



**ARCHITECTURAL REVIEW BOARD
CITY OF FREDERICKSBURG, VIRGINIA
AGENDA
February 10, 2020
7:00 P.M.
COUNCIL CHAMBERS, CITY HALL**

Agenda

1. Call To Order
2. Determination Of A Quorum
3. Determination That Public Notice Requirements Have Been Met

- 3.I. Public Hearing Notice

Documents:

[2 2020-02-10_2NDPRINT_PUBLICNOTICE_ARBHEARING.PDF](#)

4. Approval Of Agenda
5. Review Of Minutes
- 5.I. January 13, 2020 Meeting Minutes

Documents:

[3 2020-01-13 ARBMINUTES DRAFT.PDF](#)

6. Disclosure Of Ex Parte Communication
7. Disclosure Of Conflicts Of Interest
8. Consent Agenda
- 8.I. COA 2020-07 - 317 Dixon Street

Documents:

[4 COA 2020-07_ADMINISTRATIVE REVIEW_317 DIXON STREET_02-10-2020-SIGNED.PDF](#)

9. Public Hearing

9.I. Accessory Structures

9.I.i. COA 2020-02 - 303 Fauquier Street

Documents:

[5 COA 2020-02_ARBMEMO_303 FAUQUIER STREET.PDF](#)

9.II. Alterations

9.II.i. COA 2020-03 - 308 Caroline Street

Documents:

[6 COA 2020-03_ARBMEMO_308 CAROLINE STREET.PDF](#)

9.II.ii. COA 2020-05 - 203 Ford Street

Documents:

[7 COA 2020-05_ARBMEMO_203 FORD STREET.PDF](#)

9.II.iii. COA 2020-06 - 520 Caroline Street

Documents:

[8 COA 2020-06_ARBMEMO_520 CAROLINE STREET.PDF](#)

9.III. Demolition/New Construction

9.III.i. COA 2020-04 - 1005 Sophia Street

Documents:

[9 COA 2020-04_ARBMEMO_1005 SOPHIA STREET.PDF](#)

10. General Public Comment

11. Other Business

11.I. Planning Commission Public Hearing Notice

Documents:

[10 2020-02-12_PC PUBLIC HEARING ADVERTISEMENT.PDF](#)

12. Staff Update

12.I. Archaeology Ordinance

12.II. Historic District Handbook Update

13. Committee Report

14. Chairman's Report

15. Adjournment



NOTICE OF PUBLIC HEARING

ARCHITECTURAL REVIEW BOARD

CITY OF FREDERICKSBURG, VIRGINIA

Notice is hereby given that the Architectural Review Board will hold a public hearing on Monday, February 10, 2020, beginning at 7:00 p.m. in Council Chambers, City Hall, 715 Princess Anne Street, Fredericksburg, Virginia and may take action on the following applications:

1. 303 Fauquier Street – Khrystopher Scott requests to install signs, wood fencing, and accessory structures including a stage and bar in the rear yard of this commercial property. (COA 2020-02)
2. 308 Caroline Street – Andy Fitch requests to make alterations to this single-family residence, including construction of an elevator shaft on the south side elevation, enclosure of the second-story inset porch, and enclosure of the inset side patio on the first floor. (COA 2020-03)
3. 1005 Sophia Street – James E. Jarrell IV requests to demolish the existing two-story commercial building on this site and requests approval of the site planning, scale, and massing of a new three-story commercial building. (COA 2020-04)
4. 203 Ford Street – Ed Whelan requests to make alterations to the former Washington Woolen Mills building to convert it to mixed use, including the construction of entry stairs on Ford Street, installation of metal fencing and rooftop railings, construction of three elevator shafts, and the addition of six basement windows along Caroline Street. (COA 2020-05)
5. 520 Caroline Street – Nathanael Ulfers requests to rebuild the wood entry stairs and bulkhead doors, including making alterations to the design, for the Agora coffee shop business. (COA 2020-06)

The public is invited to attend this hearing and present their views on these items.

Applications for signs, fences, minor architectural elements, and alterations for the purpose of temporary emergency stabilization are reviewed administratively and submitted to the ARB on a consent agenda at its public meeting. The ARB may consent to the administrative decision, modify the decision, or reverse the decision on these applications. The following applications will be submitted to the ARB at the February 10, 2020 meeting: **317 Dixon Street – Signs** (COA 2020-07). Persons affected may appear and present their views on these applications during the public comment period of the ARB agenda.

Information pertinent to the above applications is available for examination by the public in the Planning Office (Room 209), in City Hall, during regular business hours (8:00 a.m. to 4:30 p.m.), Monday through Friday. Additional information will be available on the City website on the Wednesday before the meeting. Please check the Architectural Review Board homepage. Persons are encouraged to contact the Planning Office at (540) 372-1179 or ksschwartz@fredericksburgva.gov if they have questions or require accommodations to facilitate participation.

Carthon Davis III, Chair
Architectural Review Board



Minutes
Architectural Review Board
January 13, 2020
Council Chambers, City Hall
Fredericksburg, Virginia

Members Present

Carthon Davis III, Chair
Karen Irvin, Vice Chair
Jonathan Gerlach
Adriana Moss
Susan Pates
Sabina Weitzman

Members Absent

James Whitman

Staff

Kate Schwartz
Tammy Guseman

Chairman Gerlach called the Architectural Review Board meeting to order at 7:00 p.m.

OPENING REMARKS

Chairman Gerlach determined that a quorum was present, and asked if public notice requirements had been met. Ms. Schwartz confirmed that they had.

APPROVAL OF AGENDA

Ms. Pates requested that two items be added to Other Business: an update on the Slave Auction Block, and an update on the Mary Washington Caretaker's Lodge. Mr. Davis motioned to approve the agenda as amended. Ms. Weitzman seconded. The motion carried 6-0.

