2019-09-10	PRELIM		MTC
2019-10-04	DHR		MTC
2019-10-18	DHR		MTC

Freeland Engineering, P.C.
 10814 Courthouse Rd
 Fredericksburg, VA 22408
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JBB
Janney Marshall Building
 401 Princess Anne Street
 Fredericksburg, VA 22401

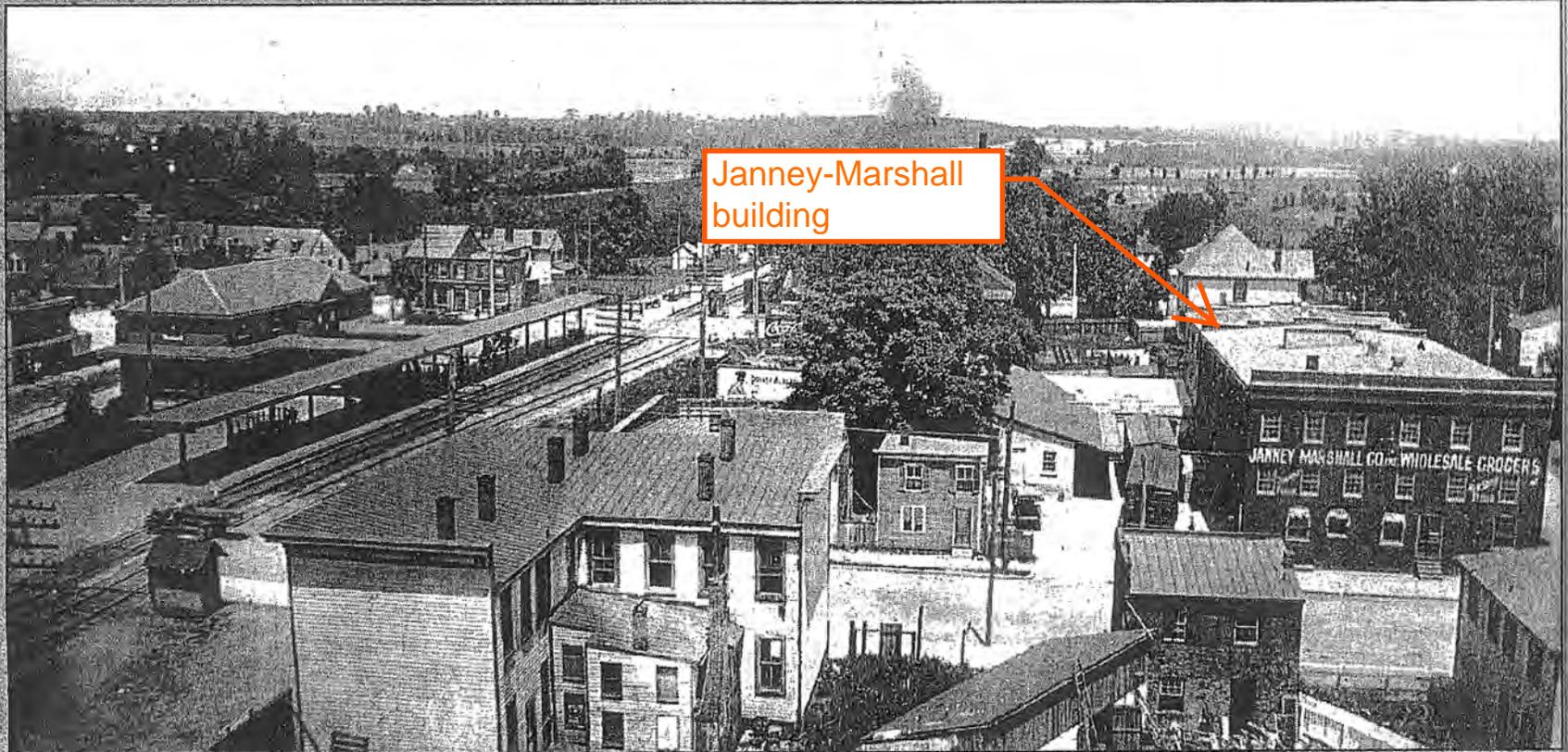
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Drawn By:	MTC
Designed By:	MTC
Checked By:	RPF
Project #:	4267
Date:	2019-10-18
Issue:	DHR
Sheet:	

PARTIAL BUILDING SECTION @ STAIRS & DETAILS

Sheet No: **A3.1**

1922 photo

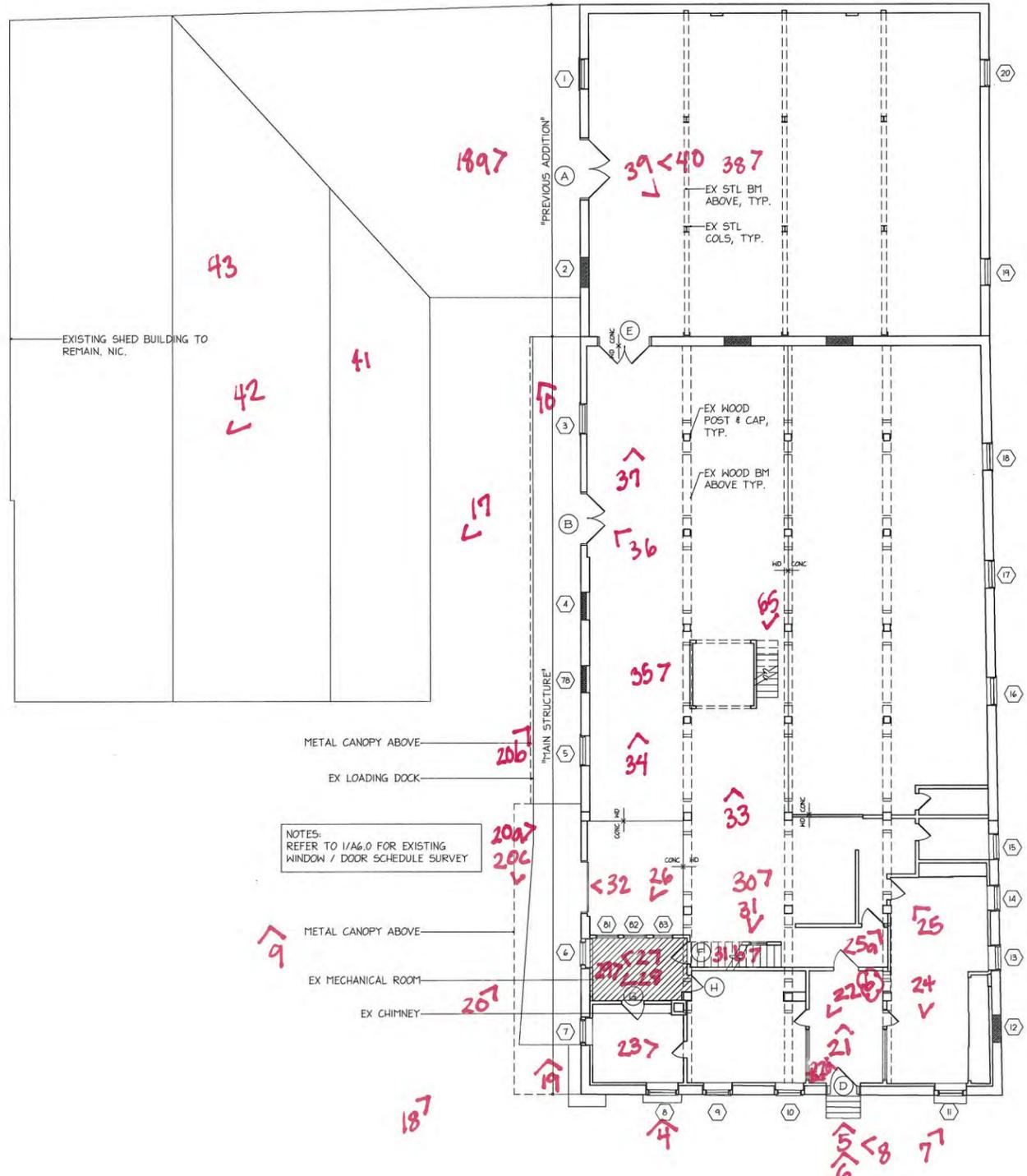


Janney-Marshall
building

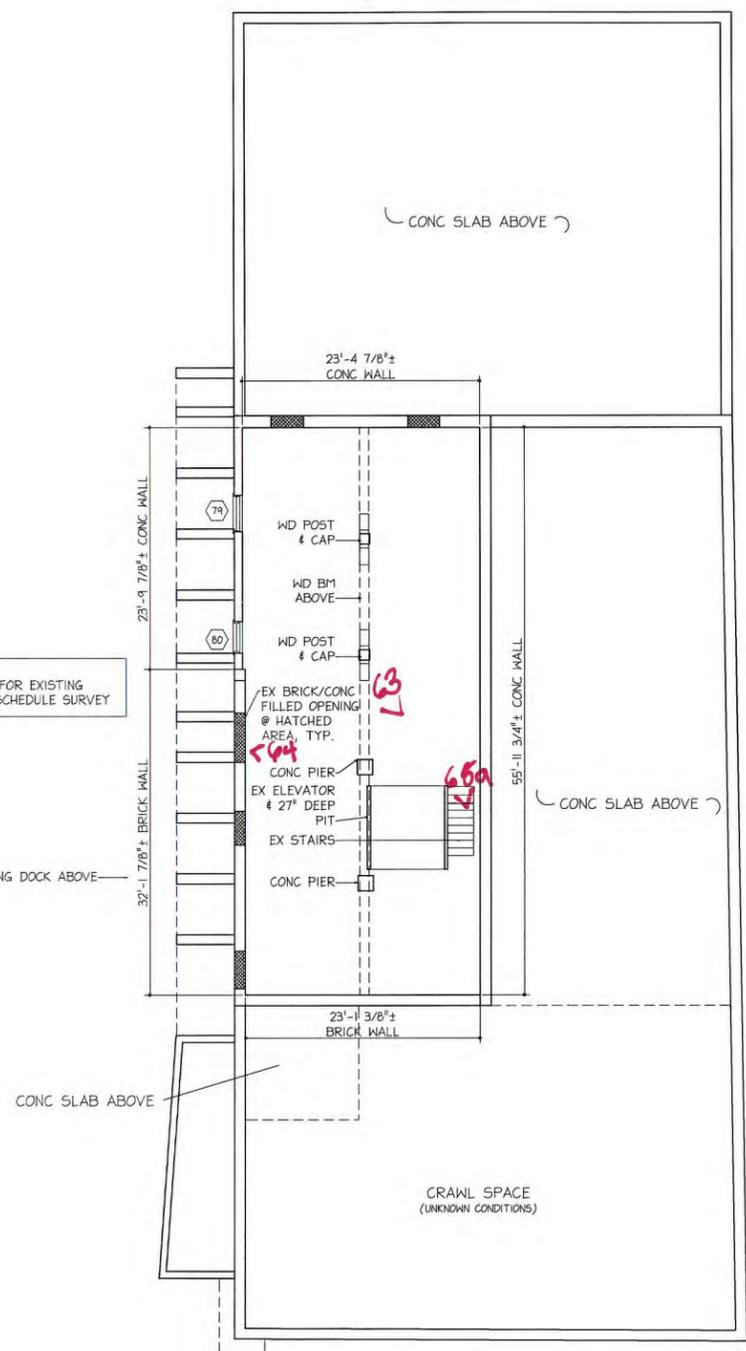
Before and after

Nearly three-quarters of a century separate these two photos of the same scene on Princess Anne Street in Fredericksburg below the railroad tracks. The photo above, dated 1922, was snapped by Willard Raines from the Young-Sweetser grain elevator, later known as the Purina Tower. It was submitted to Flashback by his son, Jimmy Raines. This photo was taken before the train tracks were elevated. The recent photo, below, was taken from the same tower by Joe Wilson, owner of Perma Treat Exterminating Co.





NOTES:
REFER TO 1/A&O FOR EXISTING WINDOW / DOOR SCHEDULE SURVEY



Date:	Issue:	Rev #:	Initials:
2018-08-29	MEASURE		HTC
2018-10-29	PRELIM		HTC
2019-05-22	PRELIM		HTC
2019-07-12	ARB		HTC
2019-09-12	PRELIM		HTC
2019-10-04	DHR		HTC

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Drawn By:	HTC
Designed By:	HTC
Checked By:	RPF
Project #:	4267
Date:	2019-10-04
Issue:	DHR
Sheet:	
EXISTING BASEMENT & MAIN FLOOR PLANS	
Sheet No:	A1.0

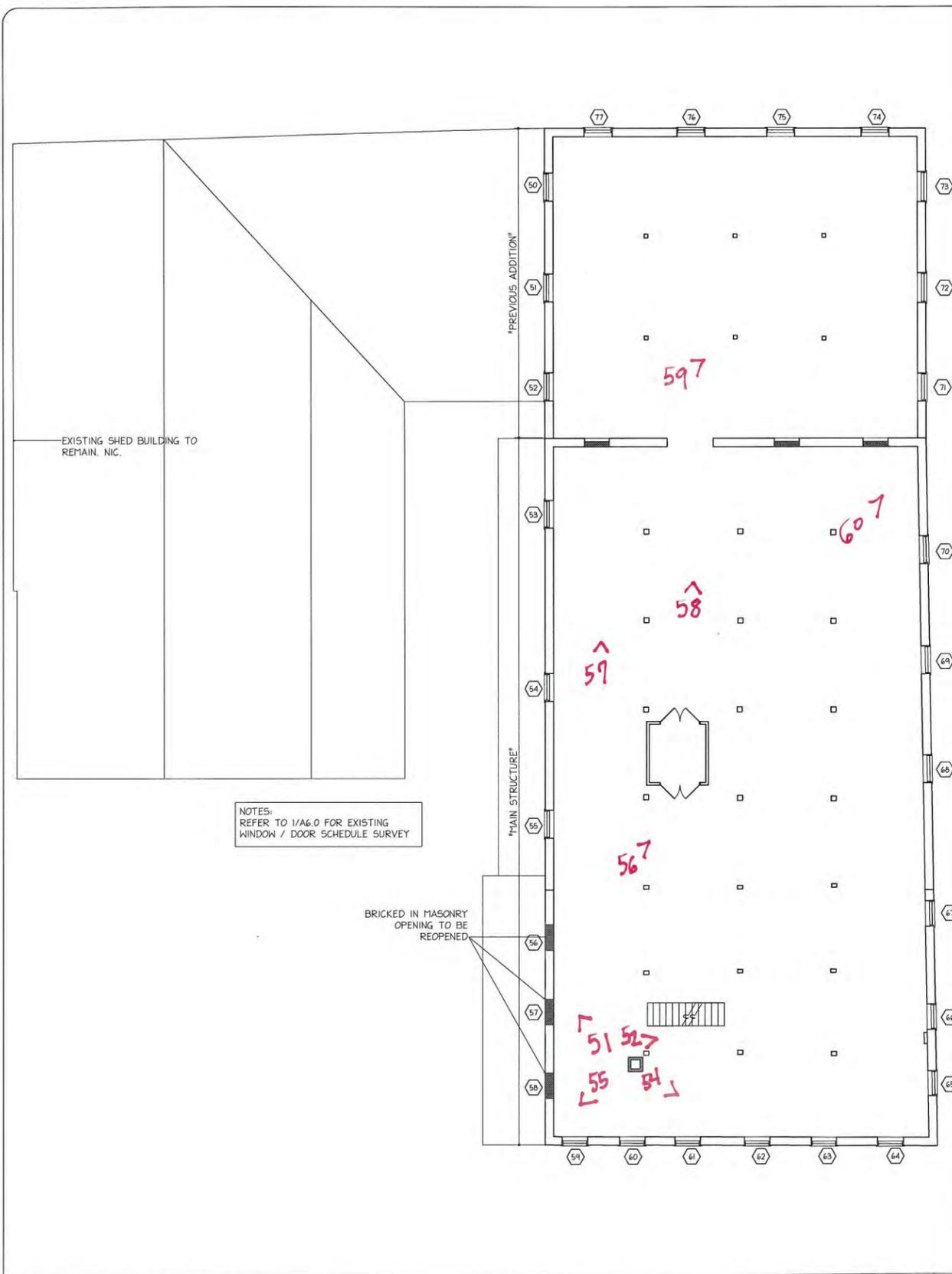
*Janney - Marshall Co.
 401 Princess Anne St.
 Fredericksburg, VA
 part 2 photo key*

*NPS# 39572
 DHR# 2018-202*

27

3

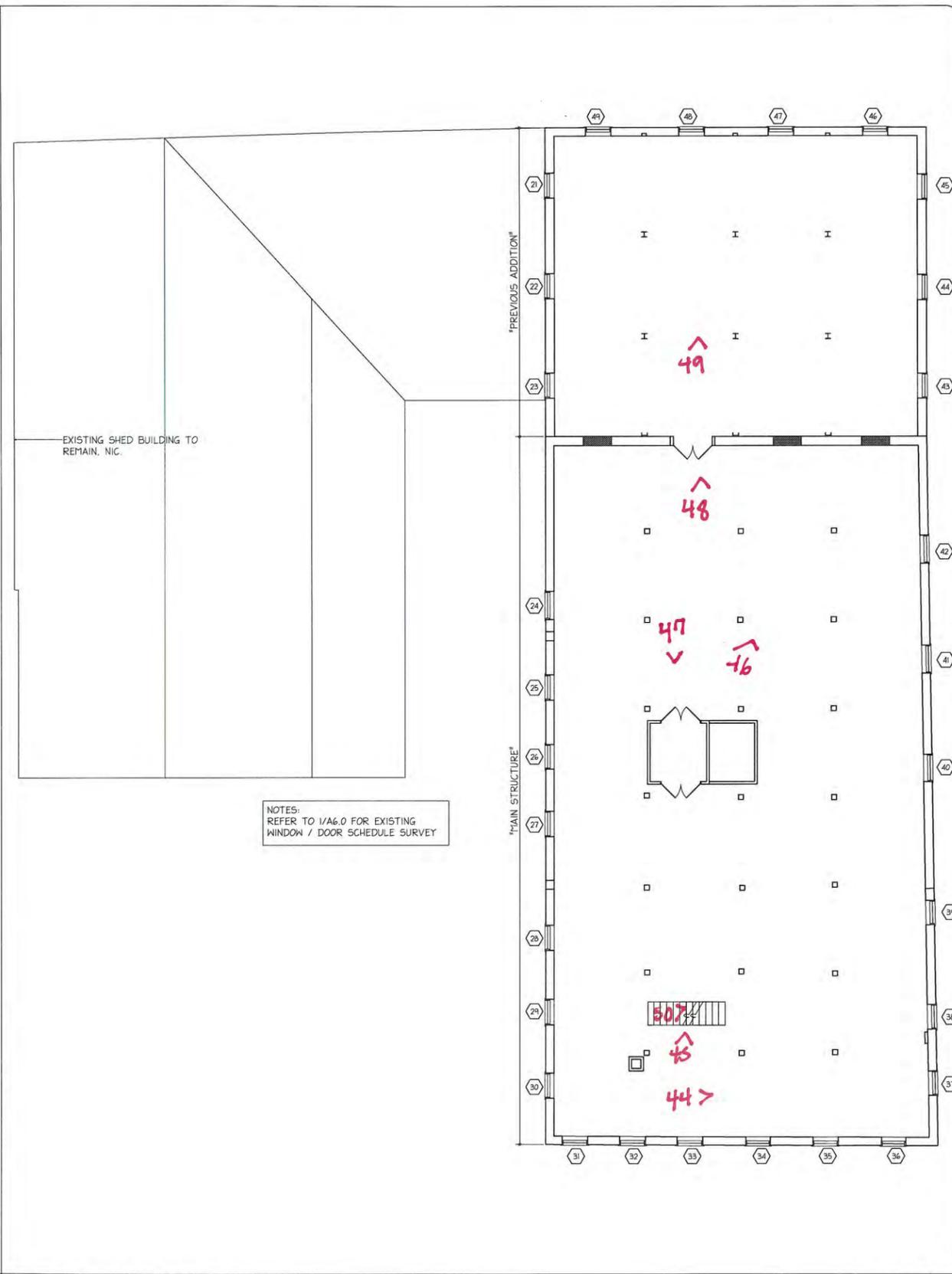
11



NOTES:
REFER TO 1/A6.0 FOR EXISTING WINDOW / DOOR SCHEDULE SURVEY

BRICKED IN MASONRY OPENING TO BE REOPENED

EXISTING 3RD FLOOR PLAN 1/8"=1'-0" 2



NOTES:
REFER TO 1/A6.0 FOR EXISTING WINDOW / DOOR SCHEDULE SURVEY

EXISTING 2ND FLOOR PLAN 1/8"=1'-0" 1

Issue	Date	Rev #	Initials
MEASURE	2018-08-29		MTC
PRELIM	2018-10-29		MTC
PRELIM	2019-05-22		MTC
ASB	2019-07-12		MTC
PRELIM	2019-09-12		MTC
DHR	2019-10-04		MTC

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Email: freeland@freelandengineeringpc.com

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Drawn By: MTC
Designed By: MTC
Checked By: RPF
Project #: 4267
Date: 2019-10-04
Issue: DHR
Sheet:
EXISTING 2ND & 3RD FLOOR PLANS

Sheet No: **A1.1**

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



1. Janney-Marshall building in context, view from elevated train platform



2 Front (west) elevations, view from across Princess Anne Street

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



3. Front (Princess Anne) elevation

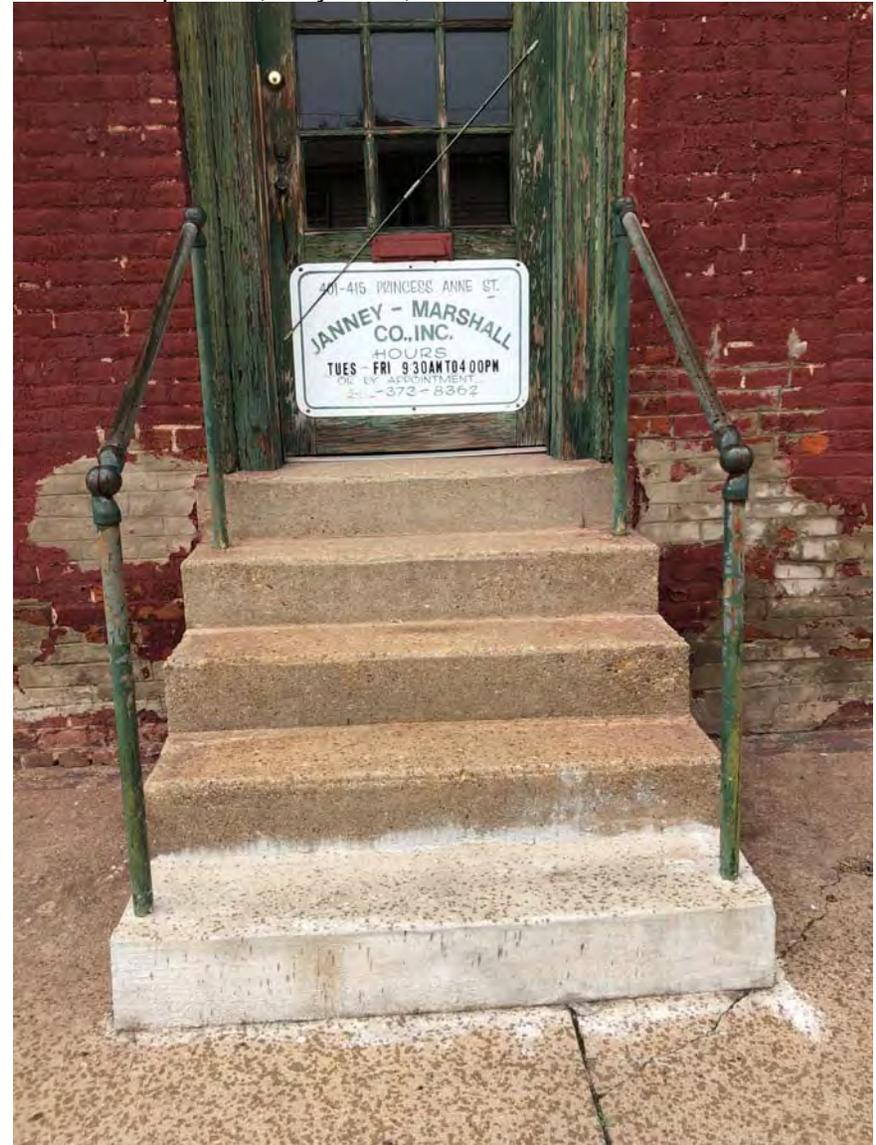


4. Detail, deteriorated wood sill

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



5. Front entry door



6. Front entry stoop

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



7. Modified front opening



8. Old parging and inappropriate repointing

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



9. West elevation of shed addition



10. West elevation of recessed shed connector

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



11. Southwest corner at Princess Anne & Frederick Streets



12. Partial south side elevation along Frederick Street

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



13. South elevation, rear addition



14. Rear (east) elevation

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



15. South elevation of shed addition



16. North elevation, metal shed addition

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



17. South elevation, shed addition



18. North elevation

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



18a. Partial north elevation covered by shed addition



19. Loading dock, view east

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



20. Loading dock



20a. Detail, deteriorated loading dock

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



20b. Detail, deteriorated loading dock



20c. Slope at concrete pad creating gutter funneling water under open bays of loading dock

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



21. Front offices with non-historic partitions and salvaged historic doors



22. Non-historic window and salvaged historic door, front office

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



22a. Detail of non-historic trim overlapping door trim on front wall



22b. Detail, wrapped historic structure and dropped ceiling

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



23. Front office partitions and dropped ceiling, view south



24. Front office, view west

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



25. Front office, view NE



25a. Non-historic finishes and door, front offices

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



26. Historic workshop to be preserved



27. Historic workshop interior, windows and beadboard finishes to be

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28. Historic door, window, and beadboard finishes to be preserved



29. Historic door, window, and beadboard finishes to be preserved

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



30. Non-historic stud partitions at historic columns



31. Non-historic stair at west end of building

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31a. Detail, non-historic stair



31b. Detail, non-historic stair

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



32. Non-historic roll-up door, view N



33. 1st floor warehouse, view E

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



34. 1st floor, view to rear addition

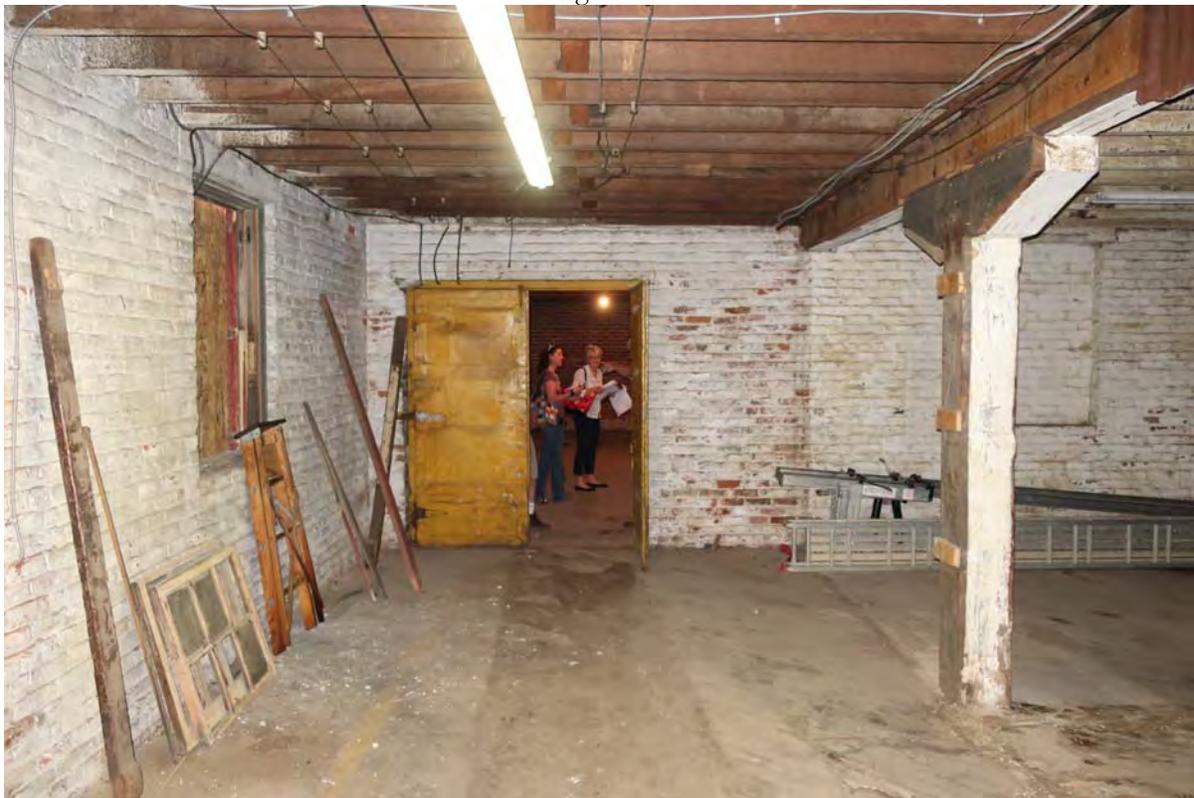


35. Detail, piecemeal wall remnants of freight elevator enclosure

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



36. Historic loading dock doors in N wall



37. View E to rear addition

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



38. 1st floor, rear addition



39. Infilled window openings, rear addition

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



40. View N, shed addition beyond

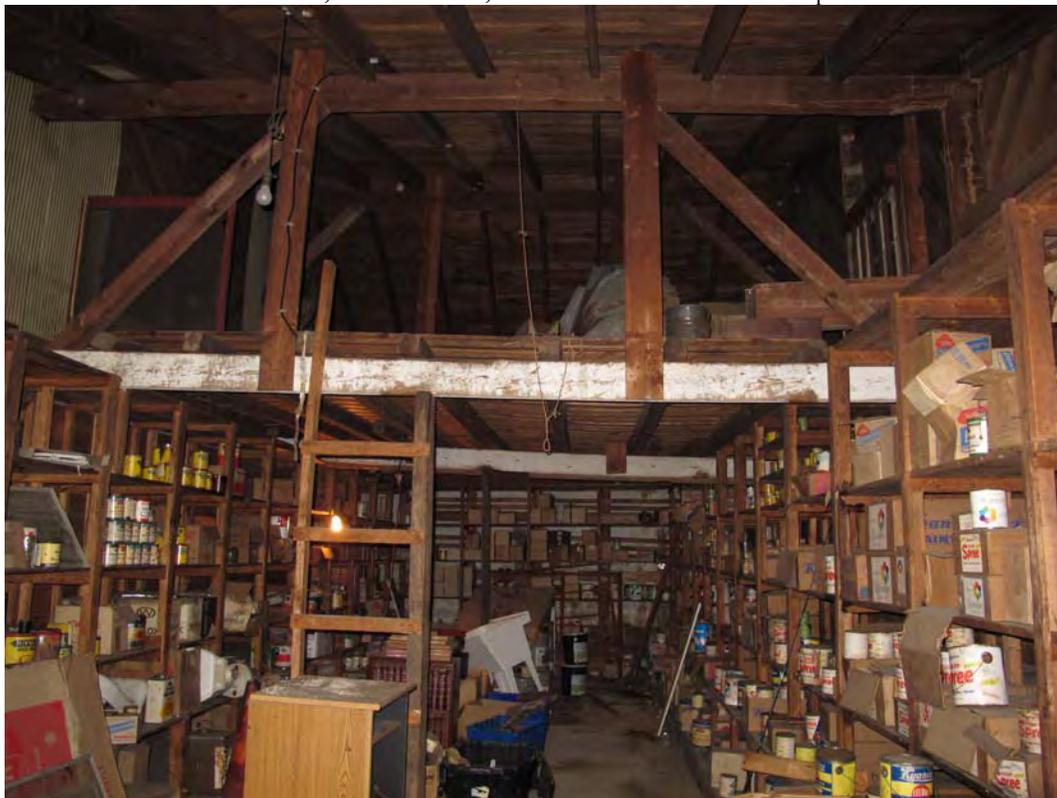


41. Shed addition, view to front. Shed not in scope of work

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42. Shed addition, view to front, NW corner. Shed not in scope of work



43. Shed addition, not in scope of work

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



44. 2nd floor, view S



45. Non-historic stair, 2nd floor

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



46. 2nd floor, view to SE corner of main warehouse



47. Non-historic freight elevator enclosure, 2nd floor

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



48. 2nd floor, view E to rear addition



49. 2nd floor rear addition, view S

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



50. Non-historic stair to 3rd floor

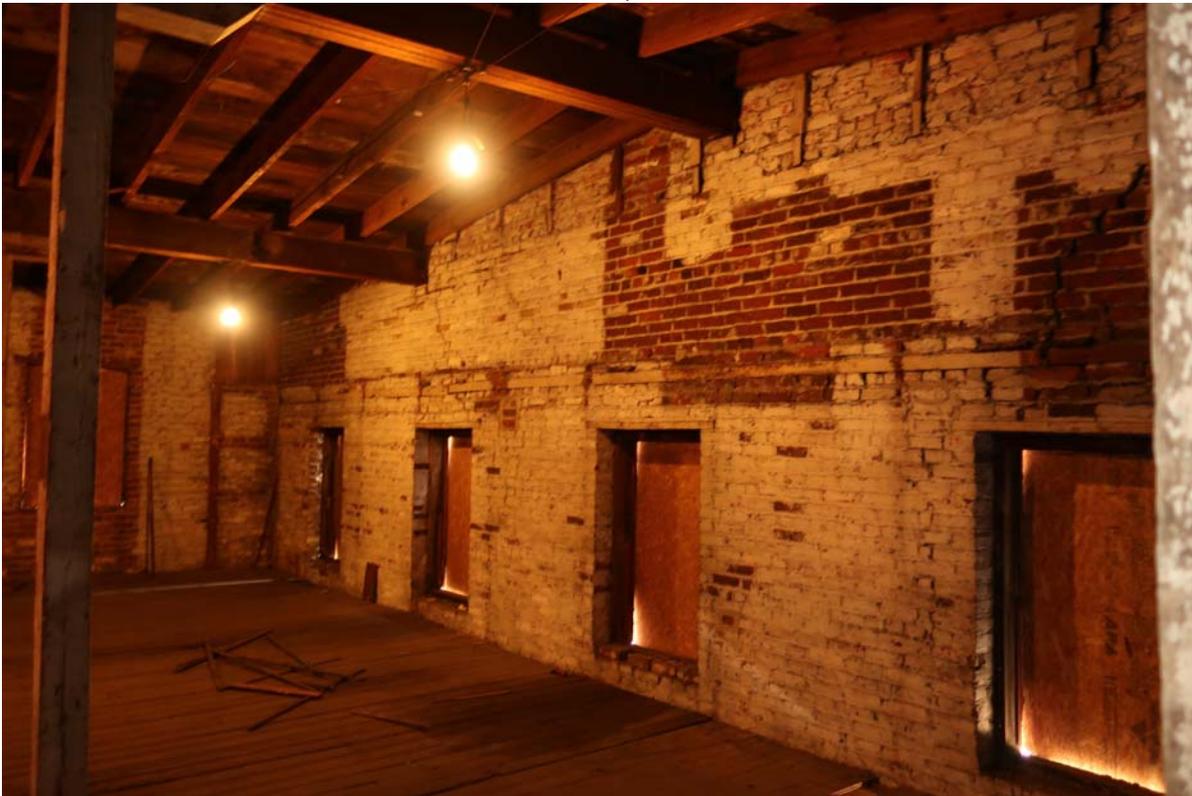


51. Upper canopy ledger across infilled window openings

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



52. 3rd floor, view S



54. 3rd floor, view W

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



55. 3rd floor, NW corner



56. Non-historic elevator enclosure, 3rd floor

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



57. 3rd floor, view E



58. 3rd floor, view E

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



59. 3rd floor, rear addition



60. 3rd floor, SE corner of main warehouse

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



61. Repaired wood sash



62. Window sash to be repaired

Janney-Marshall Building, 401 Princess Anne Street, Fredericksburg, VA
Canopy photos for treatment team review



1. Building in context



2. Both canopies

Janney-Marshall Building, 401 Princess Anne Street, Fredericksburg, VA
Canopy photos for treatment team review



3. Upper canopy running across 3rd floor window openings



4. Canopy ledger running across 3rd floor window openings

Janney-Marshall Building, 401 Princess Anne Street, Fredericksburg, VA
Canopy photos for treatment team review



5. Upper canopy



6. View under lower canopy

Janney-Marshall Building, 401 Princess Anne Street, Fredericksburg, VA
Canopy photos for treatment team review



7. Upper and lower canopy braces



8. Lower canopy at 2nd floor window openings. Restored historic sash next to windows.

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Representative window survey photographs



FT.8c



FT.59

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Representative window survey photographs



LT.5



LT.28

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Representative window survey photographs



LT.28b



RR.46

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Representative window survey photographs

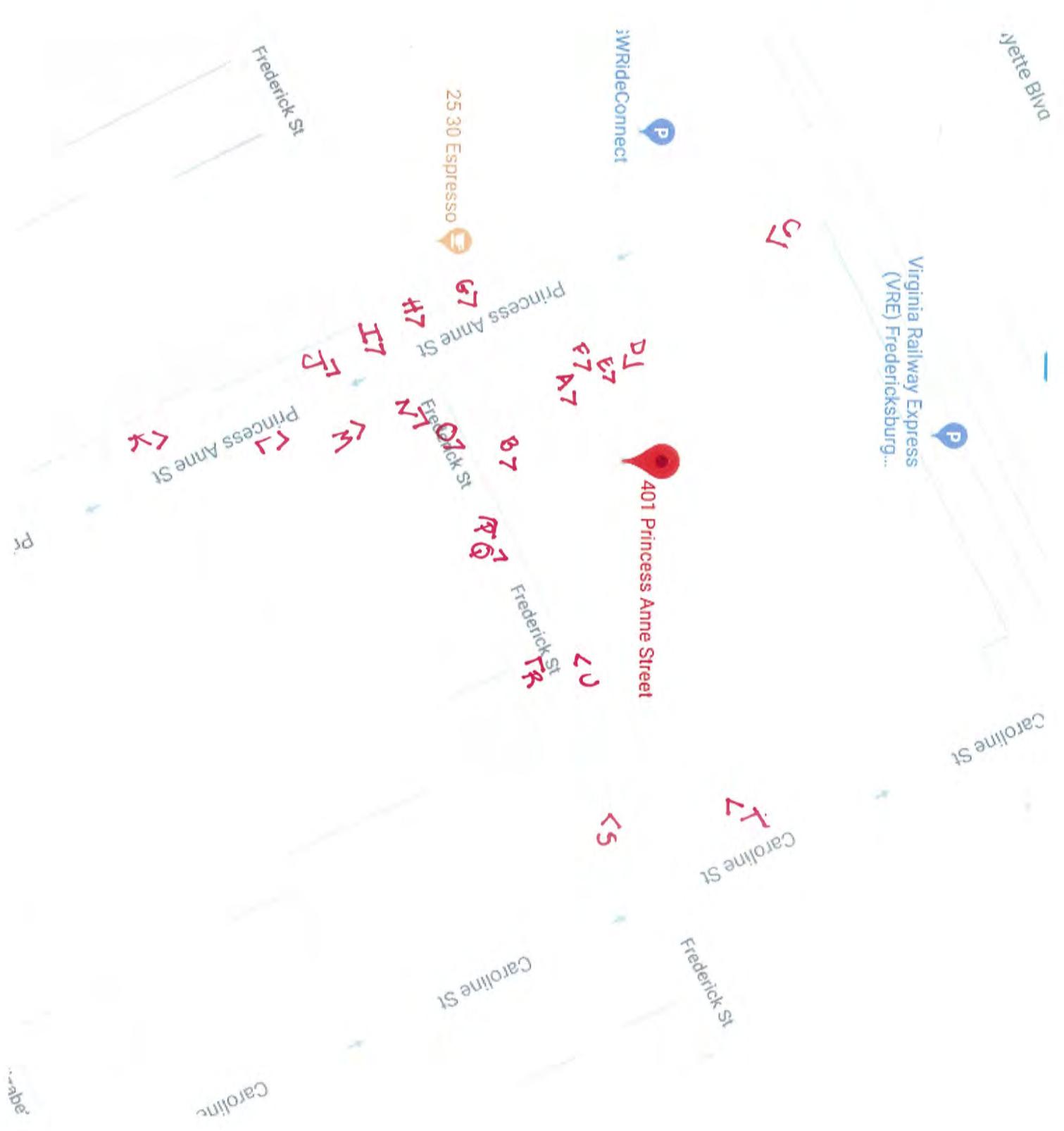


RT.67

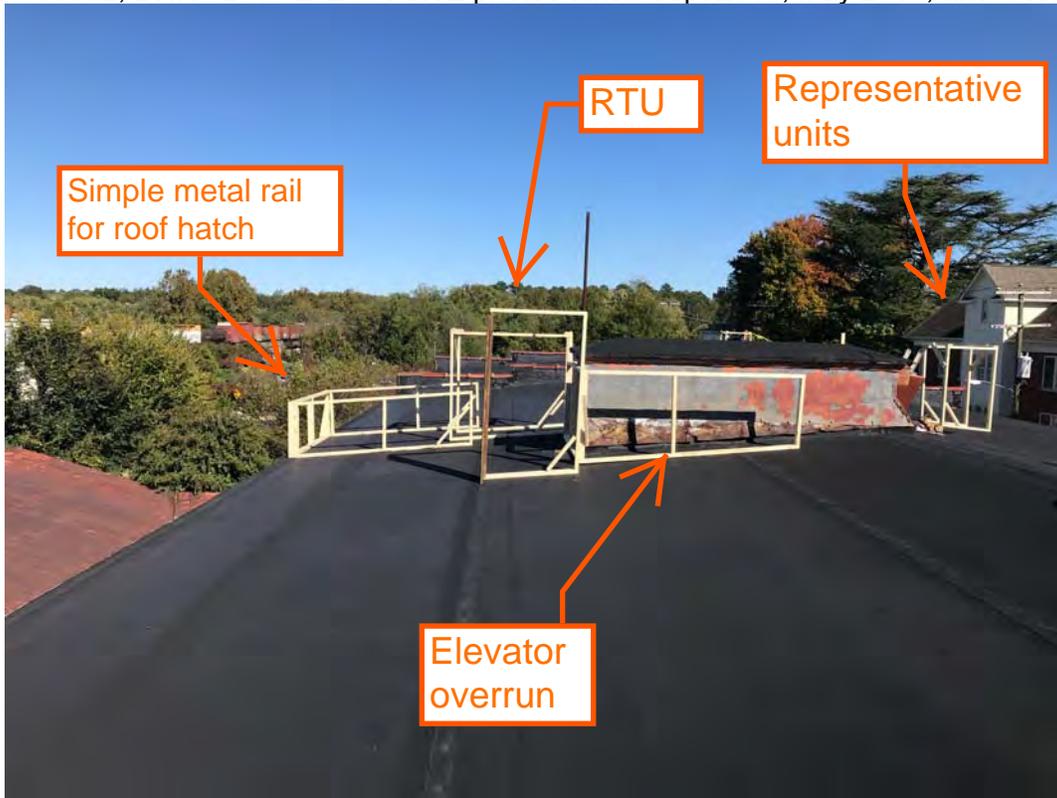


RT.69

JANNEY-MARSHALL CO.
PART 2 Mockup Key



Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



A. Rooftop mockups



B. Rooftop mockups

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



C. Rooftop mockup, view S



D. View S

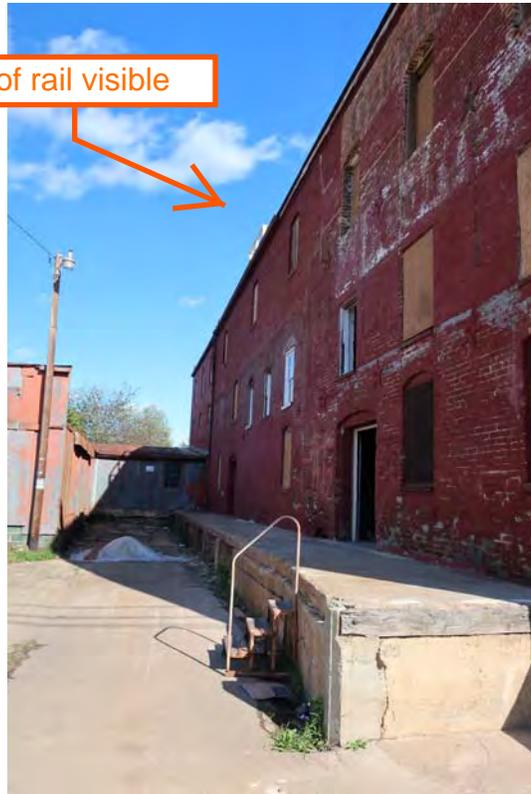
Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019