ELECTION OF OFFICERS

Chairman Gerlach opened the floor for nominations for Chair of the Architectural Review Board. Ms. Weitzman made a motion to nominate Mr. Davis as the Chair. Ms. Irvin seconded. The motion carried 6-0.

Chairman Gerlach then opened the floor for nominations for Vice Chair. Ms. Weitzman made a motion to nominate Karen Irvin as the Vice Chair. Ms. Pates seconded. The motion carried 6-0.

Chairman Davis welcomed new member Adriana Moss to the ARB.

APPROVAL OF MINUTES

Chairman Davis asked if there were any changes or additions to the minutes of the regular meeting dated December 9, 2019. Mr. Gerlach motioned to approve the minutes as written. Ms. Weitzman seconded. The motion carried 6-0.

DISCLOSURE OF EX PARTE COMMUNICATIONS

Chairman Davis asked if any Board member had engaged in any *ex parte* communication on any item before the Board. No Board members had any *ex parte* communication to report.

DISCLOSURE OF CONFLICTS OF INTEREST

Chairman Davis asked if any Board member had a conflict of interest for any item before the Board. There were no conflicts of interest reported.

CONSENT AGENDA

- i. COA 2019-71 – 1002 Caroline Street – Signs
- ii. COA 2020-01 – 501 William Street – Signs

Mr. Gerlach made a motion to approve the consent agenda as submitted. Ms. Weitzman seconded. The motion carried 6-0.

PUBLIC HEARING

- i. COA 2019-70 – 1311 Caroline Street - Richard Crickenberger requests to alter the entry steps at this residential property by adding an additional sandstone step.

The applicant, Richard Crickenberger, was present and provided samples of the sandstone he is requesting to use to the Board.

There were no comments from the public.

Ms. Weitzman asked if a handrail will be part of this application. Ms. Schwartz noted that one would not be required by the building code.

Mr. Gerlach asked if the existing step is original to the house. Mr. Crickenberger replied that he was unsure, but that he would try to remove it without damaging it and would save it on the property, possibly in the garden. Mr. Gerlach stated that he would recommend saving the step due to its historical significance.

Ms. Irvin made a motion to approve the request as submitted. Ms. Weitzman seconded. The motion carried 6-0.

- ii. COA 2019-72 – 1114-1118 Caroline Street – Jon Van Zandt Jason Gallant requests to construct a new retaining wall to stabilize the existing failed retaining wall at the rear of these residential properties.

Ms. Schwartz noted the unusual nature of this application as work has already begun due to the emergency nature of the wall failure. Ms. Schwartz stated that Mr. John Schaffer, the City's Building Official, was present and able to answer questions the Board may have on this application.

The applicant was not present and there were no comments from the public.

Ms. Moss asked if the original wall was of coursed or rubble stone construction. Ms. Schwartz stated that it was rubble stone and confirmed this with Mr. Schaffer. Ms. Moss noted that other retaining walls nearby were of parged brick or block construction and asked if a similar, historically-appropriate finish could have been achieved for this wall. Mr. Schaffer stated that due to the age and failure of the wall and the imminent danger it presented, the engineer chose the design as the best possible option.

Ms. Weitzman asked if the property lines would be impacted. Ms. Schwartz stated that the two property owners had worked together on the project and would make the boundary line adjustment as needed.

Ms. Irvin asked what material is being used on top of the wall. Mr. Schaffer stated that it is natural stone rip-rap that is a structural component of the design. There was some discussion about maintenance of the wall and how the property owners would share the responsibility.

Mr. Gerlach made a motion to approve the application as submitted. Ms. Irvin seconded. The motion carried 6-0.

GENERAL PUBLIC COMMENT

There were no speakers.

OTHER BUSINESS

A. Transmittal of Planning Commission Notice for January 15, 2020

Ms. Schwartz noted that there will be a Public Hearing on the UDO amendments for infill construction on Wednesday evening.

B. CLG Workshop

Ms. Schwartz announced that one of DHR’s annual CLG training workshops for board members would be held in Fredericksburg this year, on March 24, from 9 a.m. to 4:30 p.m. All ARB members are encouraged to attend. Chairman Davis asked if the location had been set and Ms. Schwartz replied that this is still being decided. Mr. Gerlach asked if this would meet the ARB training requirement and Ms. Schwartz confirmed that it would.

C. Slave Auction Block

Ms. Schwartz stated that the appeal of the City Council’s decision has been scheduled for a hearing in the Circuit Court on February 10, 2020. Mr. Gerlach reviewed the details of the lawsuit and the City Attorney’s brief.

D. Caretaker’s Lodge

Ms. Schwartz stated that the City Attorney has been seeking feedback from City Council members on the proposal from an anonymous donor for alternate treatment of the property.

STAFF UPDATE

Ms. Schwartz noted that the first Public Hearing on the Archaeology Ordinance will take place during the City Council meeting on January 14. Ms. Schwartz also informed the board that work on the Historic District Handbook update project will begin soon. The contract with Commonwealth Architects of Richmond will be executed this week and work started within the next 2 weeks.

Mr. Gerlach requested a future discussion on amending the ordinance to specify what the effect would be should the ARB take no action on an application. Ms. Schwartz stated that she would check with the City Attorney’s office.

COMMITTEE REPORT

There were no updates.

CHAIRMAN’S REPORT

There were no updates.

ADJOURNMENT

Chairman Davis adjourned the meeting at 7:32 p.m.

Carthon Davis III, Chair



**City of Fredericksburg Architectural Review Board
Record of Administrative Review**

Prepared By: Kate Schwartz, Historic Resources Planner

DATE OF APPLICATION: January 21, 2020 GPIN #: 7789-22-3292 FEE PAID

ADDRESS OF PROJECT: 317 Dixon Street

APPLICANT NAME: Leon Perkins Jr.