Only the rail is visible



E. Rail visible

Tip of rail visible



F. Edge of rail visible

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



G. View E, mockups not visible



H. Not visible

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



I. Not visible



J. Modest visibility from Princess Anne, view NE

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



K. View N from Princess Anne, not visible



L. View from Princess Anne, not visible

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



M. View N from Princess Anne, not visible



N. View to Frederick Street elevation, not visible

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



O. View NE from Frederick Street, not visible



P. Not visible

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



Q. Not visible

Lines added in Adobe to represent potential visibility of middle units



R. View NW from Frederick Street, minimally visible

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NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



S. View W from Frederick Street, units visible



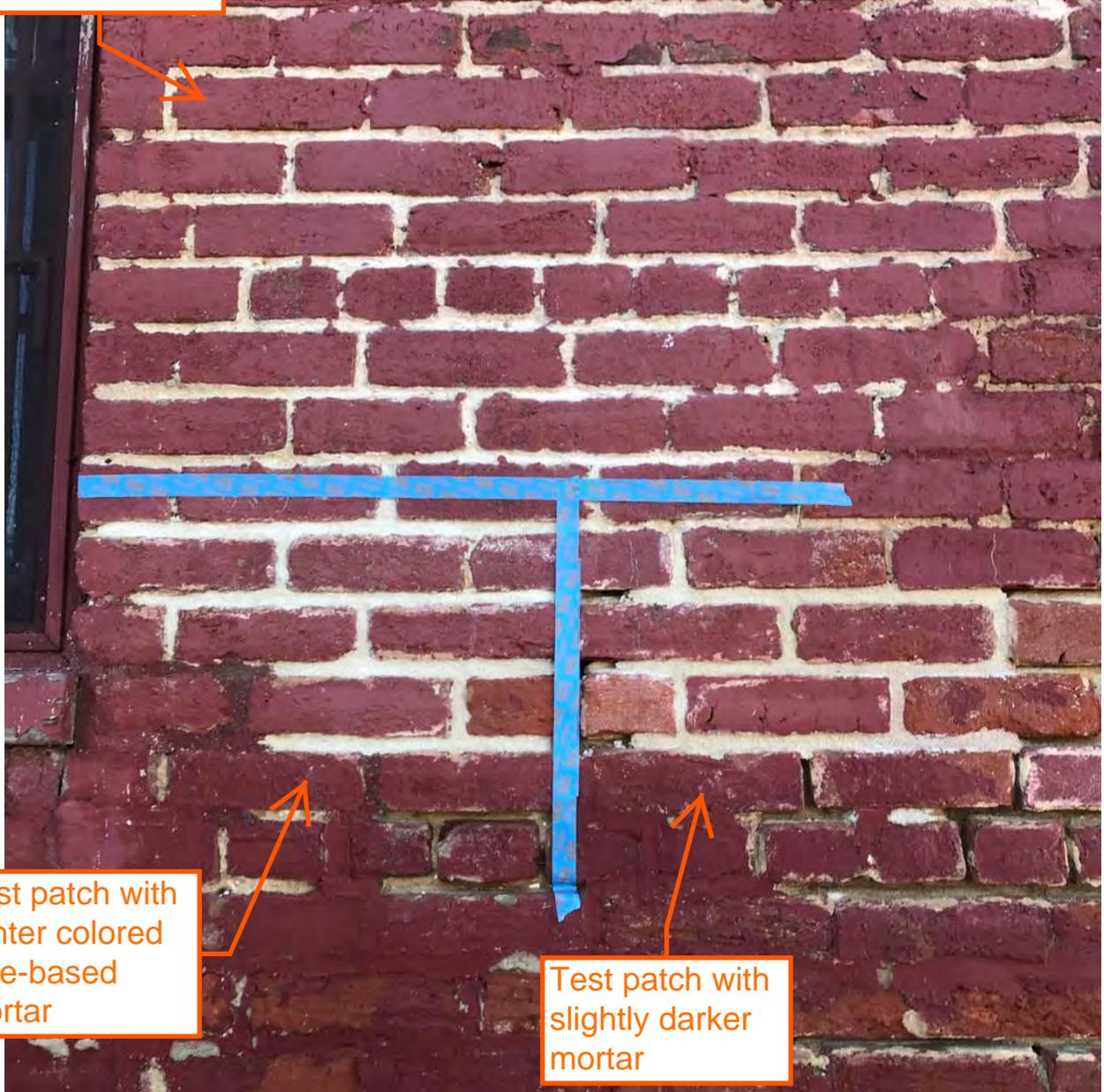
T. View from City of Fredericksburg property, visible

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 photos taken Sept 2018, May 2019, and Oct 2019



U. View W, not visible

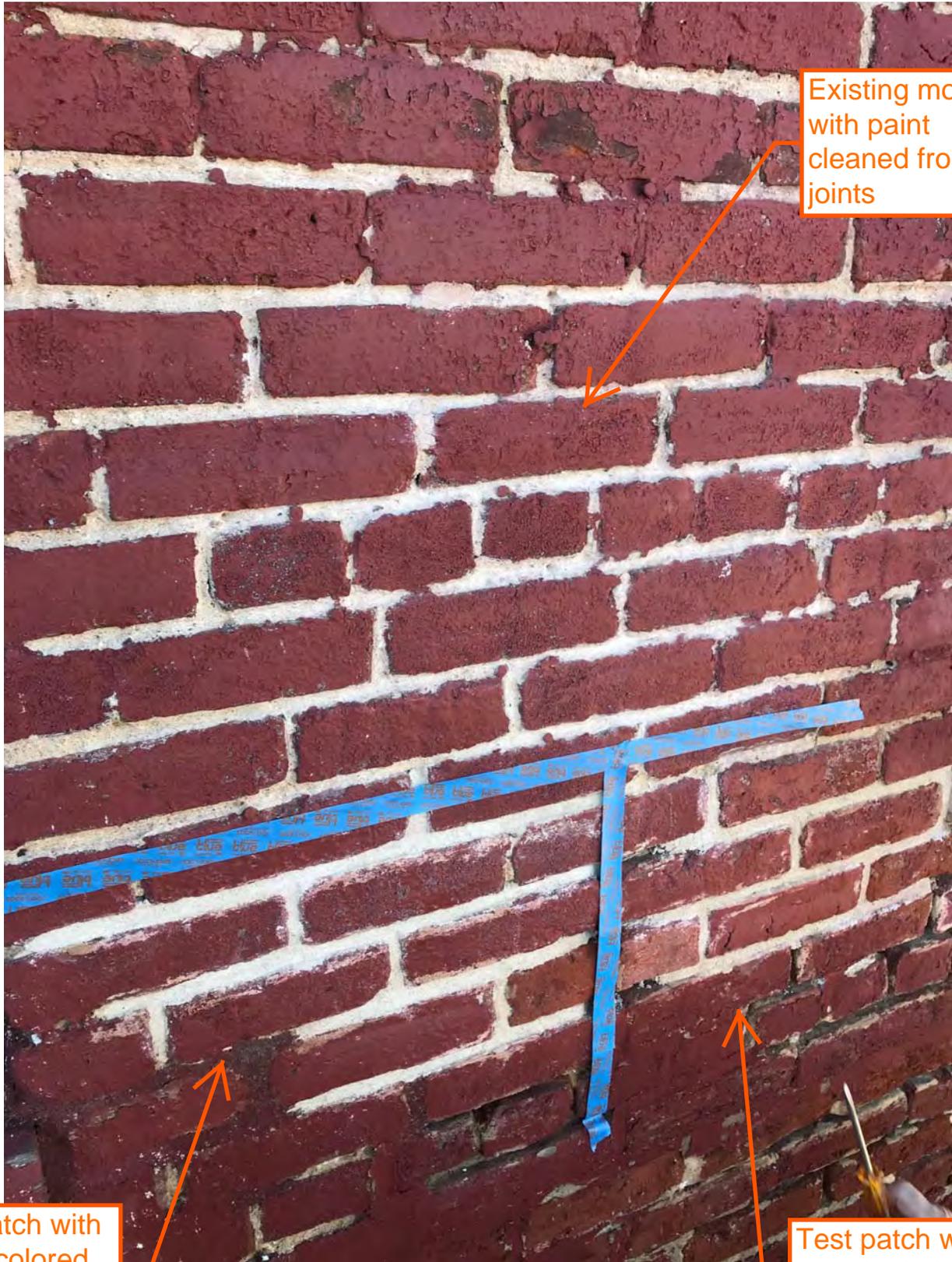
Existing mortar
with paint
cleaned from
joints



Test patch with
lighter colored
lime-based
mortar

Test patch with
slightly darker
mortar

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 -Masonry test patch photos

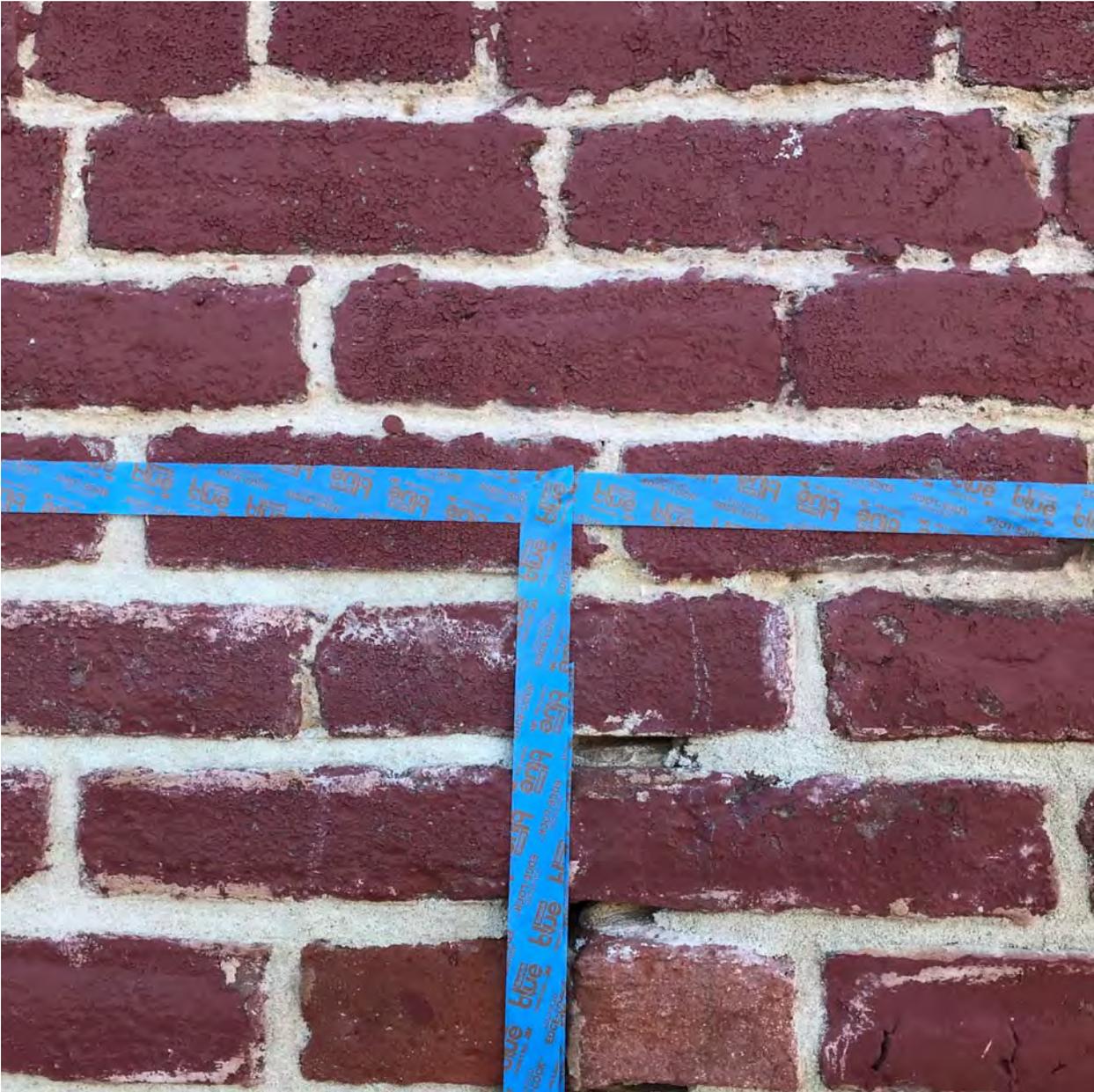


Existing mortar
with paint
cleaned from
joints

Test patch with
lighter colored
lime-based
mortar

Test patch with
slightly darker
mortar

Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 -Masonry test patch photos



Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 -Masonry test patch photos



Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 -Masonry test patch photos



Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 -Masonry test patch photos



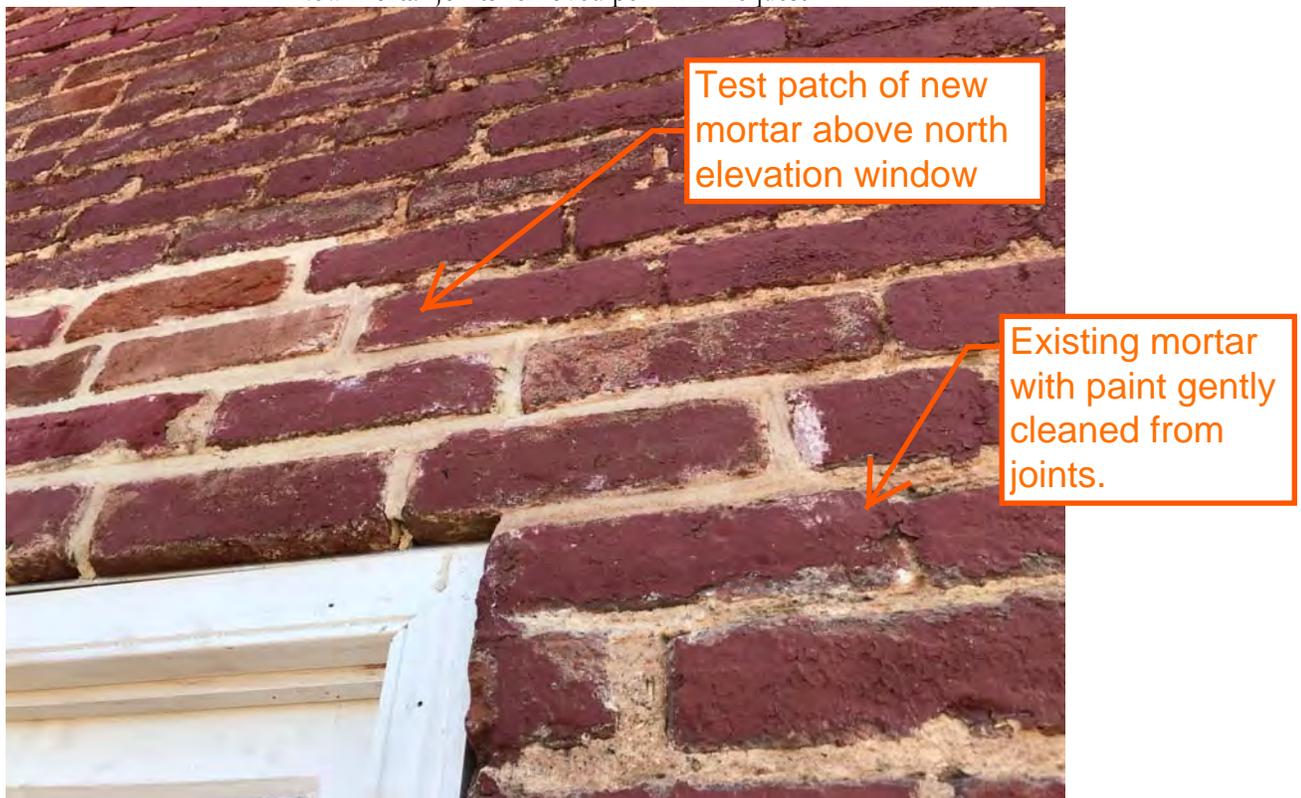
Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Roof insulation product sample



Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 mortar photos



1. New mortar joints removed per DHR request



2. New repointing above window, painted cleaned from existing joints for comparison purposes

New mortar
above north
elevation
window

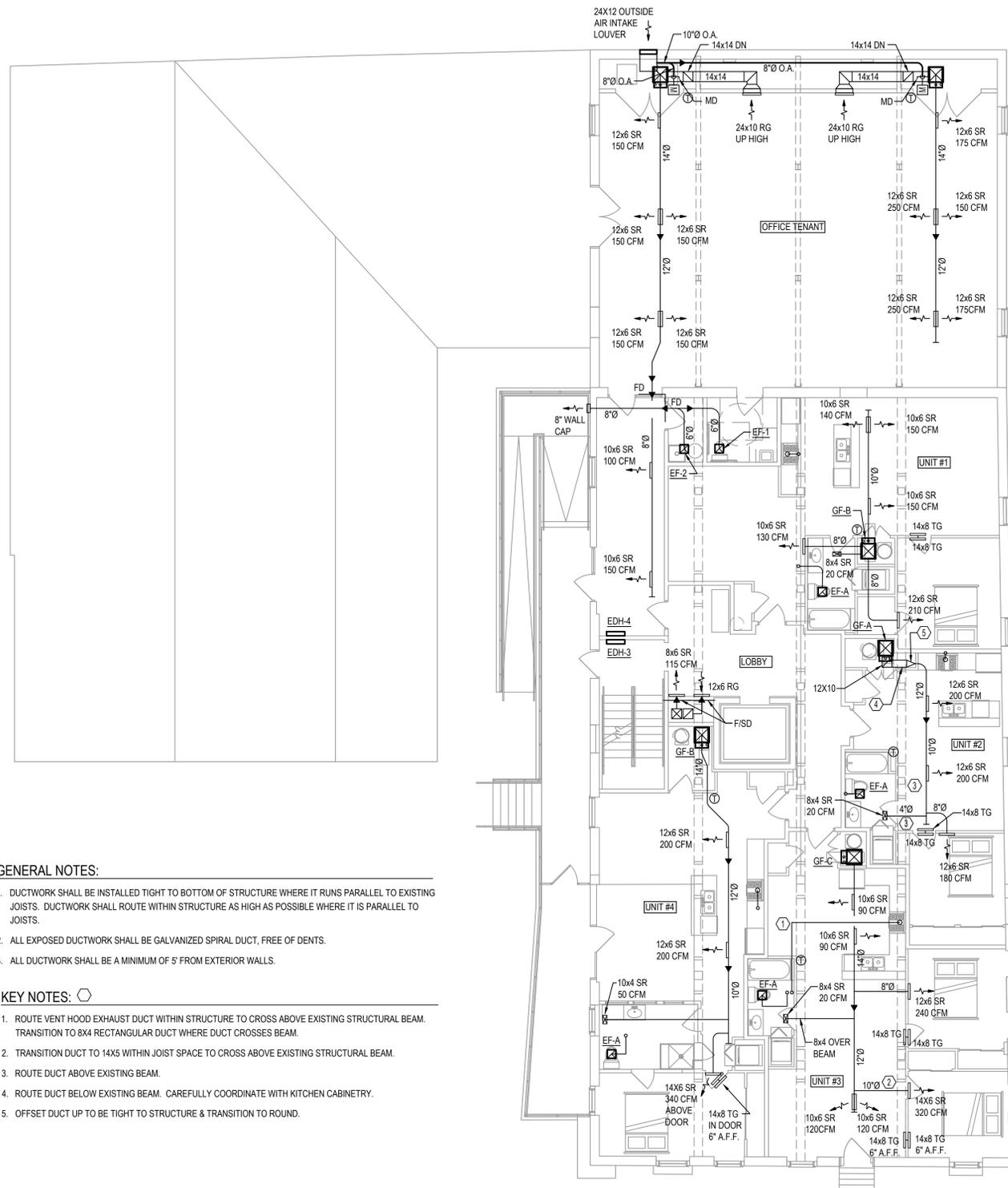
Janney-Marshall Co. Building, 401 Princess Anne Street, Fredericksburg, VA 24401-6042
NPS #39572, DHR #2018-202 - Part 2 mortar photos



Existing mortar
joints after paint
removed for
visibility

3. New and existing mortar with paint cleaned from joints

4. New and existing mortar, paint cleaned from joints for comparison

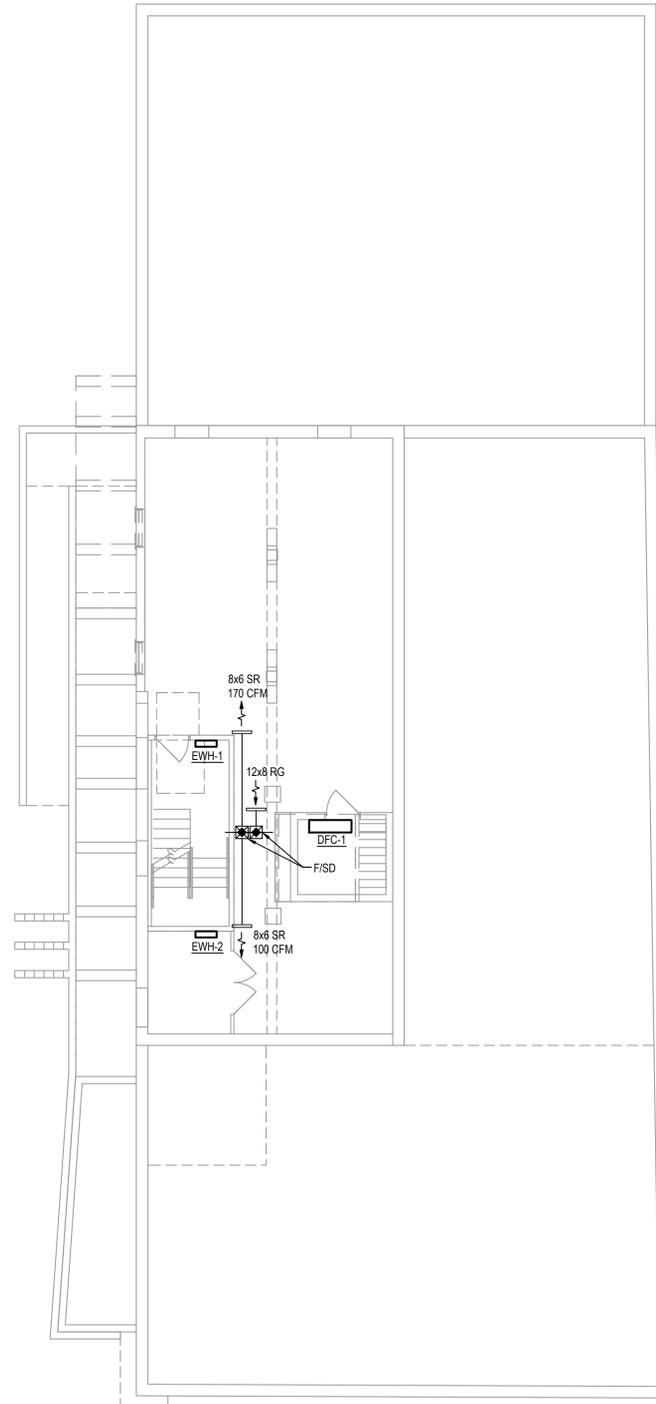


GENERAL NOTES:

1. DUCTWORK SHALL BE INSTALLED TIGHT TO BOTTOM OF STRUCTURE WHERE IT RUNS PARALLEL TO EXISTING JOISTS. DUCTWORK SHALL ROUTE WITHIN STRUCTURE AS HIGH AS POSSIBLE WHERE IT IS PARALLEL TO JOISTS.
2. ALL EXPOSED DUCTWORK SHALL BE GALVANIZED SPIRAL DUCT, FREE OF DENTS.
3. ALL DUCTWORK SHALL BE A MINIMUM OF 5' FROM EXTERIOR WALLS.

KEY NOTES: ○

1. ROUTE VENT HOOD EXHAUST DUCT WITHIN STRUCTURE TO CROSS ABOVE EXISTING STRUCTURAL BEAM. TRANSITION TO 8X4 RECTANGULAR DUCT WHERE DUCT CROSSES BEAM.
2. TRANSITION DUCT TO 14X5 WITHIN JOIST SPACE TO CROSS ABOVE EXISTING STRUCTURAL BEAM.
3. ROUTE DUCT ABOVE EXISTING BEAM.
4. ROUTE DUCT BELOW EXISTING BEAM. CAREFULLY COORDINATE WITH KITCHEN CABINERY.
5. OFFSET DUCT UP TO BE TIGHT TO STRUCTURE & TRANSITION TO ROUND.



MAIN FLOOR PLAN - MECHANICAL

1/8"=1'-0" 2

BASEMENT PLAN - MECHANICAL

1/8"=1'-0" 1

Initials:	Rev #:	Issue:	Date:

Freeland Engineering, P.C.
 10814 Courthouse Rd
 Fredericksburg, VA 22408
 Ph: 540.898.3092
 Fax: 877.658.7735
 Web: www.freelandengineeringpc.com
 Email: rfreeland@freelandengineeringpc.com

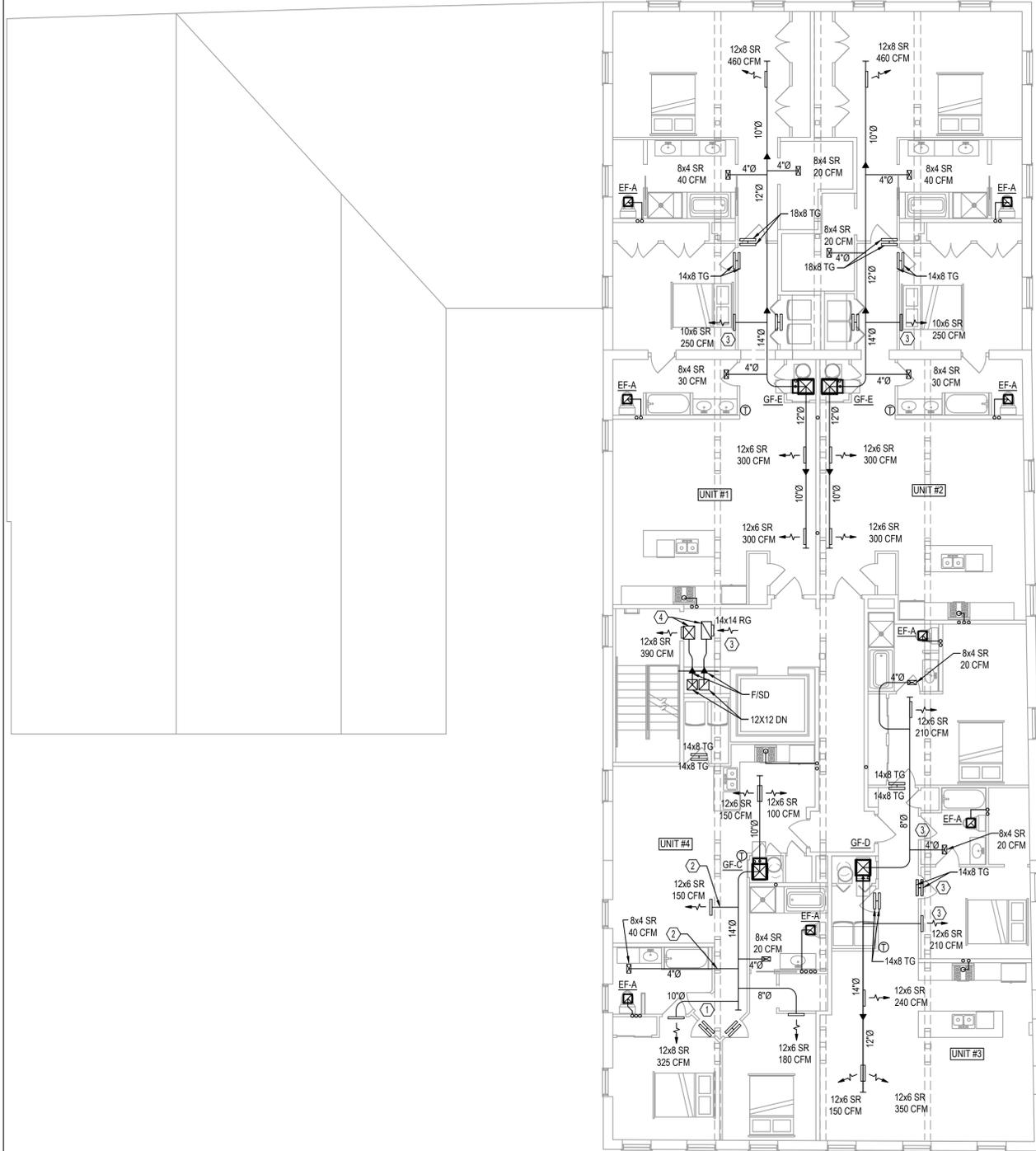


JBB
Janney Marshall Building
 401 Princess Anne Street
 Fredericksburg, VA 22401

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Drawn By:	HMP
Designed By:	HMP
Checked By:	DH
Project #:	4267
Date:	10/16/2019
Issue:	
Sheet:	
BASEMENT & MAIN FLOOR PLANS - MECHANICAL	

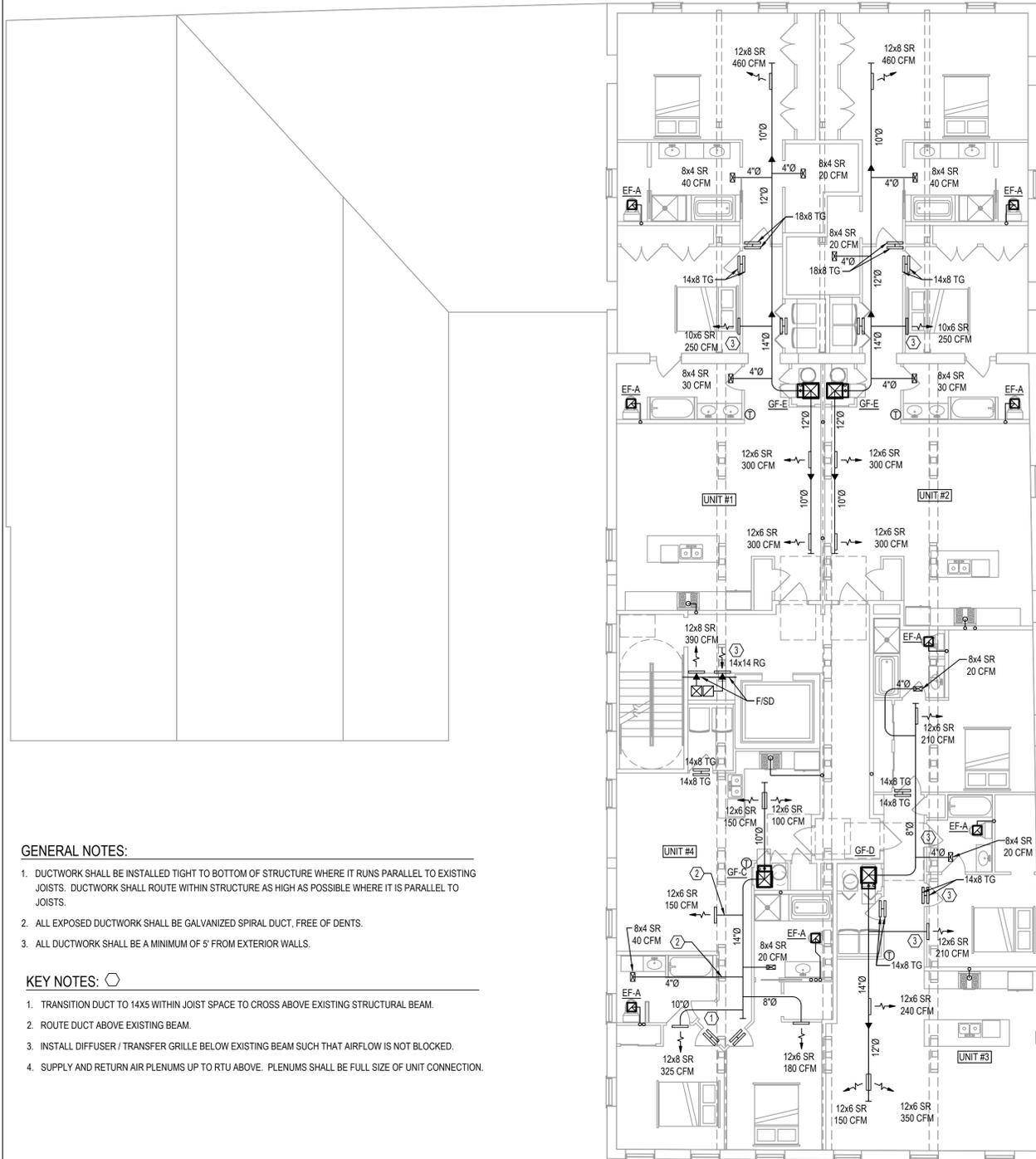
Sheet No: **M1.1**



3RD FLOOR PLAN - MECHANICAL

1/8"=1'-0"

2



2ND FLOOR PLAN - MECHANICAL

1/8"=1'-0"

1

GENERAL NOTES:

- DUCTWORK SHALL BE INSTALLED TIGHT TO BOTTOM OF STRUCTURE WHERE IT RUNS PARALLEL TO EXISTING JOISTS. DUCTWORK SHALL ROUTE WITHIN STRUCTURE AS HIGH AS POSSIBLE WHERE IT IS PARALLEL TO JOISTS.
- ALL EXPOSED DUCTWORK SHALL BE GALVANIZED SPIRAL DUCT, FREE OF DENTS.
- ALL DUCTWORK SHALL BE A MINIMUM OF 5' FROM EXTERIOR WALLS.

KEY NOTES: ○

- TRANSITION DUCT TO 14X5 WITHIN JOIST SPACE TO CROSS ABOVE EXISTING STRUCTURAL BEAM.
- ROUTE DUCT ABOVE EXISTING BEAM.
- INSTALL DIFFUSER / TRANSFER GRILLE BELOW EXISTING BEAM SUCH THAT AIRFLOW IS NOT BLOCKED.
- SUPPLY AND RETURN AIR PLENUMS UP TO RTU ABOVE. PLENUMS SHALL BE FULL SIZE OF UNIT CONNECTION.

Initials:	
Rev #:	
Issue:	
Date:	

Freeland Engineering, P.C.
 10814 Courthouse Rd
 Fredericksburg, VA 22408
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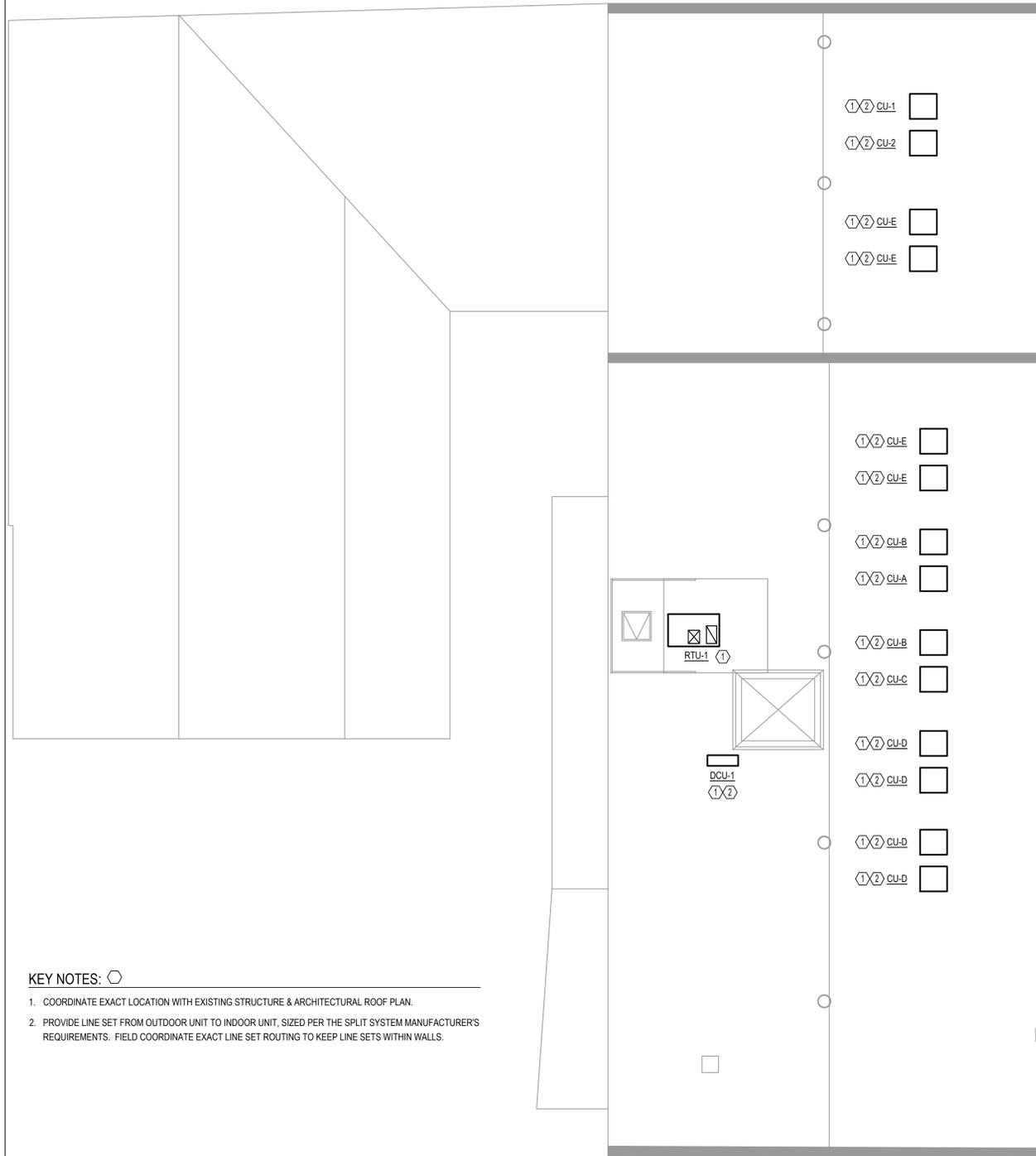
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 Drawn By: HMP
 Designed By: HMP
 Checked By: DH
 Project #: 4267
 Date: 10/16/2019
 Issue:
 Sheet:

SECOND & THIRD FLOOR PLANS - MECHANICAL

Sheet No: **M1.2**

JDH
 J. DANIEL HUBBARTT, PE
 JDH # 19061

5525 Interstate N. Pkwy
 Suite 200
 Atlanta, Ga 30328
 404-242-6240 tel
 404-601-9859 fax
 www.jdh-engineering.com



- KEY NOTES:** ○
1. COORDINATE EXACT LOCATION WITH EXISTING STRUCTURE & ARCHITECTURAL ROOF PLAN.
 2. PROVIDE LINE SET FROM OUTDOOR UNIT TO INDOOR UNIT, SIZED PER THE SPLIT SYSTEM MANUFACTURER'S REQUIREMENTS. FIELD COORDINATE EXACT LINE SET ROUTING TO KEEP LINE SETS WITHIN WALLS.

Initials:	Rev #:	Issue:	Date:

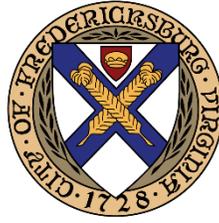
Freeland Engineering, P.C.
 10814 Courthouse Rd
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Drawn By: HMP
Designed By: HMP
Checked By: DH
Project #: 4267
Date: 10/18/2019
Issue:
Sheet:
ROOF PLAN - MECHANICAL



MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: March 4, 2020 (for the March 9, 2020 hearing)
SUBJECT: Certificate of Appropriateness for exterior alteration at 309 William Street

ISSUE

Dex Sanders requests to make alterations to this commercial building, including reconfiguring the storefront, rebuilding the pent roof on the façade, installing signs, and extending the fencing and shed roof at the rear elevation for a new restaurant.

RECOMMENDATION

Approval of the request for a Certificate of Appropriateness as submitted.

Painting or staining the wood fence once weathered sufficiently is recommended to slow deterioration of the material.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

Storefronts (Historic District Handbook, pg. 92)

Maintenance and Repair

1. Retain and repair all elements, materials, and features that are original to the storefront or are sensitive remodelings.
3. Remove any materials, elements, and sign panels that cover display windows, transoms, or bulkheads and that obscure original architectural elements such as windows, cornices, or decorative features.
4. Avoid adding incompatible elements or materials such as coach lanterns, overhanging roofs, small paned windows, wood shakes, vertical siding, or shutters on windows where they never previously existed.
5. Avoid creating a false historic appearance by remodeling a building with elements from an earlier period of construction.

Construction Guidelines

1. If feasible, return a storefront to its original configuration by restoring as many original elements as possible, including windows, cornice, and decorative details. This work should be based on pictorial research and exploratory demolition that has determined the original

storefront design and condition. If reconstruction is not possible, any new storefront design should respect the character, materials, and design of the building.

Site Planning – Fences and Walls (Historic District Handbook, pg.72)

1. Fence and wall materials and design should relate to those found in the neighborhood. Chain-link fences are generally not recommended.

City Code § 72-23.1(D)4 *Signs*

The ARB shall consider the following in determining the appropriateness of any application for a sign proposed within the HFD:

- (a) Placement.
 - [1] The sign shall be integrated architecturally with the building.
 - [2] Placement should not obscure significant architectural features or details of the building.
 - [3] A sign should be placed only at a location within the HFD at which the announced business or activity takes place.
- (d) General standards.
 - [1] Signs attached to windows announcing sales, etc., are discouraged as incompatible with the character of the HFD.
 - [2] All signs shall meet the requirements of § 72-59, Signage.

Signs (Historic District Handbook, pg.117-118)

1. A sign should fit the architecture of its building and not obstruct defining elements.
2. The number of signs should be compatible with the building and should not cause visual clutter.
3. The size of each sign and the total area of signs should match the character of the building and of the Historic District. Exact sign allowance should be verified with the Planning Office.
4. Materials should relate to the building. Traditional sign materials include wood, glass, raised individual letters, and painted letters on wood or glass.

BACKGROUND

This building is a Federal-style, two-and-one-half-story, side-gabled commercial block constructed c.1832. Built of brick laid in Flemish bond and topped by a slate-clad roof, a large pent roof clad in wood shakes tops the ground-floor storefront. Six-over-six, double-hung, wood sash windows once lined the upper story, but the lower sashes are obscured by the pent roof. Flat pilasters support the molded cornice above the storefront and frame the commercial windows and doors topped by multi-light transoms. A slate-clad, gabled dormer is centered on the roof slope and a corbelled cornice runs beneath the eaves. This is a contributing structure in the Historic District.

The applicant proposes to alter the storefront for a new restaurant at this location. A 1972 survey states that the storefront was “brutally altered,” a change that likely occurred in the 1960s as

Colonial Revival-style features were added to many buildings in advance of the nation’s bicentennial. A 1997 renovation resulted in another reconfiguration of the storefront openings. Limited exploratory demolition has shown that the storefront framing appears to date from the 1960s or 1970s, and no earlier elements remain. As a result of these repeated alterations, the current storefront configuration has not acquired historic significance and does not appear to retain any historic features.

The proposed design includes the replacement of the shingle-clad pent roof and replacement of the windows and paired doors with new windows and doors. The pilasters framing the single door at the far right side of the façade will be retained, as well as the pilaster at the far left side. One new matching wood pilaster will be added to frame a second single door at the left side of the façade. Between the two doors will be a set of paired, full-view, aluminum-clad wood, bi-fold doors. The replaced entry door at the right side of the façade and the new door at the left side will be matching full-view, aluminum-clad wood doors, but the door at the right side will be fixed in place. The pent roof will be the same general size and height, but will project out five feet six inches to cover a portion of the sidewalk. The reconstructed canopy will be clad in cedar shakes, and recessed lighting will be installed in the underside.