Property Owner Business Owner Architect/Contractor Other _____

PROJECT TYPE:

Sign(s) Fence/Wall Minor Exterior Alteration _____

Temporary Emergency Stabilization

Correction ordered by the Building Code Official

PROJECT DESCRIPTION:

Complete supporting documentation received? YES NO

The applicant proposes to install one building-mounted sign for the Imperial Cuts and Braids business. The four-foot tall by eight-foot wide wood sign will be faced with aluminum and attached using masonry screws. The sign will be centered above the first-floor windows on the right side of the facade, in the same location as a previous sign. The sign allowance for this building is 60 square feet, which is shared with another business. The proposed sign accounts for 32 square feet, which is within the allowance for this property. The proposed sign is compatible with the character of the site and the district.

RECOMMENDED ARB ACTION:

Approval of the Certificate of Appropriateness for the request as submitted.

ARB Meeting Date: February 10, 2020

Kate Schwartz

Zoning Administrator

February 5, 2020

Date

PROPERTY INFORMATION:Construction Date: c.1935 Architectural Style: ModerneCharacter-Defining Features: center bay with recessed entry and curved side walls, large multi-light windows, flat roof and brick cornice, stepped parapets above side elevationsContributing to National Register Historic District? YesPrevious Alterations/ARB Approvals: Signs in 2013 and 2019; alterations including replacing windows and doors and removing exterior stairs in 1996

Additional Notes: _____

APPROVAL CRITERIA

Criteria for evaluating proposed changes are found in City Code § 72-23.1(B)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation. The subject application does or does not meet the criteria as follows:

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
✓			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
✓			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
✓			(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development or that have no historical basis shall be discouraged.
		✓	(4) Most properties change over time; those changes that have acquired historic significance in their own right should be retained and preserved. Restoration of original features may be permitted when substantiated by documentary, physical, or pictorial evidence.
✓			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		✓	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Where severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.

		✓	(7) The surface cleaning of structures shall be undertaken using the gentlest means possible. Sandblasting and other chemical or physical cleaning methods that cause damage to historic building materials shall not be undertaken.
		✓	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
✓			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
✓			(10) New additions, alterations, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Applicable Guidelines from the Historic District Handbook:

City Code § 72-23.1(D)4 Signs

The ARB shall consider the following in determining the appropriateness of any application for a sign proposed within the HFD:

- (a) The sign shall be integrated architecturally with the building.
- (b) Placement should not obscure significant architectural features or details of the building.
- (c) All signs shall meet the requirements of §72-59, Signage.

Signs (Historic District Handbook, pg.117-118)

1. A sign should fit the architecture of its building and not obstruct defining elements.
2. The number of signs should be compatible with the building and should not cause visual clutter.
3. The size of each sign and the total area of signs should match the character of the building and of the Historic District. Exact sign allowance should be verified with the Planning Office.
4. Sign design and graphics should be coordinated with the character of the building and the nature of the business.
5. Materials should relate to the building. Traditional sign materials include wood, glass, raised individual letters, and painted letters on wood or glass.

SUPPORTING DOCUMENTATION INCLUDED:

- Photographs of existing conditions
- Context photographs
- General site plan and/or site survey
- Product/material specifications for proposed replacement/repair
- Elevation drawings
- Architectural or design detail drawings
- Other

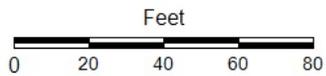
Legend

- City Boundary
- WVS_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
- WVS_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
- Parcels



Title: 317 Dixon Street

Date: 1/29/2020



DISCLAIMER: All information depicted on this map shall be treated as confidential information and shall only be used for the sole purpose for which it was provided. Any other use of this map, or the information included thereon, is strictly prohibited. The data shown on this map is for information purposes only and shall not be relied upon for the specific location of map features. The City of Fredericksburg makes no representation or warranty as to the accuracy of the map, or the information shown thereon. This map may not be copied or otherwise made available to any other party in paper or electronic format without written consent from the City of Fredericksburg.

To: City of Fredericksburg

Community Planning & Building Department

Building mounted sign

(317 Dixon street)