A projecting sign will be centered on the second story of the façade. The simple steel bar will be anchored into the building’s mortar joints and will project out 42 inches from the face of the building. A wood sign panel with burned logo, 36 inches square, will hang from the steel bar.

At the rear of the building, an existing shed-roofed canopy clad in metal panels will be extended across the entire rear elevation. One new wood post will be added to support the roof at the right side, and the rain collector will be modified to drain onto the new roof to a new gutter system. The existing six foot wood privacy fence will also be extended to cover the entire rear elevation.

The alterations proposed are compatible with the character of the site and the district, and approval of the request as submitted is recommended. The applicant is advised to paint or stain the fence to slow deterioration of the material.

APPROVAL CRITERIA

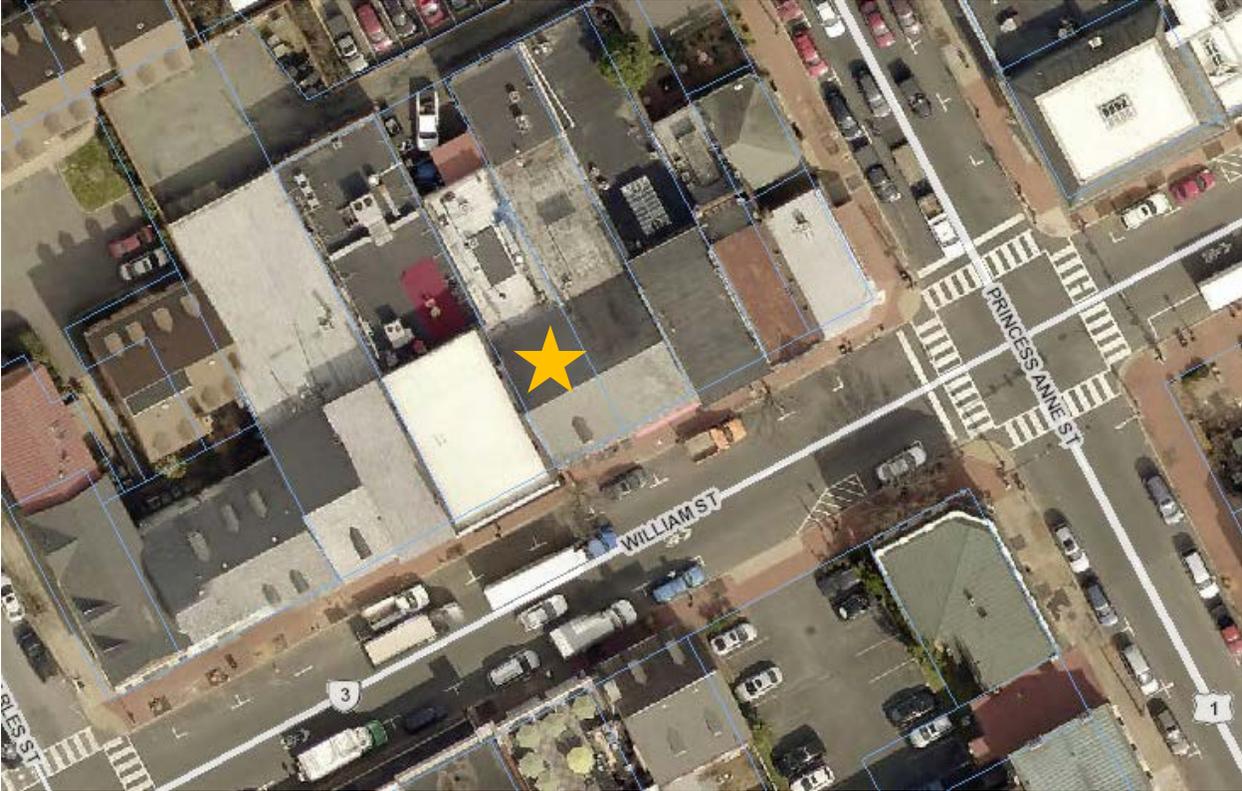
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The

			removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
X			(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

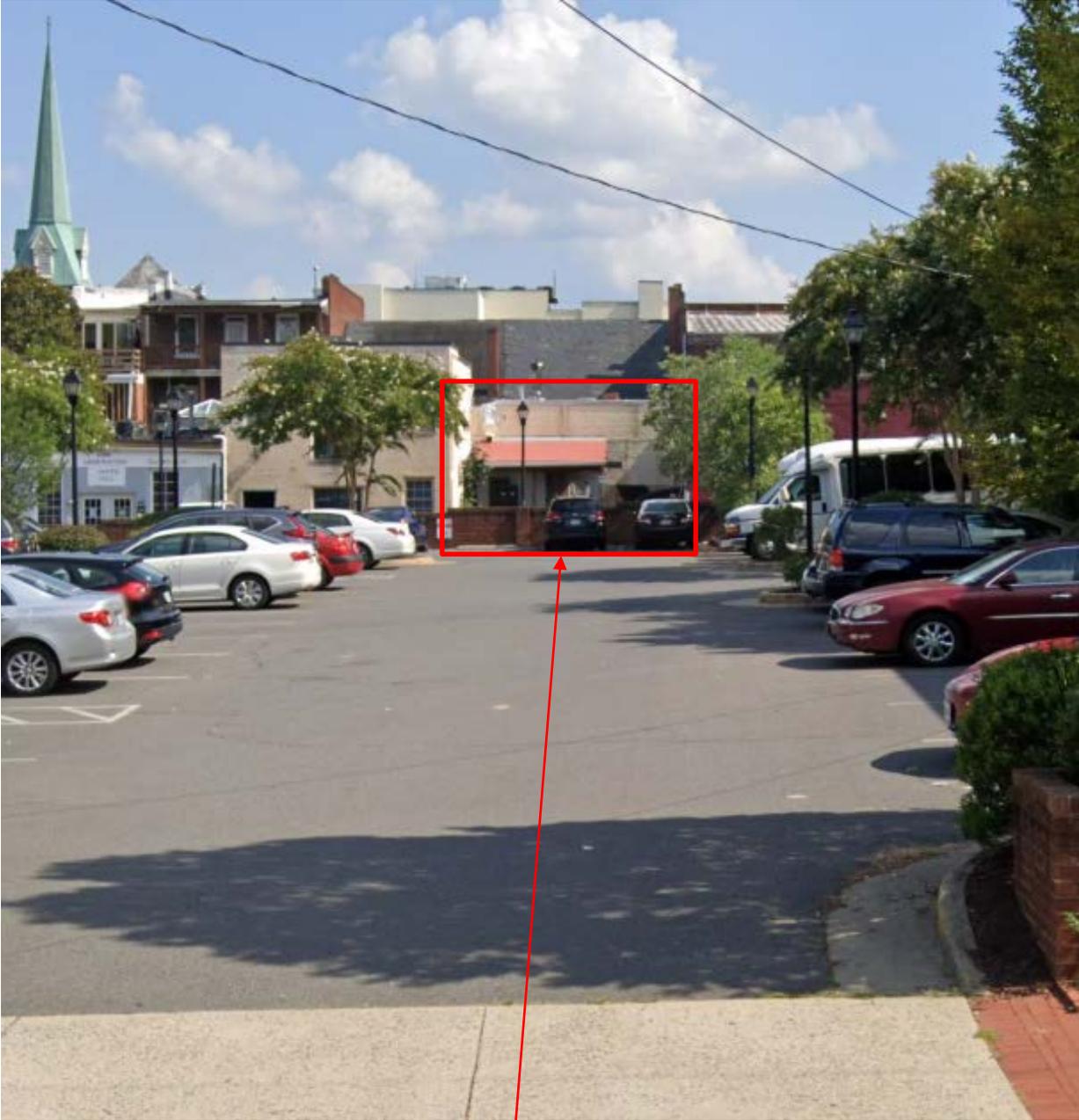
1. Aerial photograph and front elevation view
2. Views from William and Amelia Streets
3. Existing conditions
4. Elevations and details
5. Sign specifications



AERIAL



FRONT (SOUTH) ELEVATION



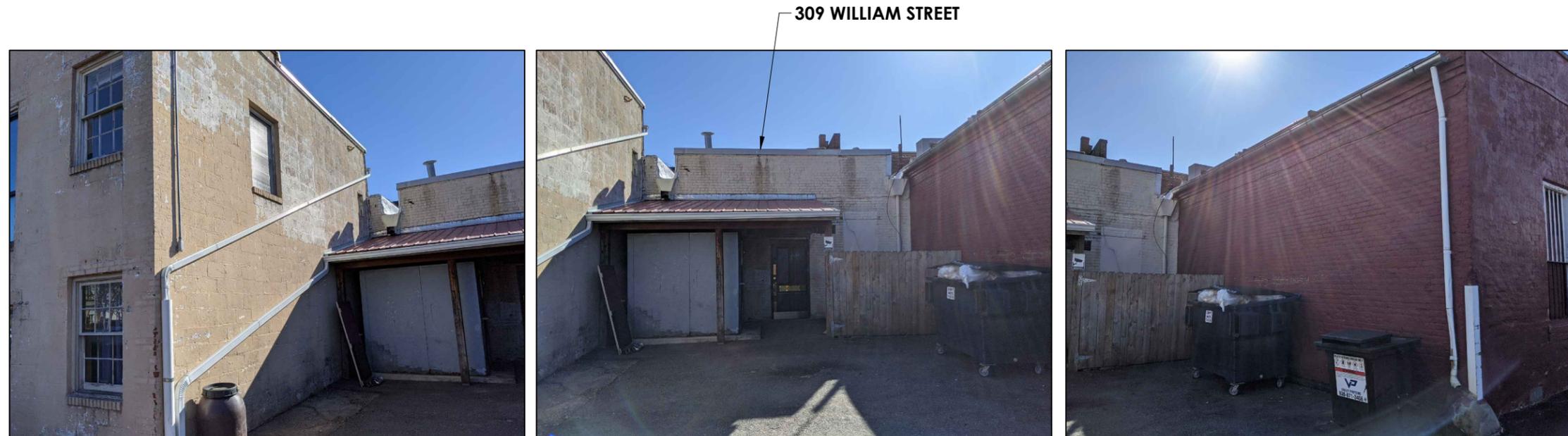
View from Amelia Street



309 WILLIAM STREET - EXISTING CONTEXT

SCALE: NTS

VIEW FROM WILLIAM STREET



309 WILLIAM STREET ALLEY - EXISTING CONTEXT

SCALE: NTS

VIEW FROM AMELIA & PRINCESS ANNE STREETS PARKING LOT

REVISIONS:

DRAWN: DAS

CHECKED:

SCALE: NOTED

DATE: 12 FEB 2020

PROJECT #: 2001

EXISTING
IMAGES



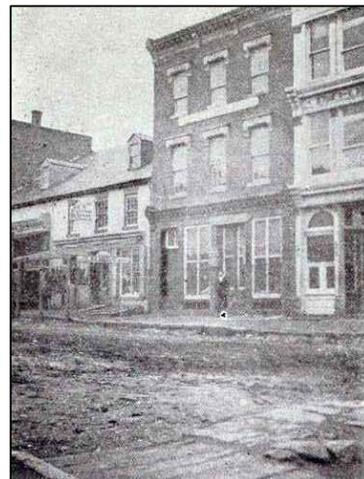
309 WILLIAM STREET - EXISTING IMAGE

SCALE: NTS (EXISTING STOREFRONT ALTERED THE ORIGINAL CHARACTER)

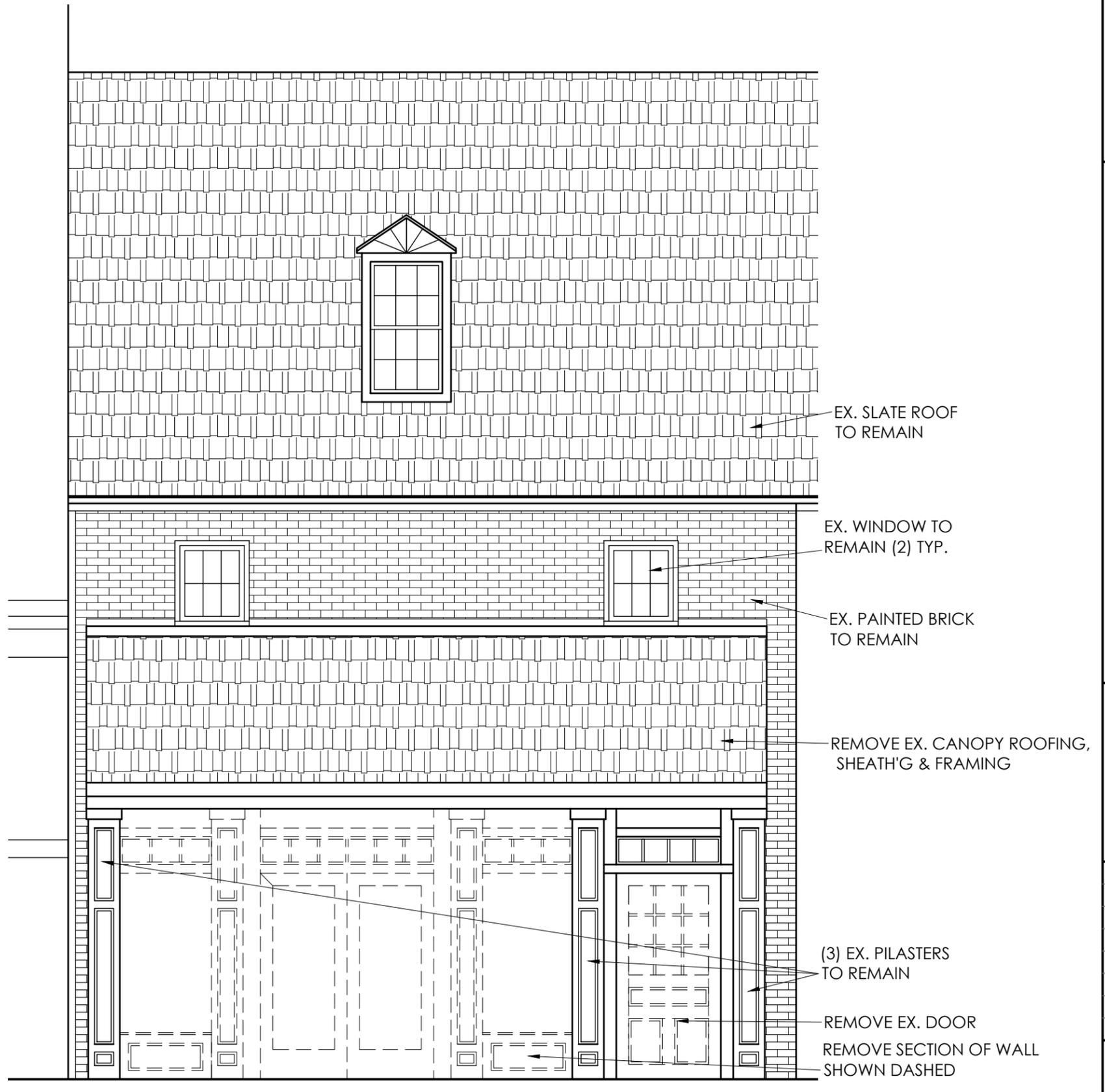
309 WILLIAM STREET

PROPERTY DATE 1832

THE EXISTING STOREFRONT WITH PAINTED WOOD PILASTERS & FALSE MANSARD SHINGLE ROOF ABOVE SIGNIFICANTLY ALTERED THE CHARACTER OF THE ORIGINAL STRUCTURE. AN EXACT DATE OF THESE ALTERATIONS IS NOT KNOWN BUT LIMITED INVESTIGATIVE STOREFRONT DEMOLITION REVEALED STUD FRAMING AND MATERIALS CONSISTENT WITH 1960-1970 CONSTRUCTION.



309 WILLIAM STREET
PARTIAL IMAGE



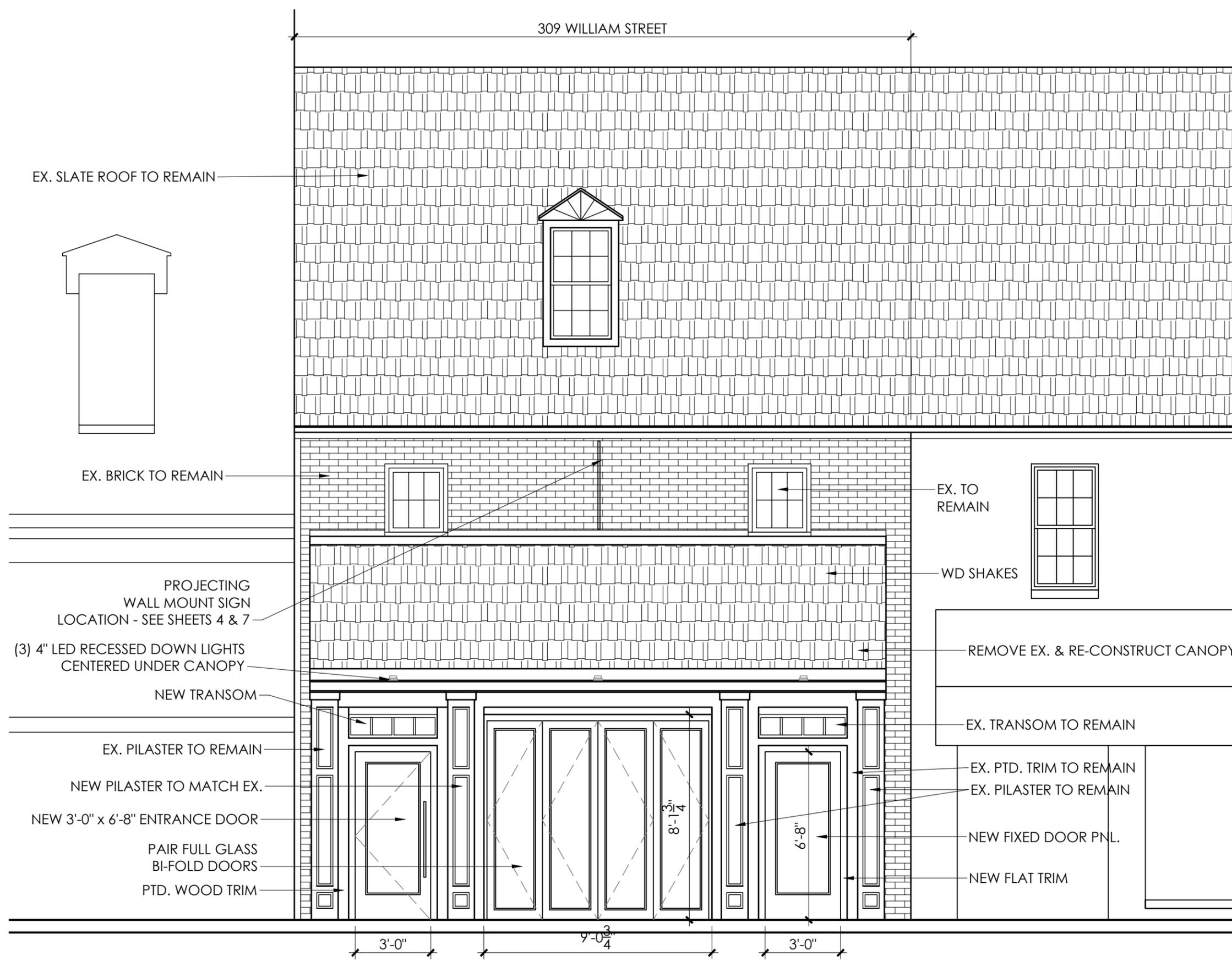
WILLIAM STREET ELEVATION - DEMOLITION

SCALE: 1/4" = 1'-0"

REVISIONS:	
DRAWN:	DAS
CHECKED:	
SCALE:	NOTED
DATE:	12 FEB 2020
PROJECT #:	2001

FACADE
DEMOLITION
PLAN

309 WILLIAM STREET
EXTERIOR ALTERATIONS
309 WILLIAM STREET
CITY OF FREDERICKSBURG, VIRGINIA



WILLIAM STREET ELEVATION - NEW
SCALE: 1/4" = 1'-0"

REVISIONS:	
DRAWN:	DAS
CHECKED:	
SCALE:	NOTED
DATE:	12 FEB 2020
PROJECT #:	2001

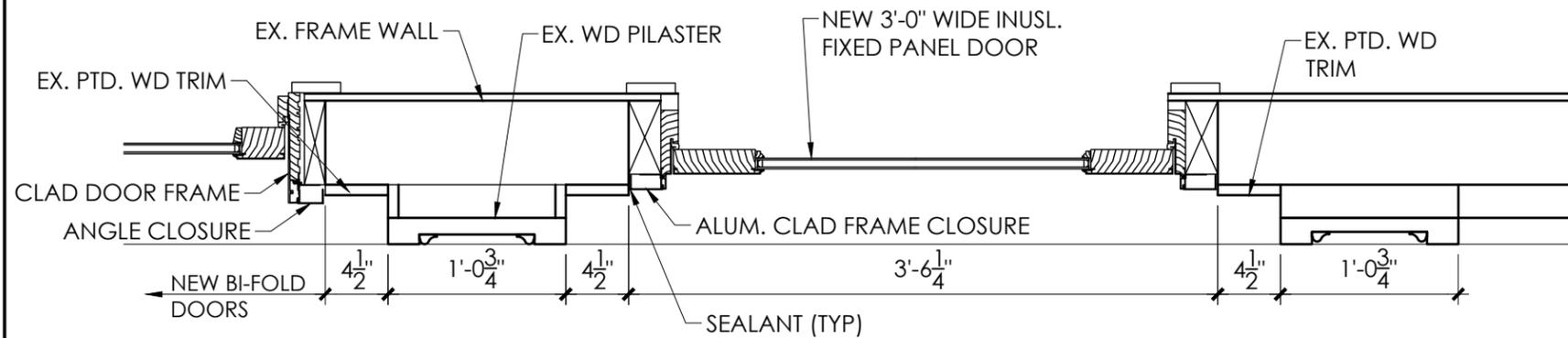
FACADE
NEW WORK
PLAN



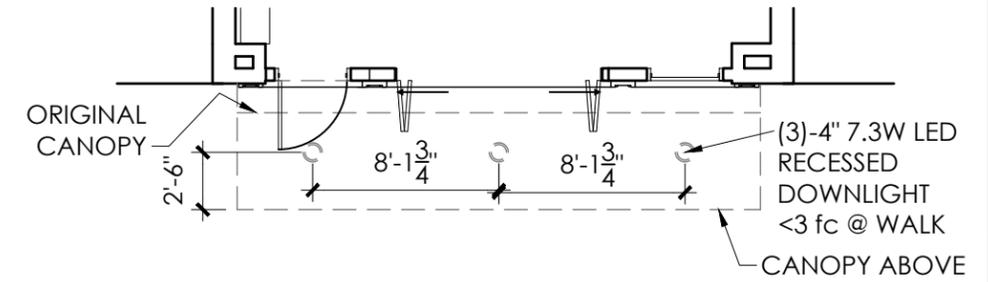
MATCH EX.
MATCH EX. TRIM PROFILE (TYP)