i. Sign dimension 4x8 aluminum sign

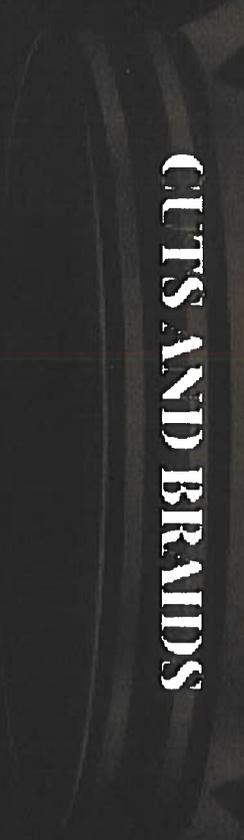
To be mounted on right face of building

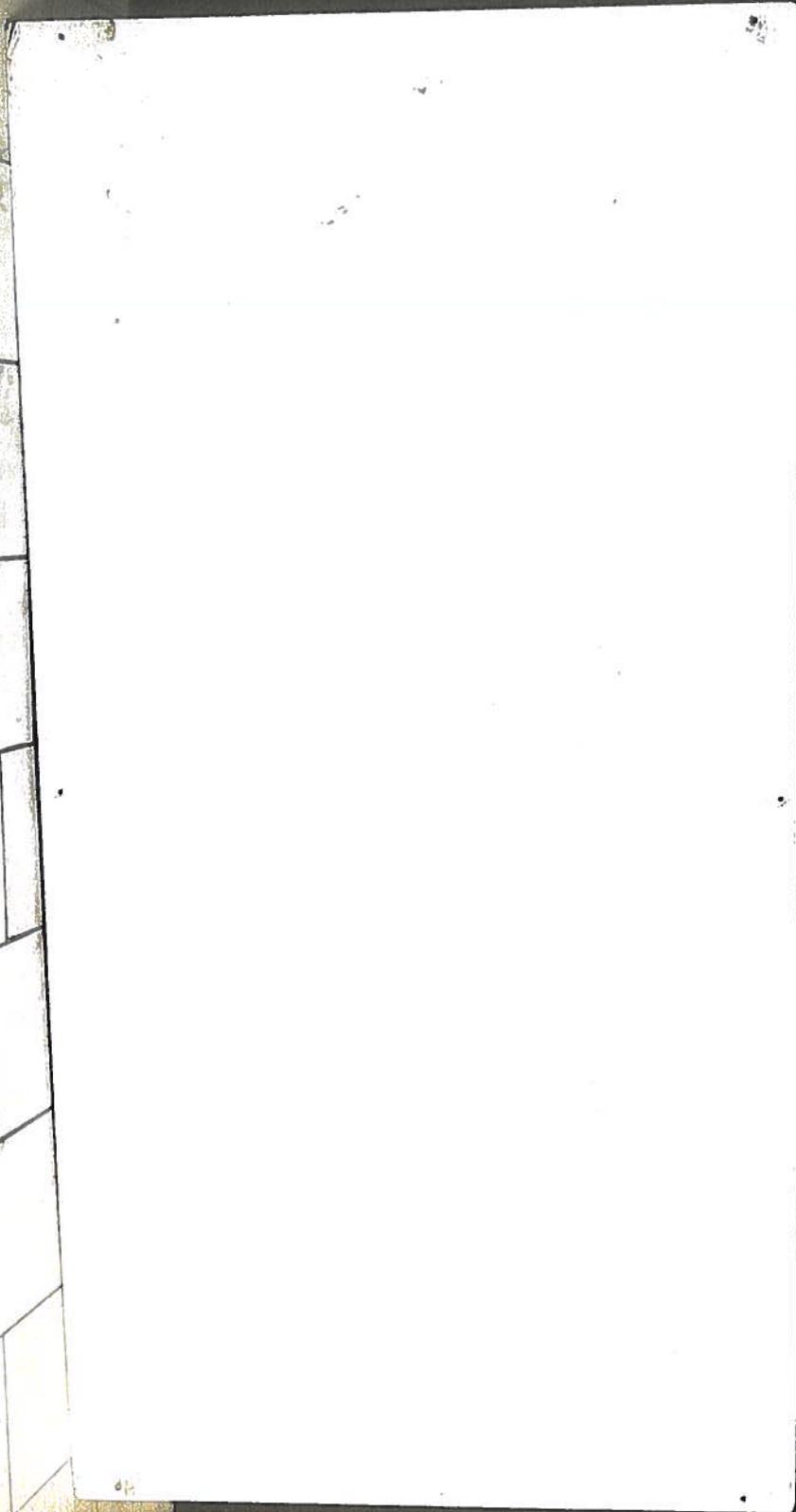
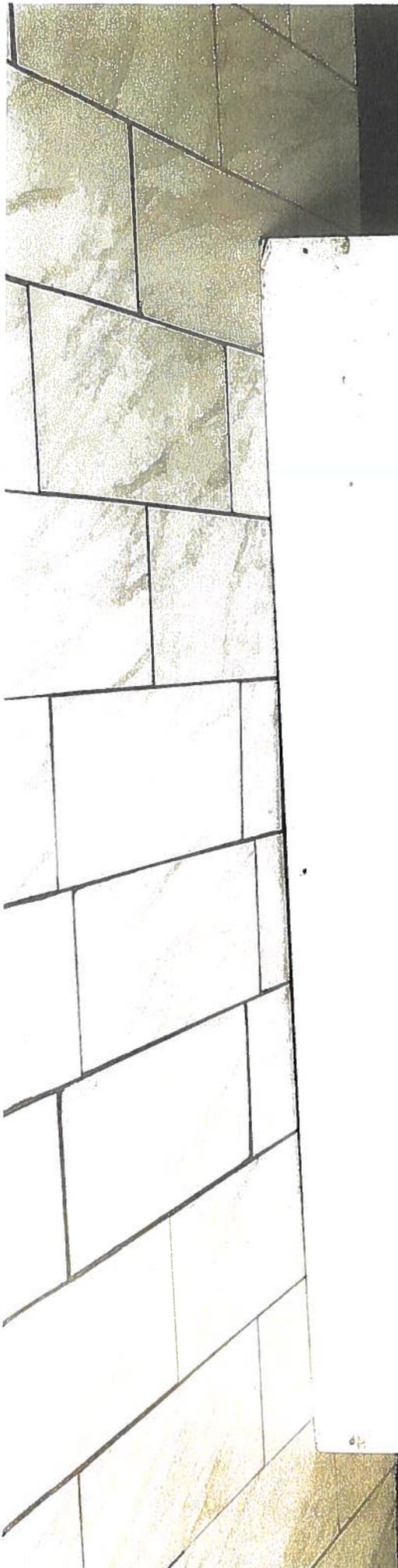
ii. Sign will be attached to building

With 8 masonry screws

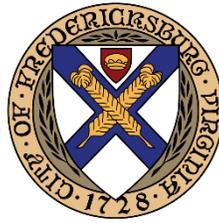
IMPERIAL

CUTS AND BRAIDS









MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: February 5, 2020 (for the February 10, 2020 hearing)
SUBJECT: Certificate of Appropriateness for accessory structures at 303 Fauquier Street

ISSUE

Khrystopher Scott requests to install signs, wood fencing, and accessory structures including a stage and bar in the rear yard of this commercial property.

RECOMMENDATION

Approval of the proposed signs on condition that the banner sign on the side of the building is removed.

Approval of the request to install wood fencing as submitted. The applicant must confirm that all elements of the fence, including posts, are limited to four feet in the front yard and six feet in the side or rear yards.

Continuation of the request to retain a bar accessory structure at the rear of the property until clear documentation of the design and dimensions is submitted.

Denial of the request to retain the stage accessory structure because it does not meet the standards in City Code §72-42.3 and §72-23.1(D), including Standard 9:

Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

Site Planning – Fences and Walls (Historic District Handbook, pg. 71)

Construction Guidelines

1. Fence and wall materials and design should relate to those found in the neighborhood.
3. Fences between adjoining commercial and residential areas should be of a design that relates to the residential area.

Standard 9: Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

BACKGROUND

This two-story, wood-framed dwelling was constructed in 1887 and displays elements of the Italianate style. Clad in clapboard and resting on a solid foundation, the building is topped by a shed-style roof covered in standing seam metal. A dentillated cornice and scrolled brackets top the façade. A full-width, hip-roofed porch supported by turned posts spans the façade. The porch was added in the 1920s. A one-story hip-roofed addition projects from the west side of the structure. Six-over-six double-hung sash wood windows are typical and a single-leaf paneled wood door is located on the right side of the façade. This is a contributing structure in the Historic District.

The applicant seeks approval after the fact for the construction of several accessory structures and the installation of signs and fences for a restaurant at this location. One double-sided MDO sign, 24 inches wide by 36 inches tall hangs from the existing sign post in the front yard of the structure. A second sign is proposed to be mounted on the east side elevation at the second story. This rectangular sign is 24 inches wide by 36 inches tall, constructed of vinyl graphics mounted on PVC. The proposed signs are compatible with the character of the site and account for 12 square feet of the 39 square foot sign allowance at this property. An alternate sign, a banner mounted to a metal frame, is currently in place on the side elevation and must be replaced with the permanent sign. Banners are not permitted to be used as permanent signs anywhere in the City.

The applicant also proposes to retain wood picket fencing along the east side property line. The fencing is four feet in height and has a painted finish. The posts are taller than the four-foot fence, but a dimension has not been provided. The fencing style and material is appropriate for the district; however, the posts must be limited to 6 feet in height. The applicant will need to verify the height of the posts and ensure that any portion of the fence that extends into the front yard is limited to four feet in height.

Two accessory structures, a bar and a stage, have been constructed in the rear yard and the applicant requests to retain both. The bar is immediately adjacent to the rear of the building and is constructed of painted wood with a metal roof. Dimensions and clear images of the bar structure have not been provided, and the Board's consideration should be continued so that additional details can be provided. The stage is 12 feet deep, 28 feet wide, and approximately two feet in height. The stage is constructed of pressure-treated wood with the footings set in concrete. Metal facing is located on the front of the structure, and a vertical frame extends up from the rear of the stage.

The stage structure does not meet the accessory structure standards defined in the City Code and must be reduced in size in order to remain. The applicable standards are as follows:

City Code § 72-42.3

- A. No accessory use or structure shall occupy more than 30% of the rear yard.
- B. No accessory use or structure shall be closer than five feet to a side or rear lot line, except that if a principal structure has a [side] setback of less than five feet, then the setback of an accessory structure may be the same as exists for the principal structure.

The structure occupies approximately 68% of the required rear yard setback. The existing primary structure has setbacks of four feet from the east side and two feet from the west side. The stage structure is set 2.5 feet off of the rear property line, one foot off the west side property line, and one foot eight inches off the east side property line. It is recommended that the request to retain the bar structure be continued to allow the applicant to provide additional information. It is recommended that the request to retain the stage structure be denied. The stage must be removed, or a modified design that meets the requirements of the code must be approved by the ARB.

APPROVAL CRITERIA

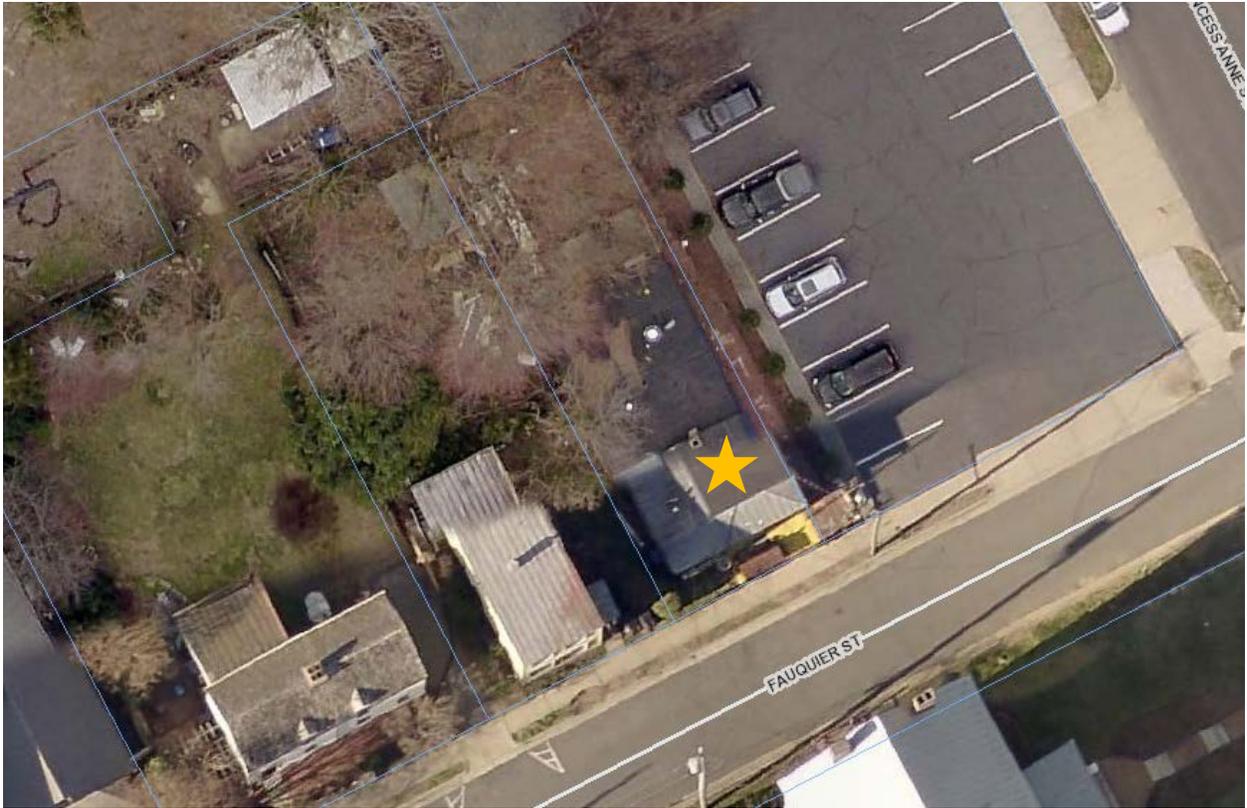
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
		X	(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		X	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of