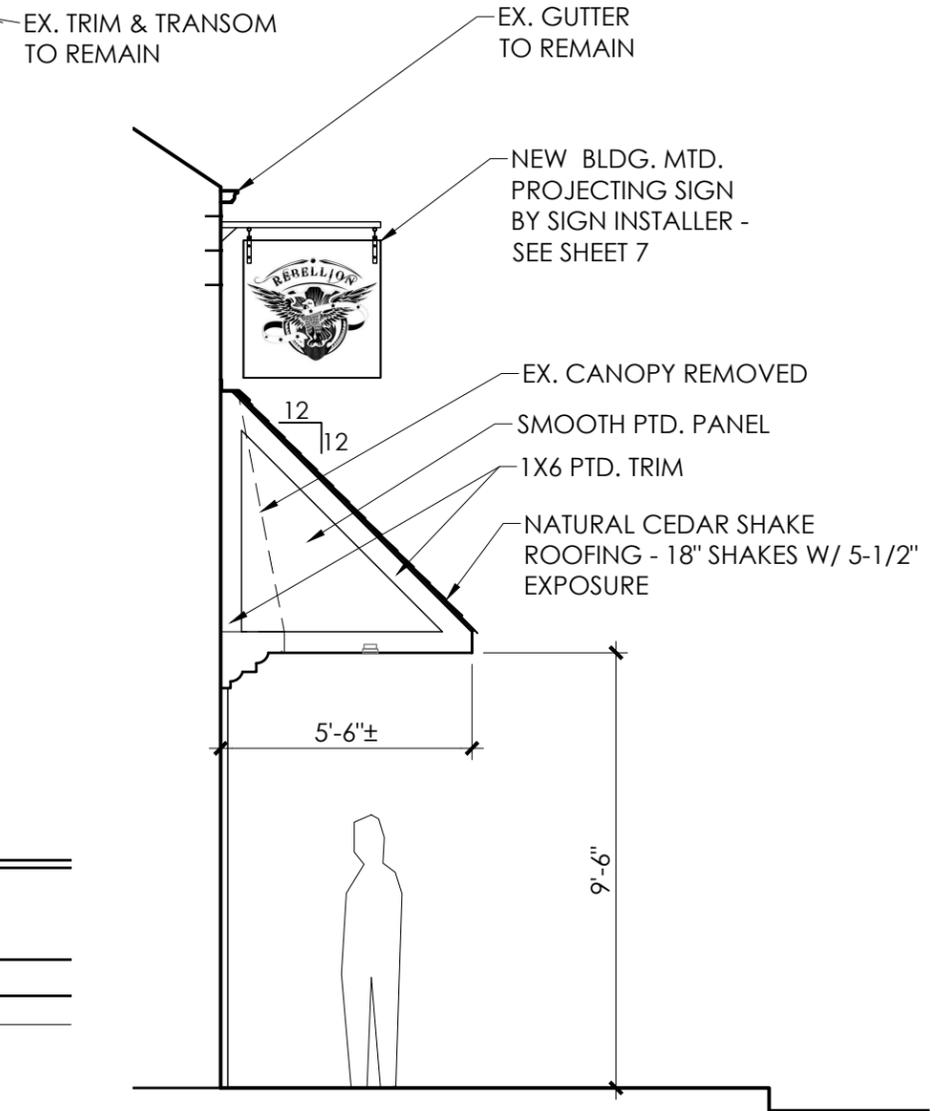
EX. TRIM TO REMAIN
REPLACE EX. DOOR W/ NEW DOOR & FRAME



ENLARGED PLAN DETAIL @ STOREFRONT
SCALE: 1" = 1'-0"



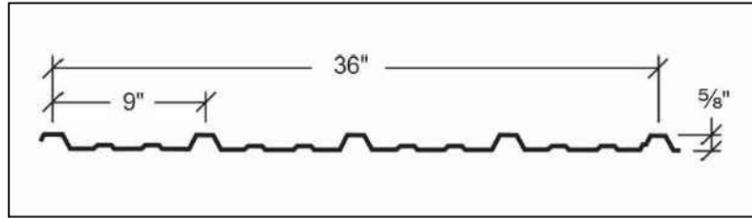
CANOPY LIGHTING PLAN
SCALE: 1/8" = 1'-0"



NEW CANOPY SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS:	
REV#1 27 FEB 2020	
DRAWN:	DAS
CHECKED:	
SCALE:	NOTED
DATE:	12 FEB 2020
PROJECT #:	2001

DETAILS

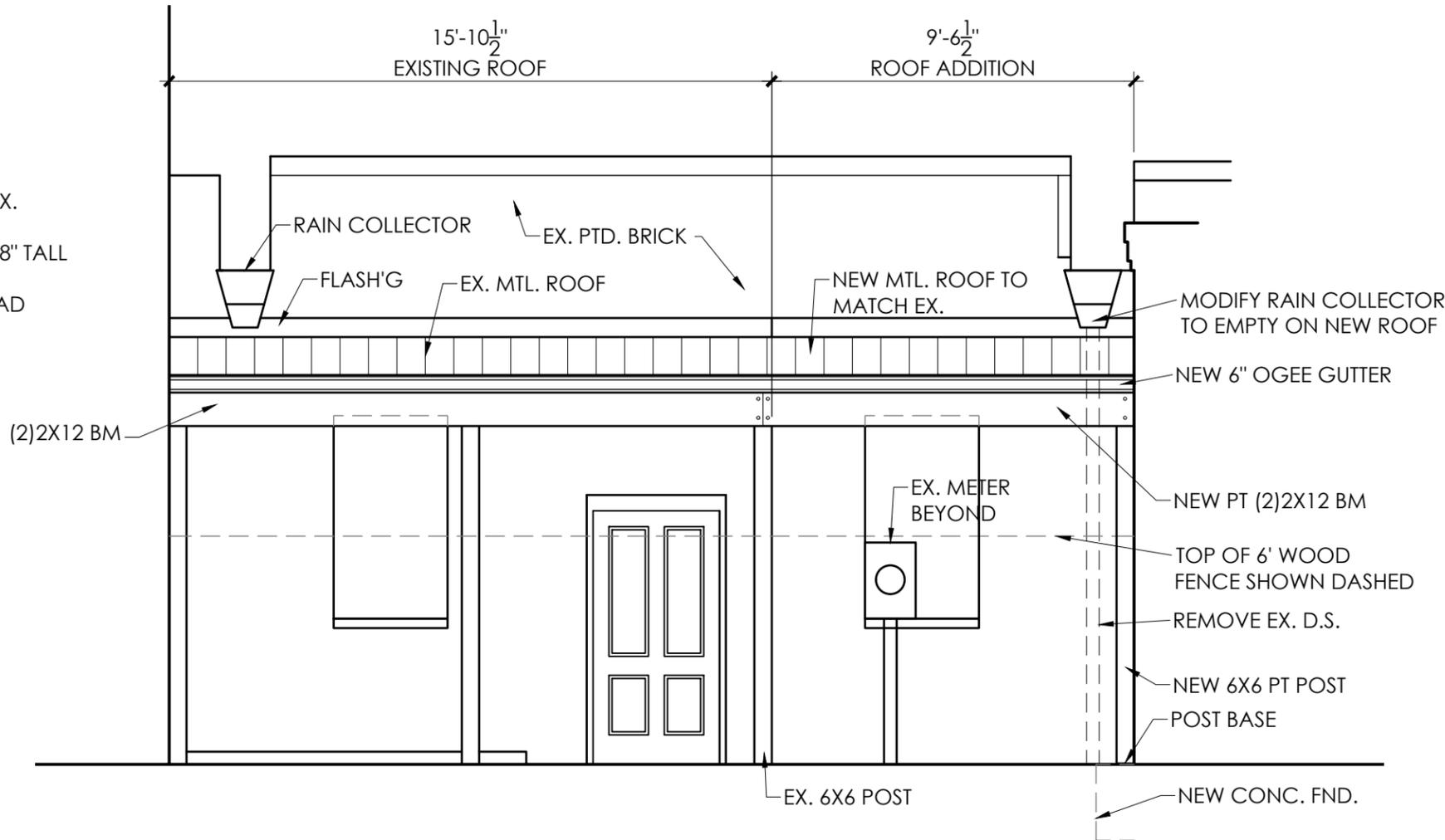


NEW ROOF TO MATCH EX. MTL. ROOF PROFILE - RIDGES ARE 9" O.C. & 5/8" TALL 26 GA. THICKNESS EQ. TO MCBI PERMA-CLAD



METAL ROOF PROFILE

SCALE: NONE



NORTH ALLEY ELEVATION

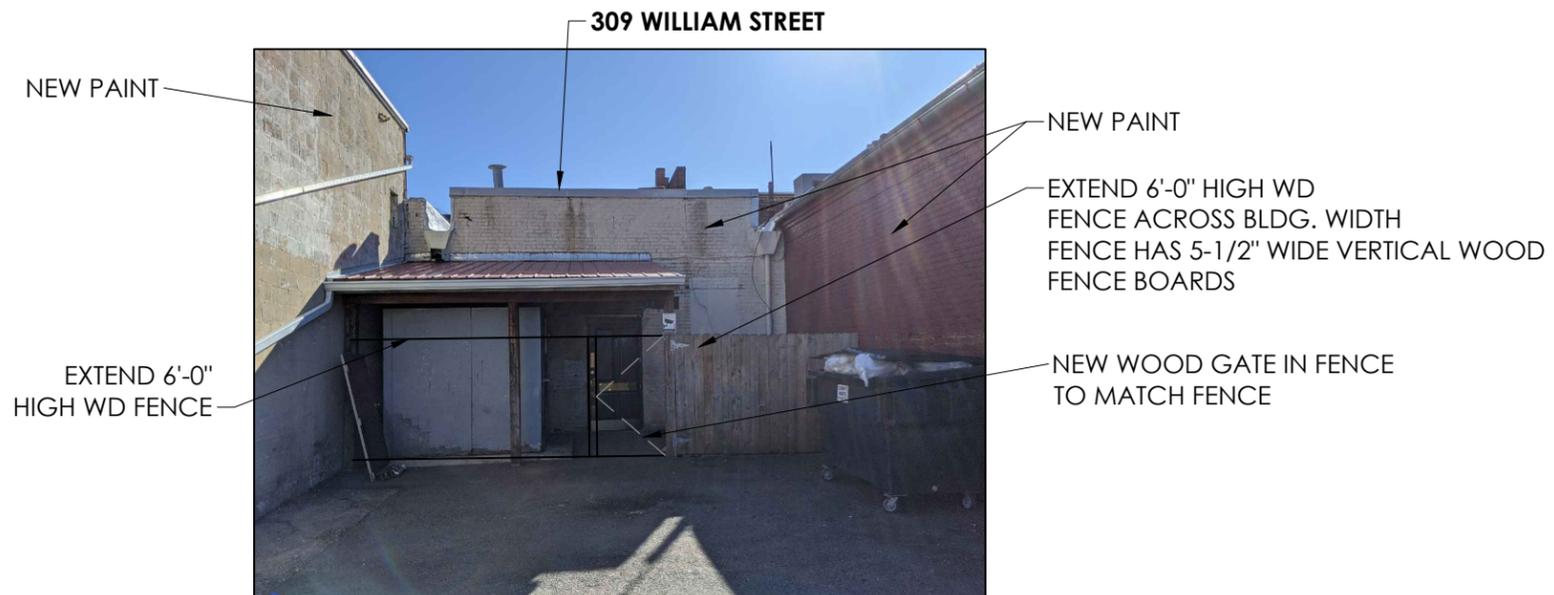
SCALE: 1/4" = 1'-0"



5-1/2" x 6'-0" TALL P.T WD PICKET

FENCE PICKET STYLE

SCALE: NONE



REVISIONS:	
DRAWN:	DAS
CHECKED:	
SCALE:	NOTED
DATE:	12 FEB 2020
PROJECT #:	2001

ALLEY ALTERATIONS

REVISIONS:

DRAWN: DAS

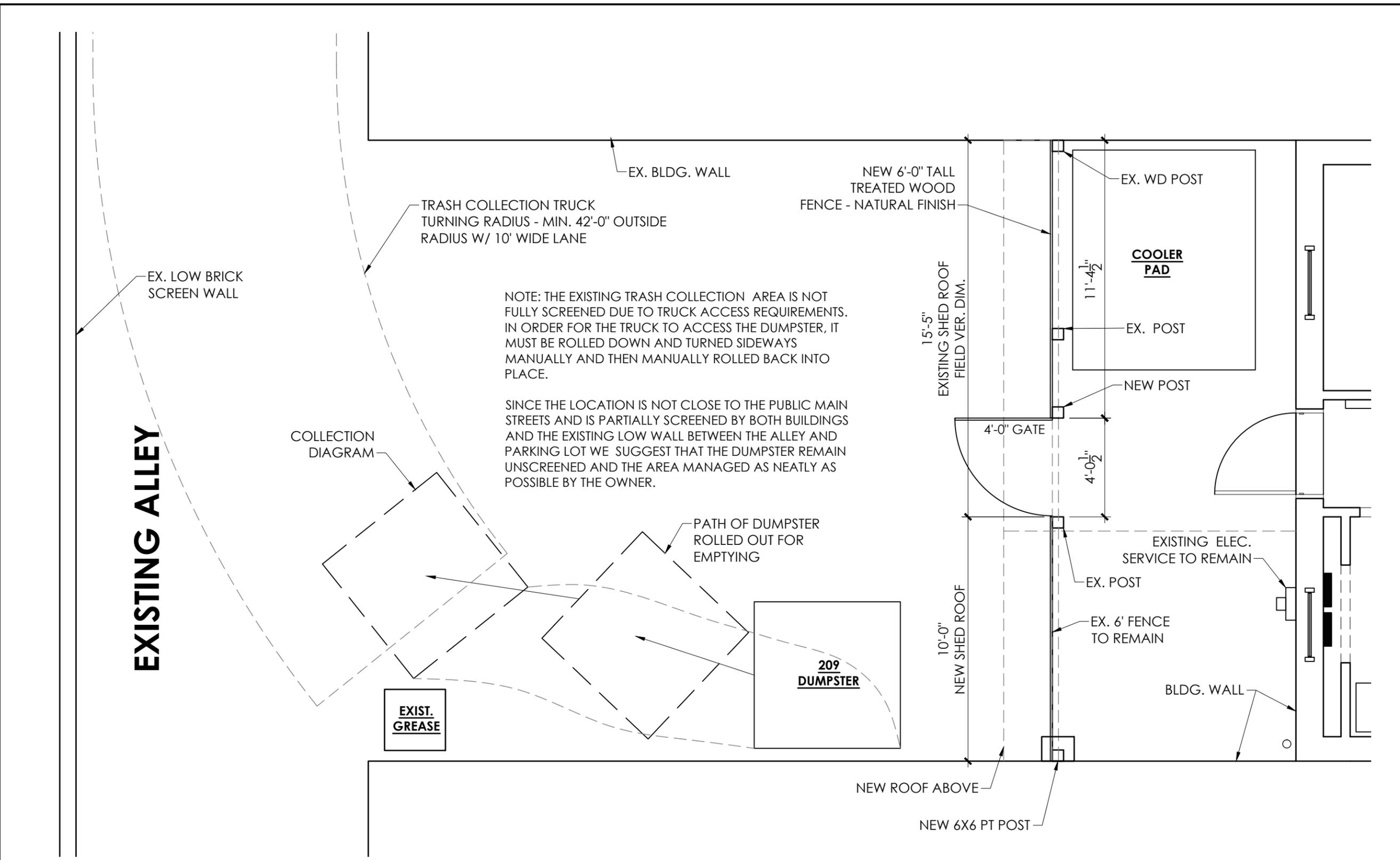
CHECKED:

SCALE: NOTED

DATE: 12 FEB 2020

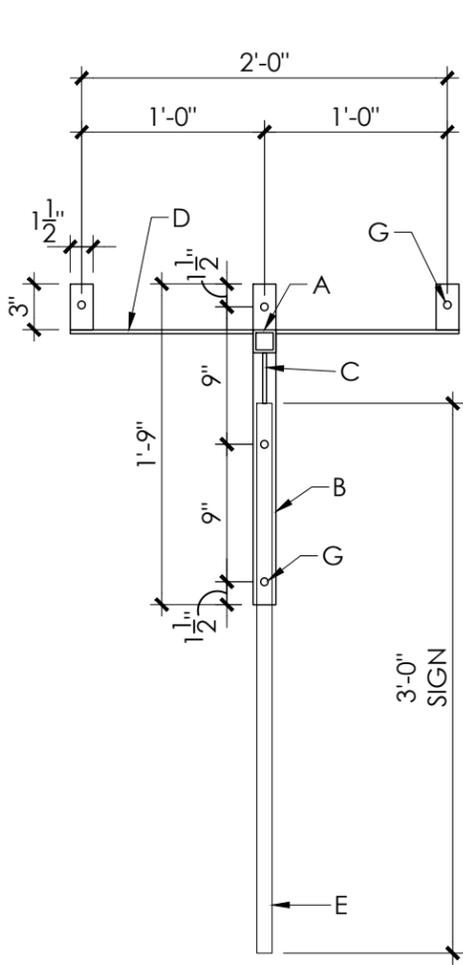
PROJECT #: 2001

ALLEY
 ALTERATIONS



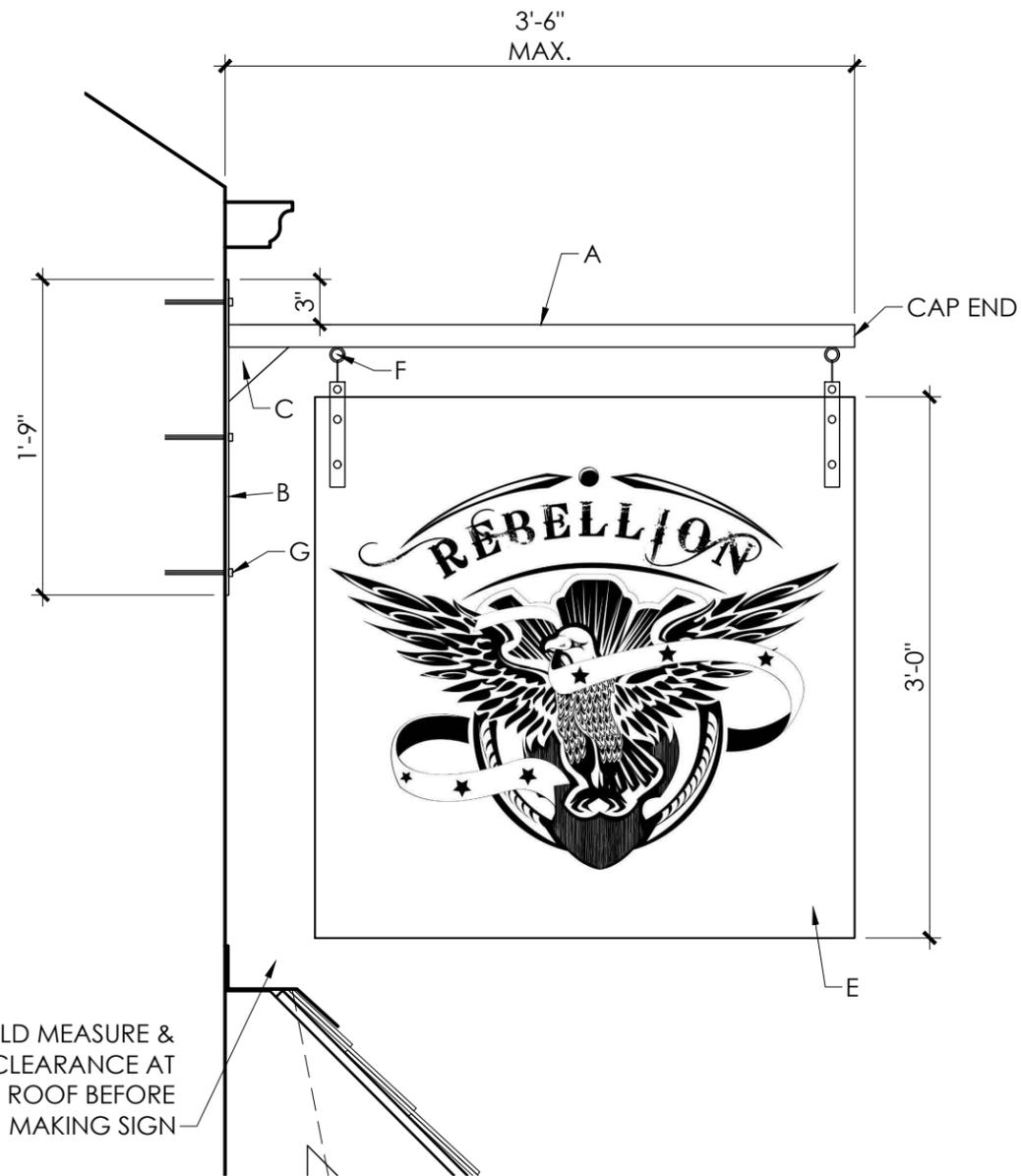
NORTH ALLEY PLAN

SCALE: 1/4" = 1'-0"



SIGN FRONT VIEW

SCALE: 1" = 1'-0"



SIGN SIDE VIEW

SCALE: 1" = 1'-0"

KEYED NOTES:

- A. 1-1/2 x 3/16" STL. TUBE
- B. WELDED 1-1/2 x 1/4 STL. PLATE
- C. WELDED 1/4" STL. BRACE
- D. WELDED 1" x 1/4" STL. HORIZ. SUPPORT BRACE
- E. 36"x36" WOOD SIGN WITH BURNED LOGO - WEIGHT APPROX. 32#
- F. PANEL ATTACHMENT: STL. HANGERS 1"x1/8" STL. W/ 1/4" x 1-1/2" SS BLOTS, LOCKNUTS, 5/16" EYE BOLTS WELDED
- G. BRACKET ATTACHMENT: (5) 1/2" X 4" GALV. LAG SCREWS IN LONG EXPANSION SHIELDS, GALV. WASHERS, EXPOSED HARDWARE PAINTED - INSTALLED IN BRICK MORTAR JOINTS ONLY.