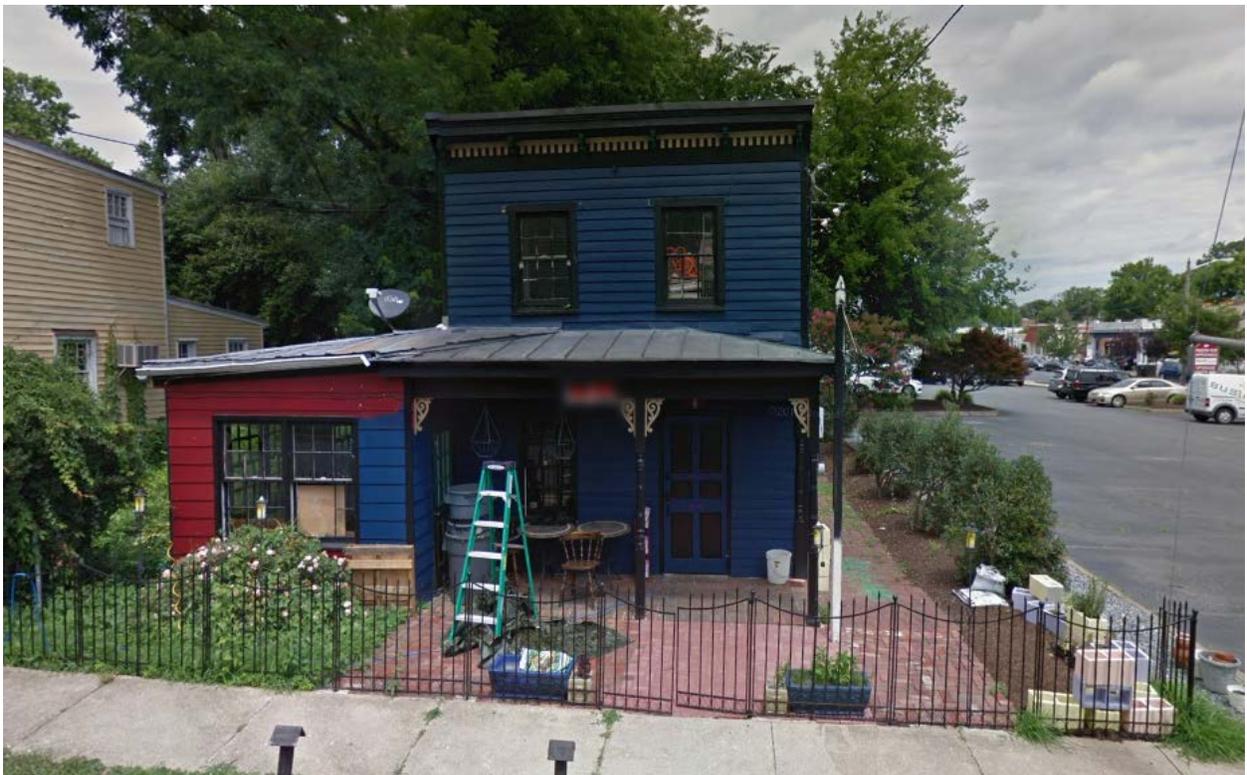
			missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
	X		(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

1. Aerial photograph and front elevation view
2. Property photographs
3. Site Drawing

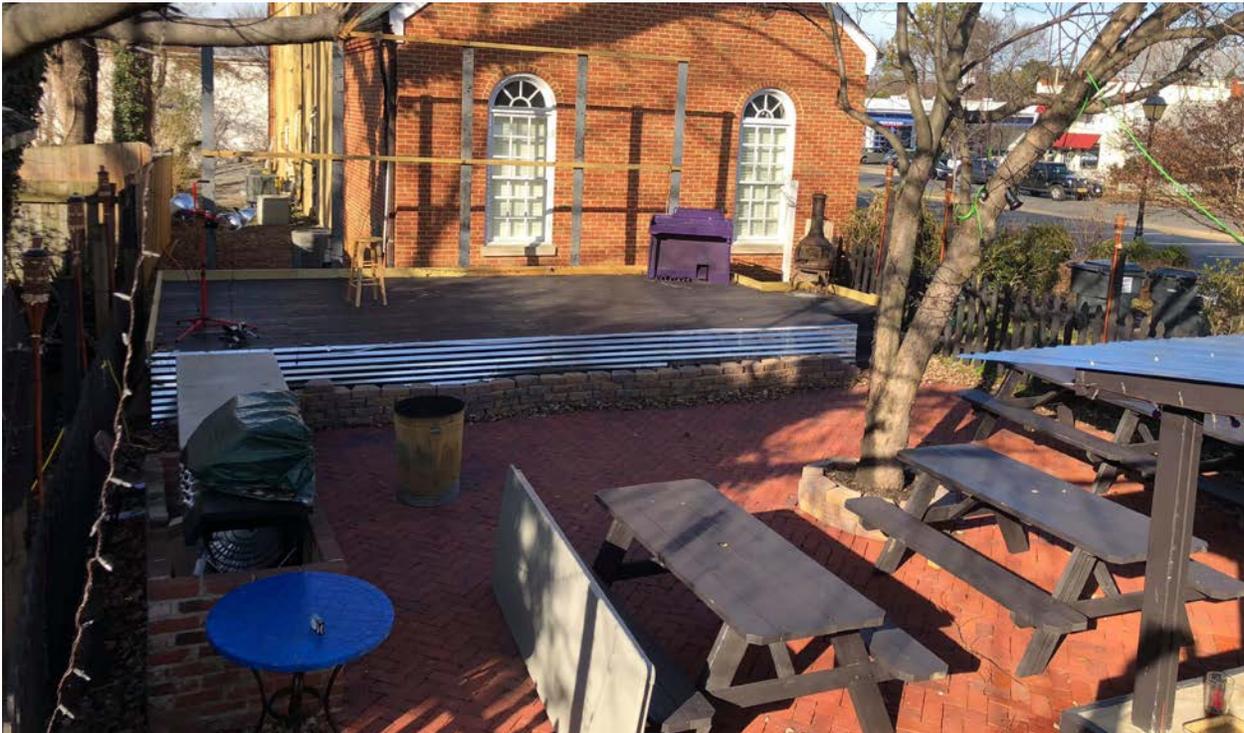


AERIAL



FRONT (SOUTH) ELEVATION

Photos of existing conditions provided by applicant:





(Bar roof)



Existing Banner Sign



Existing Hanging Sign



Rear Yard Fencing





1414 Caroline Street
Fredericksburg, Virginia 22401

PAID
07/02/2018

INVOICE

Invoice #	J-1971-01
Date	7/2/2018

Please Pay from this INVOICE!

Bill To
Dark Star Saloon & Cafe Krystopher Knight 303 Fauquier Street Fredericksburg, VA 22401

Client PO No.	
CC Job Number	J-1971-01
Terms	Due on receipt
Ship Via	
CC Rep	JVH

Project	
Due Date	7/2/2018

Quantity	Item	Description	Rate	Ordered	Prev. Invoiced	Amount
1	Signs	Sign, 2 sided 3/4" MDO with prints 4/0, Die cut approximately 24" x 36" rectangle	225.00	1	0	225.00T
1	Signs	Sign, 24" x 36", 4/4, Adh Vinyl Mounted on PVC, Laminated	72.00	1	0	72.00T
1	Setup Charge	Set Up for Sign to Production (artwork supplied)	37.50	1	0	37.50T
DEPOSIT PAID ON ACCOUNT \$180.00 IN CASH 6/26/18						

FULL PAYMENT IS DUE UPON COMPLETION!
Special terms are offered as a courtesy.
Please pay in agreed upon terms, when your order was placed.
A late fee of \$10 per invoice will be charged monthly until paid in full.
A \$50 fee will be assessed for returned checks.
Any Account with a balance over 60 maybe put on Credit Hold!
Thank You!

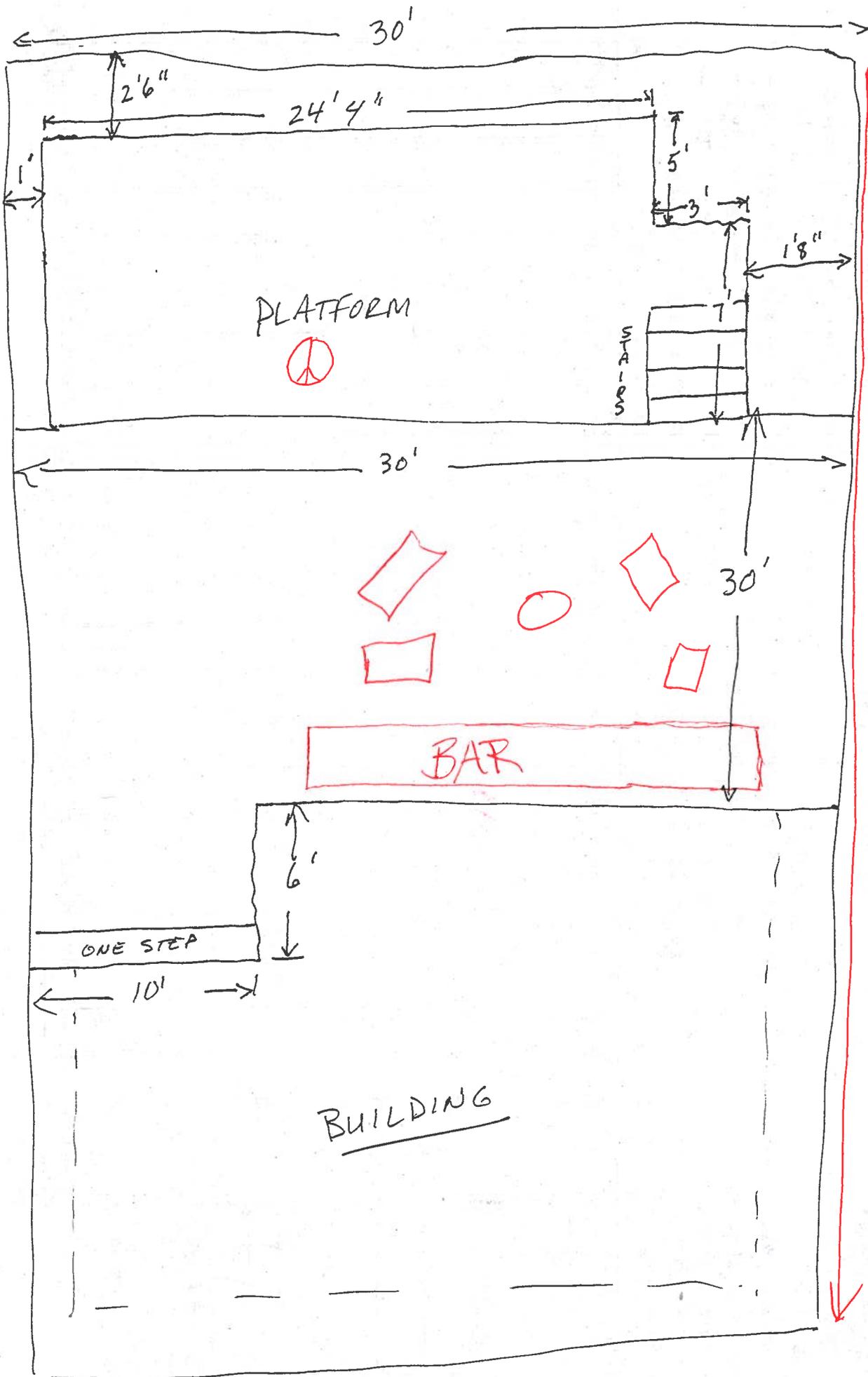
Subtotal	\$334.50
VA Sales Tax 5.3% (5.3%)	\$17.73
Total	\$352.23
Payments/Credits	-\$352.23
Balance Due	\$0.00