GENERAL NOTES:

1. ALL EXPOSED FASTENERS STAINLESS STEEL OR HOT DIPPED GALVANIZED WHERE CONCEALED
2. DESIGN LOADS: WIND LOADS VuIt = 115 MPH, EXPOSURE B
3. DESIGN FOR SIGN ANCHORAGE ONLY FOR SIZE SHOWN.
4. NOTIFY ARCHITECT FOR DIRECTION IF EXISTING MASONRY IS DETERIORATED. DO NOT INSTALL IN LOOSE OR CRUMBLING MORTAR. DO NOT INSTALL ANCHORS IN EXISTING BRICK. INSTALL IN MORTAR JOINTS ONLY.

309 WILLIAM STREET
EXTERIOR ALTERATIONS
309 WILLIAM STREET
CITY OF FREDERICKSBURG, VIRGINIA

REVISIONS:

REV#1 27 FEB 2020

DRAWN: DAS

CHECKED:

SCALE: NOTED

DATE: 12 FEB 2020

PROJECT #: 2001

PROJECTING
SIGN DETAILS



MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: March 4, 2020 (for the March 9, 2020 hearing)
SUBJECT: Certificate of Appropriateness for exterior alteration at 405 Hanover Street

ISSUE

Jennifer and Kevin Riley request to construct a second story addition over the existing one-story section at the rear of this residential property.

RECOMMENDATION

Approval of the request for a Certificate of Appropriateness as submitted.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

Building Massing – Additions (Historic District Handbook, pg. 76)

1. Before a building is enlarged, the needed functions an addition is meant to address should be evaluated to see if they can be accommodated within the existing structure.
2. An addition, when needed, should not visually overpower the existing structure.
3. Locate additions on the rear or side (secondary) elevations. If an additional floor is to be constructed on top of a building, it should be set back from the main façade to minimize its visual impact.
4. To avoid compromising the integrity of historic buildings, additions should not be made to look older than they are. New construction should be differentiated from the old while still being compatible with the massing, scale, and architectural features of the original building. Replicas only confuse the importance of the original architecture.
5. Additions should be constructed so as not to impair the essential form and integrity of the original building.

BACKGROUND

This two-story, brick dwelling was constructed c.1821 in the Federal style. Topped by a slate-clad, side-gabled roof, the structure includes a mix of Flemish and American bond brick construction and a corbelled brick cornice runs beneath the eaves. A one-story, flat-roofed porch with molded entablature supported by Ionic columns spans the first floor on the front elevation. Fenestration consists of nine-over-nine and six-over-six, wood, double-hung sash windows with wood sills, splayed brick lintels, and louvered wood shutters. The single-leaf, paneled, sixteen-light entry door is

topped by a multi-light transom and splayed brick lintel. Known as the Missionary House, the residence was constructed by businessman and land developer Daniel Grinnan. This is a contributing structure in the Historic District.

The applicants propose to construct a second story above an existing one-story rear addition. Multiple one-story rear additions were in place by 1891, as well as a projecting porch on the west side of the additions. Historic maps show that some minor modifications to these additions may have taken place over the next several decades, but generally align with the structure present today. The addition is topped by a shallow-pitched, shed-style, metal-clad roof obscured by stepped brick parapets on either side. The surrounding porch is topped by metal-clad, hipped roofs.

The new second story is proposed to be constructed within the existing brick parapet walls and set in from the corner of the primary structure to allow visibility of the corbelled brick eave. The new shed-style roof will align with the lowest course of slate on the primary roof and be clad in EPDM membrane. The new side walls will terminate in a parapet that obscures the new roof. The walls will be clad in Boral nickel gap ship-lap siding with a prefinished aluminum wall cap. The siding will be painted to match the existing painted brick. The existing brick parapets will need to be reconstructed to allow for the installation of new floor framing. Once reconstructed, they will be topped by prefinished aluminum wall caps.

The proposed addition is simple in style and compatible with the character of the historic structure. The design carefully preserves the character-defining historic features and will not negatively impact the historic significance. Approval of the request as submitted is recommended.

APPROVAL CRITERIA

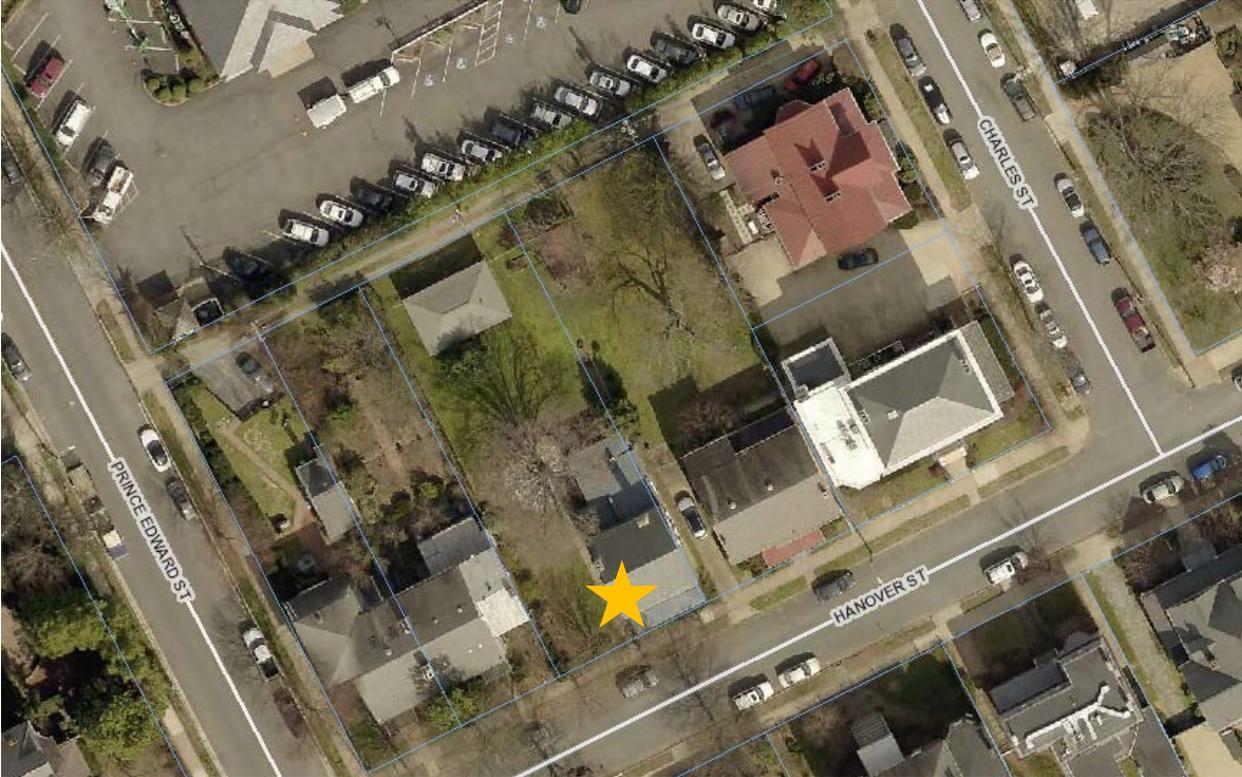
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation.

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or

			site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		X	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

1. Aerial photograph and front elevation view
2. Sanborn Fire Insurance maps, 1891 and 1927
3. Images
4. Roof plan
5. Elevation
6. Wall section



AERIAL

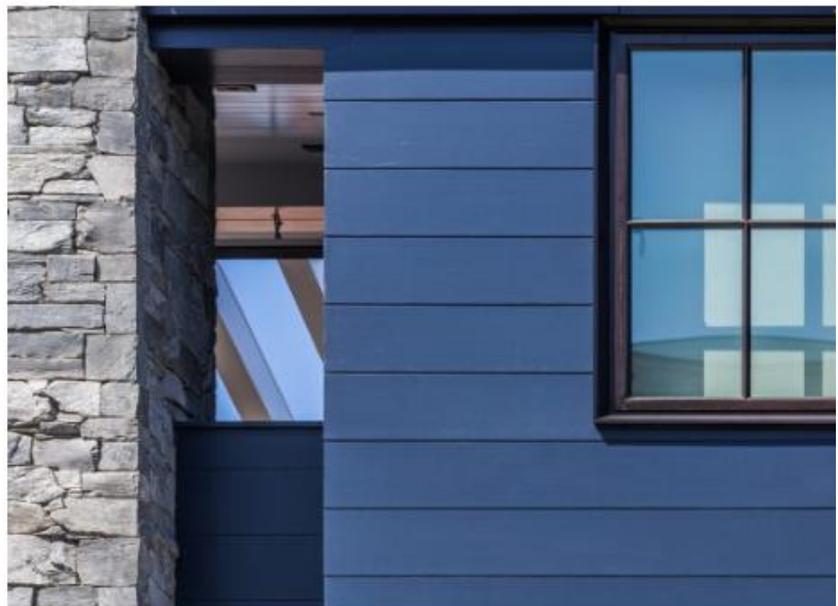


FRONT (SOUTH) ELEVATION

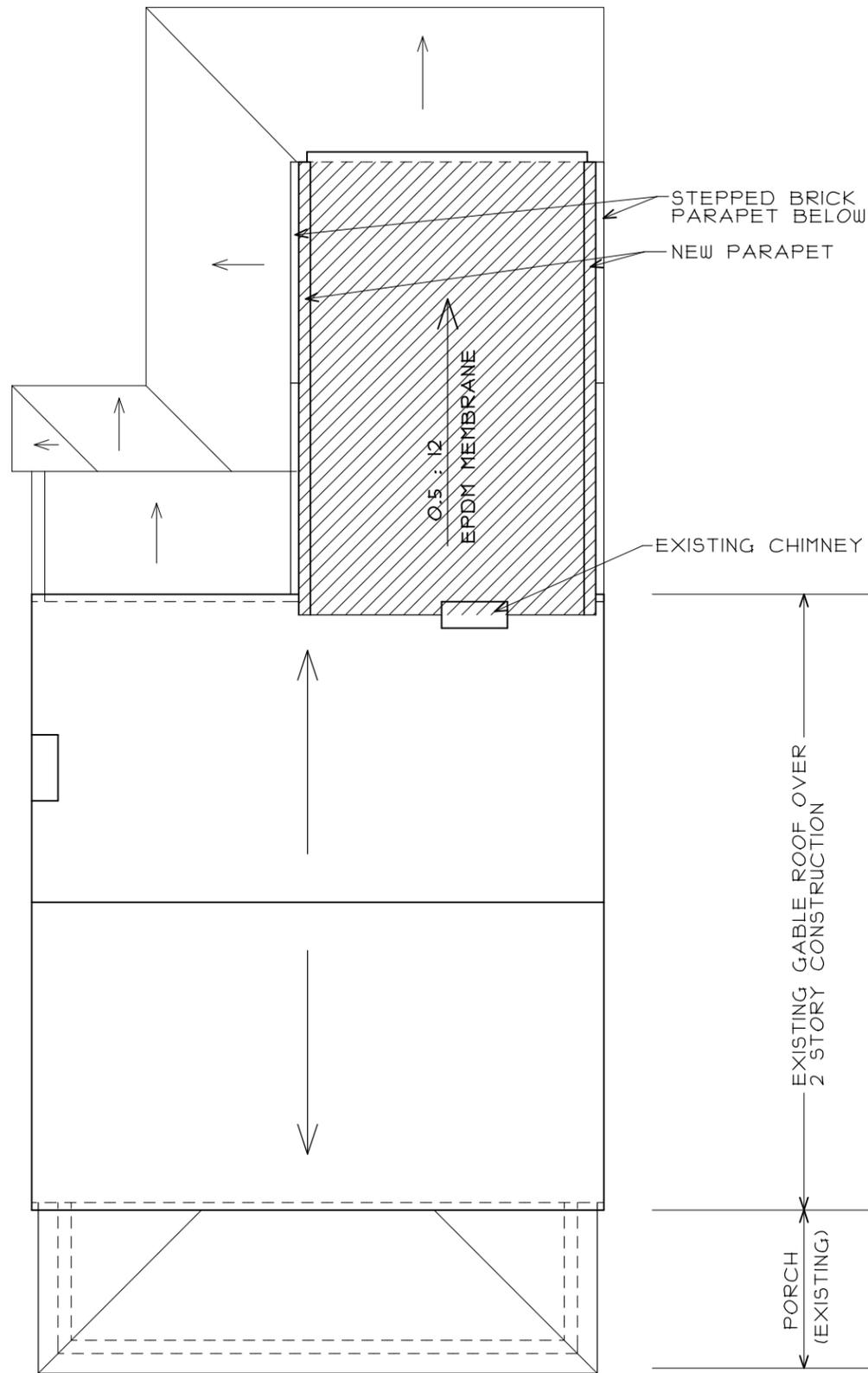
405 Hanover Street Proposed 2nd Floor Addition



View of single story at rear, parapet walls

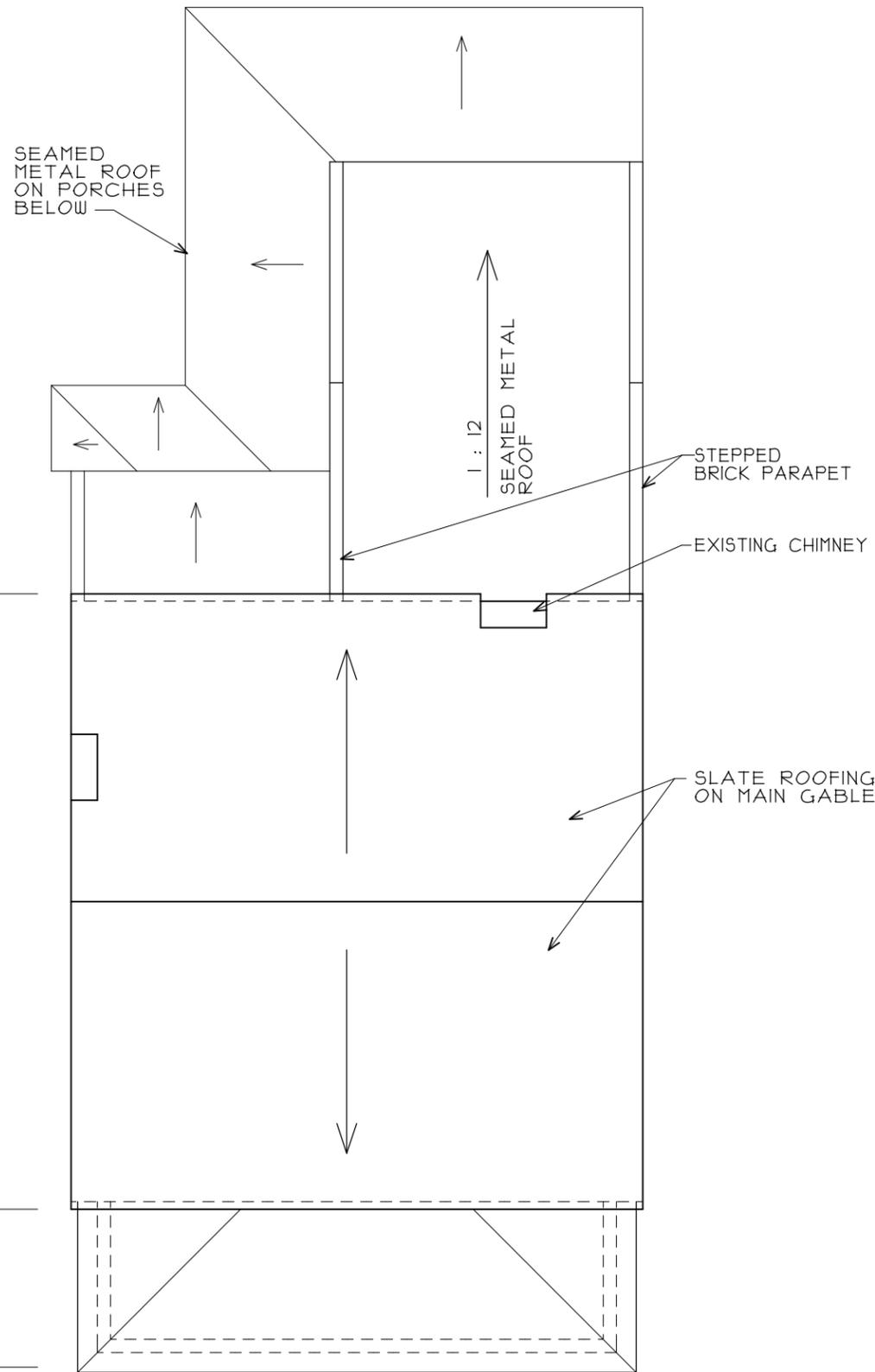


Nickel-gap siding by Boral TruExterior; shiplap with 3/32" reveal, mitered corners



ROOF PLAN WITH PROPOSED
2nd FLOOR ADDITION

1/8" = 1'-0"



ROOF PLAN:
EXISTING CONDITIONS

1/8" = 1'-0"

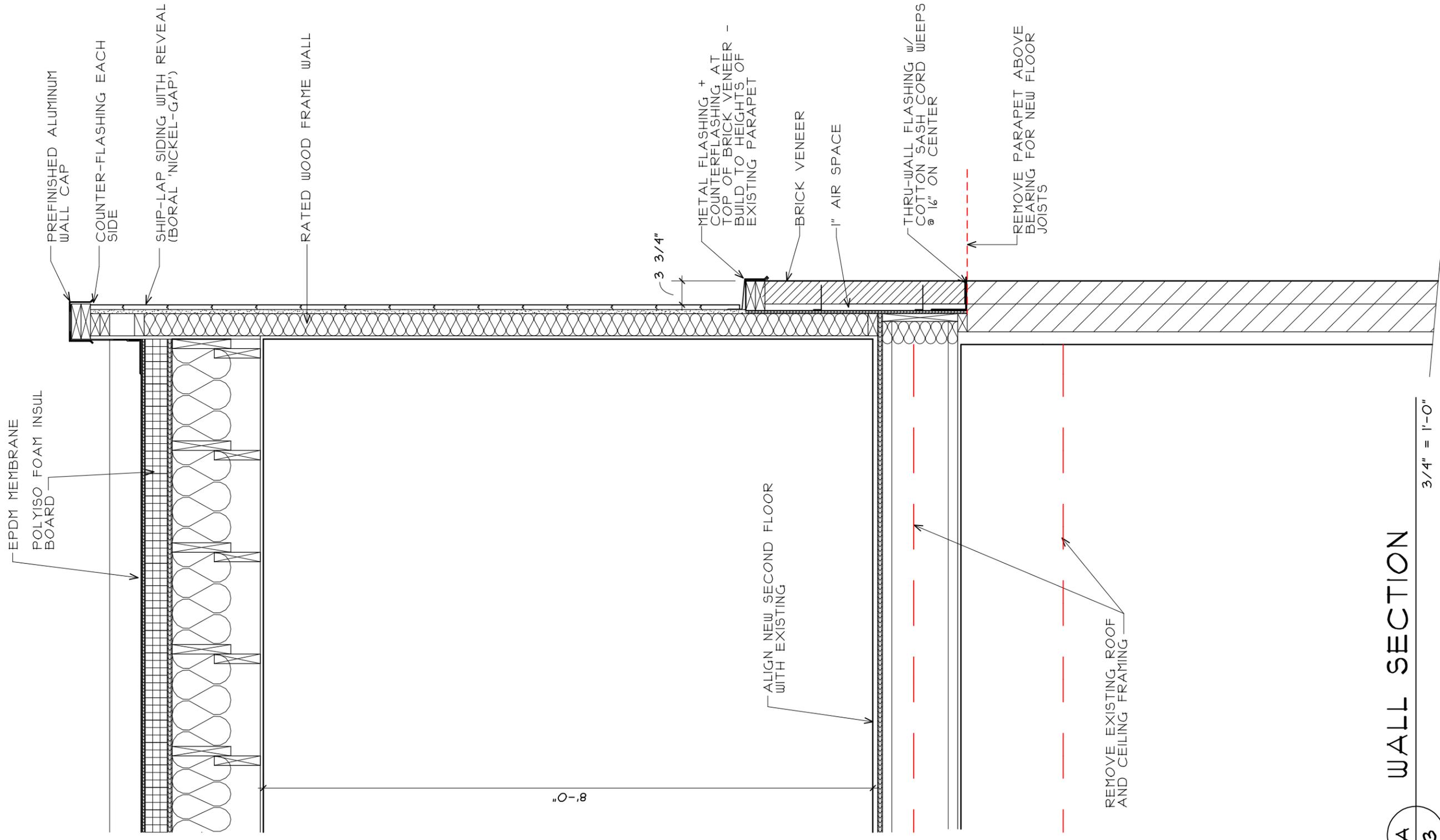
SCOPE OF WORK

- ADD SECOND STORY ON EXISTING ONE-STORY CONSTRUCTION ON REAR
- MAINTAIN EXISTING BRICK PARAPET WALLS, REBUILDING WHERE REMOVED TO INSTALL NEW FLOOR FRAMING
- SLOPE NEW ROOF TO REAR TO MATCH EXISTING (NECESSARY BECAUSE BUILDING IS ON PROPERTY LINE)
- INSET NEW EXTERIOR WALLS TO SEPARATE NEW FROM EXISTING AND MAINTAIN VISIBILITY OF CORBELED BRICK EAVE
- CLAD NEW EXTERIOR WALLS IN SHIPLAP SIDING AND CAP TO MATCH PARAPET CAPPING
- NEW LOW SLOPE ROOF TO ALIGN WITH LOWEST COURSE OF SLATE TO MINIMIZE DISTURBANCE OF ORIGINAL ROOF COVERING.



SIDE (EAST) ELEVATION: PROPOSED SECOND FLOOR ADDITION

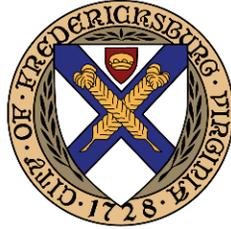
3/16" = 1'-0"



WALL SECTION

A
3

3/4" = 1'-0"



CITY OF FREDERICKSBURG, VIRGINIA PUBLIC NOTICE

Notice is hereby given that the Planning Commission of the City of Fredericksburg, Virginia, will hold a public hearing beginning at 7:30 p.m. on Wednesday, March 11, 2020, in the City Hall Council Chambers, 715 Princess Anne Street, Fredericksburg, Virginia, at which time interested persons may attend and present their views on the following application:

PUBLIC HEARING ITEMS

- SUP2020-02 Eufloria** requests a special use permit to operate a retail sales establishment at 915/917 Lafayette Boulevard (GPIN 7779-91-5882), specifically a florist shop. This property is located at the corner of Lafayette Boulevard and Willis Street. The property is zoned Commercial-Transitional. The Comprehensive Plan designates this area for Commercial Transitional/Office use, which has no recommended non-residential floor-area-ratio.
- UDOTA2020-02 Creative Maker District - The City of Fredericksburg** proposes to amend the Unified Development Ordinance to establish a new zoning district entitled “the Creative Maker District”. Amendments to § 72-2 Administration, 72-3 Zoning Districts, § 72-4 Use Standards, § 72-5 Development Standards, § 72-8 Definitions and Interpretations, and the consolidation of Form Based Code Rules in an Appendix are proposed to fully integrate the new zoning district into the existing Unified Development Ordinance. The establishment of the Creative Maker District is a recommendation of the Small Area Plan for Area 6 Princess Anne Street and Route 1 North. The new Creative Maker District will permit a mix of uses including residential, commercial, institutional, and some light industrial uses. The District will utilize a Form Based Code to ensure that infill development is compatible with existing urban fabric. The District also designates and incentivizes the preservation of “character structures” of unique architectural value located within this redevelopment district. For more information on this change please go to:
<https://www.fredericksburgva.gov/AgendaCenter/ViewFile/Item/10863?fileID=9055>
- RZ2020-02 – The City of Fredericksburg** proposes to amend the zoning map as follows to change the existing zoning of about 78 acres of land to the Creative Maker Zoning District. A map of the proposed rezoning is included in this ad. The Creative Maker District permits residential, commercial, institutional, and some industrial uses. A transect definition is used to differentiate the permitted density in the proposed district – the T-4M transect permits a by-right residential acreage of 8 units per acre and a non-residential floor area ratio of 0.7 and the T-5M transect permits a by-right residential acreage of 12 units per acre and a non-residential floor area ratio of 0.7. Both transects permit higher residential densities by special use permit as well as an increase in non-residential floor area ratio to 1.5 in the T-4M and 3.0 in the T-5M. The following charts list the specific properties proposed to be rezoned:

A. The following described land is proposed to be rezoned from Commercial Highway to Creative Maker District zoning:

Address	GPIN	Existing Zoning	Acr.
325 JEFF DAVIS HWY	7870-70-5210	CH	0.57
1709 CAROLINE ST	7789-08-2108	CH	3.93
PT 201 FORD ST	7789-08-0009	CH	0.02
208 210 HUNTER ST	7779-99-0190	CH	0.1
212 HUNTER ST	7779-99-0057	CH	0.09
214 HUNTER ST	7779-99-0014	CH	0.09
209-211 FORD ST	7779-98-8076	CH	0.13
213 215 FORD ST	7779-98-8024	CH	0.13
N/A CAROLINE ST	7779-98-7433	CH	0.05
1801 PRINCESS ANNE ST	7779-98-7056	CH	0.21
1900 CAROLINE ST	7779-98-6571	CH	0.17
N/A PRINCESS ANNE ST	7779-98-6117	CH	0.04
1808 PRINCESS ANNE ST	7779-98-4180	CH	0.45
1810 PRINCESS ANNE ST	7779-98-4125	CH	0.16
1900 PRINCESS ANNE ST	7779-98-3252	CH	0.12
1919 PRINCESS ANNE ST	7779-98-2663	CH	0.14
1902-1910 PRINCESS ANNE ST	7779-98-2371	CH	0.57
1912-1914 PRINCESS ANNE ST	7779-98-1480	CH	0.23
2105 PRINCESS ANNE ST	7779-98-0802	CH	0.14
2000 PRINCESS ANNE ST	7779-98-0581	CH	0.38
1700 PRINCESS ANNE ST	7779-97-7696	CH	0.79
N/A HUNTER ST	7779-89-9137	CH	0.07
N/A HUNTER ST	7779-89-9115	CH	0.07
216 HUNTER ST	7779-89-9070	CH	0.09
HUNTER STREET	7779-89-9014	CH	0.44
2217 PRINCESS ANNE ST	7779-89-7284	CH	2.8
2206 PRINCESS ANNE ST	7779-89-5070	CH	0.456
2216 PRINCESS ANNE ST	7779-89-4164	CH	1.44
2400 PRINCESS ANNE ST	7779-89-3359	CH	0.17
305 GERMANIA ST	7779-89-3325	CH	0.07

Address	GPIN	Existing Zoning	Acr.
2504 PRINCESS ANNE ST	7779-89-2600	CH	0.17
2404 PRINCESS ANNE ST	7779-89-2497	CH	0.17
306 PROGRESS ST	7779-89-2453	CH	0.07
2506-2508 PRINCESS ANNE ST	7779-89-1617	CH	0.39
305 PROGRESS ST	7779-89-1567	CH	0.1
301-305 BRIDGEWATER ST	7779-89-0855	CH	0.21
218 HUNTER ST	7779-88-9947	CH	0.09
2010 PRINCESS ANNE ST	7779-88-9692	CH	0.45
2113 PRINCESS ANNE ST	7779-88-8994	CH	0.12
2100 PRINCESS ANNE ST	7779-88-8830	CH	0.51
2200 PRINCESS ANNE ST	7779-88-6986	CH	0.2
2610 PRINCESS ANNE ST	7779-79-9993	CH	0.35
311 BRIDGEWATER ST	7779-79-9787	CH	0.27
317 BRIDGEWATER ST	7779-79-9619	CH	0.13
314 FORBES ST	7779-79-8894	CH	0.28
330 AMARET ST	7779-79-6841	CH	0.03
332 AMARET ST	7779-79-6739	CH	0.02
334 AMARET ST	7779-79-6728	CH	0.03
336 AMARET ST	7779-79-6716	CH	0.02
2609 RACE ST	7779-79-6640	CH	0.12
2611 2613 RACE ST	7779-79-6605	CH	0.2
400 JEFF DAVIS HWY & 401 AMARET ST	7779-79-5900	CH	0.11
338 AMARET ST	7779-79-5795	CH	0.02
340 AMARET ST	7779-79-5745	CH	0.52
400 AMARET ST	7779-79-4476	CH	1.46
442 BRIDGEWATER ST	7779-79-4184	CH	0.09
446 BRIDGEWATER ST	7779-79-4142	CH	0.11
401 & 405 JEFF DAVIS HWY	7779-79-3978	CH	0.47
417 JEFF DAVIS HWY	7779-79-2871	CH	0.84
429 JEFF DAVIS HWY	7779-79-2625	CH	0.27
2705 WELLFORD ST	7779-79-1731	CH	0.27

B. The following described land is proposed to be rezoned from Commercial Highway and Residential 2 to Creative Maker District (CM) zoning:

Address	GPIN	Existing Zoning	Acr.
203 FORD ST	7779-98-8220	CH/R2	1.47
1820 CAROLINE ST	7779-98-7406	CH/R2	0.14
N/A CAROLINE ST	7779-98-6352	CH/R2	0.77
1917 PRINCESS ANNE ST	7779-98-4519	CH/R2	2.36
2011 PRINCESS ANNE ST	7779-98-2737	CH/R2	1.59
2015-2017 PRINCESS ANNE ST	7779-98-1946	CH/R2	1.77

C. The following described land is proposed to be rezoned from Commercial Shopping Center to Creative Maker District (CM) zoning:

Address	GPIN	Existing Zoning	Acr.
2626 PRINCESS ANNE ST	7870-70-9129	CSC	0.08
2616 PR ANNE ST	7870-70-9013	CSC	0.03
2800 PRINCESS ANNE ST	7870-70-8400	CSC	0.48
314 JEFF DAVIS HWY	7870-70-8059	CSC	0.16
316 JEFF DAVIS HWY	7870-70-8026	CSC	0.08
318 JEFF DAVIS HWY	7870-70-8014	CSC	0.09
320 JEFF DAVIS HWY	7870-70-7100	CSC	2.32
322 JEFF DAVIS HWY	7779-79-7946	CSC	0.08
324 JEFF DAVIS HWY	7779-79-7925	CSC	0.05
326 JEFF DAVIS HWY	7779-79-7913	CSC	0.05
328 JEFF DAVIS HWY	7779-79-6991	CSC	0.09

D. The following described land is proposed to be rezoned from Commercial Transitional Office to Creative Maker District (CM) zoning:

Address	GPIN	Existing Zoning	Acr.
2615 PRINCESS ANNE ST	7870-80-1035	CT	0.24
2623 PRINCESS ANNE ST	7870-80-0232	CT	0.03
2619 PRINCESS ANNE ST	7870-80-0176	CT	0.05
2621 PRINCESS ANNE ST	7870-80-0159	CT	0.03
2408 VAN BUREN ST	7779-89-5600	CT	0.06
2400 VAN BUREN ST	7779-89-5572	CT	0.06
2402 VAN BUREN ST	7779-89-5554	CT	0.06
2404 VAN BUREN ST	7779-89-5546	CT	0.06
2406 VAN BUREN ST	7779-89-5528	CT	0.06
2410 VAN BUREN ST	7779-89-4692	CT	0.06
2415 PRINCESS ANNE ST	7779-89-4514	CT	0.37
2401 PRINCESS ANNE ST	7779-89-4496	CT	0.16
223 PROGRESS ST	7779-89-3710	CT	0.13

Address	GPIN	Existing Zoning	Acr.
431 ELM ST	7779-88-0715	CT	0.06
2209 FALL HILL AVE	7779-88-0550	CT	0.12
2211 2213 & 2215 FALL HILL AVE	7779-88-0514	CT	0.19
316 BRIDGEWATER ST	7779-79-9690	CT	0.13
2500 CHARLES ST	7779-79-9349	CT	0.25
408 PROGRESS ST	7779-79-9281	CT	0.06
410 412 PROGRESS ST	7779-79-9158	CT	0.12
PROGRESS & GERMANIA ST	7779-79-9066	CT	0.60
322 FORBES ST	7779-79-8840	CT	0.05
2607 CHARLES ST	7779-79-8783	CT	0.12
324 FORBES ST	7779-79-8738	CT	0.06
326 FORBES ST	7779-79-8716	CT	0.07
401 BRIDGEWATER ST	7779-79-8602	CT	0.09

226 228 BRIDGEWATER ST	7779-89-2748	CT	0.19
2501 PRINCESS ANNE ST	7779-89-2687	CT	0.09
311 GERMANIA ST	7779-89-2390	CT	0.09
308 PROGRESS ST	7779-89-2359	CT	0.1
2405 CHARLES ST	7779-89-2331	CT	0.124
317 GERMANIA ST	7779-89-2246	CT	0.08
2300 CHARLES ST	7779-89-2062	CT	0.51
2601 PRINCESS ANNE ST	7779-89-1995	CT	0.35
309 PROGRESS ST	7779-89-1535	CT	0.12
312 & 314 PROGRESS ST	7779-89-1387	CT	0.25
2404 CHARLES ST	7779-89-1201	CT	0.12
2400 CHARLES ST	7779-89-1137	CT	0.13
406 GERMANIA ST	7779-89-1072	CT	0.06
408 GERMANIA ST	7779-89-1051	CT	0.06
2511 CHARLES ST	7779-89-0526	CT	0.14
2501 2503 CHARLES ST	7779-89-0489	CT	0.24
2410 CHARLES ST	7779-89-0265	CT	0.12
2412 CHARLES ST	7779-89-0248	CT	0.13
406 PROGRESS ST	7779-89-0203	CT	0.06
409 GERMANIA ST	7779-89-0164	CT	0.13
411 413 GERMANIA ST	7779-89-0121	CT	0.12
309 HUNTER ST & 2201 CHARLES ST	7779-88-6809	CT	0.33
2200 CHARLES ST	7779-88-4832	CT	0.51
416 ELM ST & HUNTER ST	7779-88-3729	CT	0.97
418 ELM ST	7779-88-3669	CT	0.24
407 409 ELM ST	7779-88-2933	CT	0.12
421 HUNTER ST	7779-88-2693	CT	0.09
422 ELM ST	7779-88-2629	CT	0.18
435 HUNTER ST	7779-88-2525	CT	0.35
411 ELM ST	7779-88-1990	CT	0.12
415 ELM ST	7779-88-1857	CT	0.12
434 ELM STREET	7779-88-1631	CT	0.59
2201 FALL HILL AVE	7779-88-1424	CT	0.07
2205 FALL HILL AVE	7779-88-1407	CT	0.12
425 ELM ST	7779-88-0870	CT	0.06

2510 CHARLES ST	7779-79-8495	CT	0.12
2514 CHARLES ST	7779-79-8469	CT	0.13
408 BRIDGEWATER ST	7779-79-8412	CT	0.18
409-417 PROGRESS ST	7779-79-8330	CT	0.48
2604 CHARLES ST	7779-79-7626	CT	0.12
2610 CHARLES ST	7779-79-7609	CT	0.06
405-409 BRIDGEWATER ST	7779-79-7548	CT	0.22
411 BRIDGEWATER ST	7779-79-7504	CT	0.06
412 BRIDGEWATER ST	7779-79-7379	CT	0.06
414 BRIDGEWATER ST	7779-79-7357	CT	0.06
416 BRIDGEWATER ST	7779-79-7325	CT	0.12
420 BRIDGEWATER ST	7779-79-7302	CT	0.06
423 PROGRESS ST	7779-79-7232	CT	0.12
2616 CHARLES ST	7779-79-6772	CT	0.13
413 BRIDGEWATER ST	7779-79-6583	CT	0.06
415 BRIDGEWATER ST	7779-79-6561	CT	0.07
422 BRIDGEWATER ST	7779-79-6279	CT	0.12
426 BRIDGEWATER ST	7779-79-6236	CT	0.12
427 PROGRESS ST	7779-79-6199	CT	0.12
431 PROGRESS ST	7779-79-6156	CT	0.12
435 PROGRESS ST	7779-79-6112	CT	0.12
430 BRIDGEWATER ST	7779-79-5293	CT	0.12
434 BRIDGEWATER ST	7779-79-5250	CT	0.12
438 BRIDGEWATER ST	7779-79-5127	CT	0.12
439 PROGRESS ST	7779-79-5089	CT	0.12
443 PROGRESS ST	7779-79-5036	CT	0.11
2501 FALL HILL AVE	7779-79-4090	CT	0.23
2507 FALL HILL AVE	7779-79-4033	CT	0.12
2511 FALL HILL AVE	7779-79-3096	CT	0.14
2515 FALL HILL AVE	7779-79-3058	CT	0.08
2301 FALL HILL AVE	7779-78-9885	CT	1.73
433 ELM ST	7779-78-9793	CT	0.06
435 ELM ST	7779-78-9772	CT	0.06
437 ELM ST	7779-78-9750	CT	0.08
2401 FALL HILL AVE	7779-78-7954	CT	1.59
2300 FALL HILL AVE	7779-78-7426	CT	6

E. The following described land is proposed to be rezoned from Residential 2 to Creative Maker District (CM) zoning:

Address	GPIN	Existing Zoning	Acr.
2108 CAROLINE ST	7779-99-1250	R2	0.07
2106 CAROLINE ST	7779-99-1231	R2	0.07

2104 CAROLINE ST	7779-99-1213	R2	0.07
2102 CAROLINE ST	7779-99-1205	R2	0.07
2110 CAROLINE ST	7779-99-1167	R2	0.14
2100 CAROLINE ST	7779-99-0268	R2	0.25

F. The following described land is proposed to be rezoned from Residential 30 to Creative Maker District (CM) zoning:

Address	GPIN	Existing Zoning	Acr.
2216 CAROLINE ST	7779-89-9415	R30	2.01

G. The land zoned Creative Maker District (CM) is proposed to be removed from the Princess Anne Street Corridor Overlay Subdistrict.

For more information on this change please go to:

<https://www.fredericksburgva.gov/AgendaCenter/ViewFile/Item/10863?fileID=9055>

4. UDOTA2020-03 Parking – The City of Fredericksburg proposes amendments to the parking regulations in the Unified Development Ordinance. The purpose of these amendments is to encourage quality development/redevelopment Downtown and in Planned Development areas in accordance with the City’s Comprehensive Plan. The changes are an appropriate application of good planning practices to enable communities to achieve walkable urban places with an appropriate mixture of land uses and open space. Finally, the changes are intended to help the City achieve more sustainable development with less impervious area and reduced need for stormwater facilities. The proposed amendments are to:

§ 72-53.1 Parking and Loading. These amendments address the applicability of the parking standards, the standardization of a “Shared Parking Factor”, and a general reduction of the amount of parking required for various use types in the Minimum Off-Street Parking Standards table.

§ 72-53.2 Parking Standards for Single-Family Development. These amendments update the terminology used to identify the maximum area available for vehicular use.

§ 72-53.3 Alternative Parking Plans. These Amendments address shared parking, off-site parking, parking reductions, and the Downtown Parking fund including the modification of the Downtown Parking District boundary.

§ 72-53.4 Bicycle Parking. These Amendments clarify when and for which uses bicycle parking is required to serve.

For more information on this change please go to:

<https://www.fredericksburgva.gov/AgendaCenter/ViewFile/Item/10862?fileID=9054>

5. UDOTA2020-04 Residential Definitions - The City of Fredericksburg proposes to amend Unified Development Ordinance § 72-8 Definitions and Interpretations to update certain definitions and regulations regarding residential uses. The purpose of these updates is to clarify the City’s residential definitions so they match the types of “missing middle” housing existing in the City’s neighborhoods and will not result in an increase in residential density. These changes will make existing uses legally conforming so that they can be maintained and

modernized and will also permit newer infill to mimic historical sustainable patterns of growth. Specifically, the ordinance clearly differentiates among the “dwelling, duplex,” “dwelling, single-family attached,” and “dwelling, multi-family” use types by removing definitional overlap. In general, the amendment proposes to clarify the following terms:

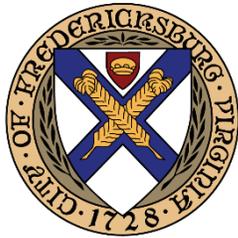
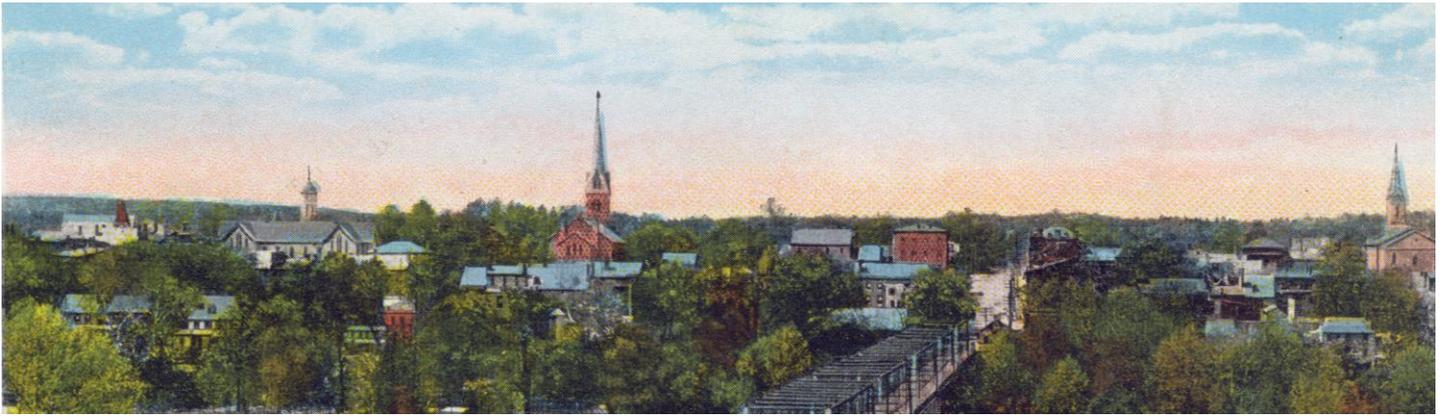
- ‘Duplex’ applies to any structure with two dwellings;
- ‘Single-Family Attached’ applies to triplexes and quadplexes when three or four dwellings are on the same parcel and to townhouses when three or more dwellings are attached but on separate lots; and
- ‘Multi-family’ applies to five or more dwellings on the same lot.

To accompany this change, the separation requirements for the setback of single-family attached dwellings in Article 4 are also revised. For more information on this change please go to:

<https://www.fredericksburgva.gov/AgendaCenter/ViewFile/Item/10861?fileID=9053>

Information pertinent to the application will be available for examination by the public in the Department of Community Planning and Building (Room 209), 715 Princess Anne Street (City Hall), during regular business hours (8:15 a.m. - 4:30 p.m. Monday through Friday). Additional information will be available on the City website, the Friday before the Planning Commission meeting. Please check the Planning Commission homepage.

Persons requiring accommodations to facilitate participation are encouraged to contact the Planning Services Division at least five (5) days prior to the meeting. Questions regarding the above may be directed to the Planning Services Division at (540) 372-1179.



PUBLIC MEETING

for the

Historic District Handbook Update

The City of Fredericksburg is seeking public input on updates to the Historic District Handbook. The Handbook is a resource for residents, property owners, and business owners and contains the design guidelines used to evaluate changes to properties and new construction in the Historic District. Two public meeting opportunities will be provided:

- Sunday, March 8, 2020 at 4:00 p.m. in the Renwick courtroom, 815 Princess Anne Street
- Thursday, March 12, 2020 at 5:00 p.m. in the third floor conference room, Executive Plaza, 601 Caroline Street

The public is also invited to complete a survey about the Historic District Handbook at: <https://forms.gle/9vEr962S5W6ZLUYb7>. The survey will remain open until Friday, March 27, 2020.