Signature:

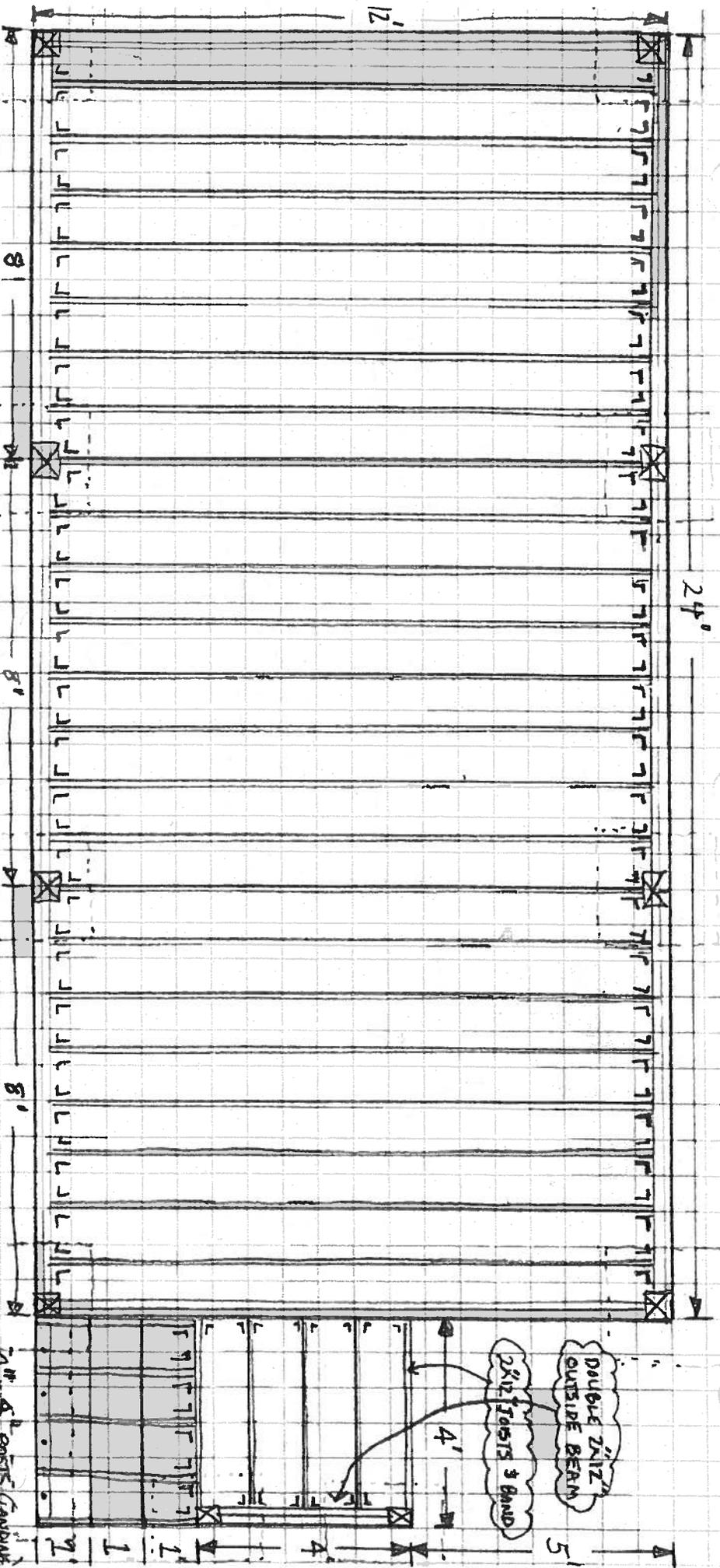
Phone #	Fax #	E-mail
540-899-1970	540-899-1972	peggy@creativecolorva.com

www.creativecolorva.com





3/8" = 1' SCALE



- ALL PRESSURE TREATED LUMBER
- 2x12" DOUBLE PERIMETER BEAM & 2x10" JOISTS
- 6x6" PT POSTS 8' o.c.
- BEAM BOLTED THROUGH 6x6" POSTS w/ 1/2" x 7" CARRIAGE BOLTS
- SIMPSON LU 210 JOIST HANGERS ON ALL JOISTS (FRONT & BACK)
- 24" x 24" x 8" CONCRETE PIERS 2' IN THE SEWARD
- 6x6" POSTS ATTACHED TO PIERS w/ SIMPSON HBC40H DG
- 2x6" NECKING

- DARK STAR SALOON -
 BOB FAVORIER ST.
 FREDERICKSBURG VA 22401
 DESIGNER: GREG GALLAGHER
 540-850-8545
 OUTDOOR PLATFORM -

- 4" x 4" POSTS (ENDING 2x12" FRAME & JOISTS) POSTS 1' o.c.
- 2x12" STRINGERS 1' o.c.
- 2x6" DECKING
- SIMPSON LU 210 JOIST HANGER
- 2x12" STAIR TRENDS
- 1" x 8" RISERS
- 2x4" PLATE UNDER BOTTOM OF STRINGERS ATTACHED TO A 16" x 4 1/2" 8" THICK FOTER



H12411



MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: February 5, 2020 (for the February 10, 2020 hearing)
SUBJECT: Certificate of Appropriateness for exterior alteration at 308 Caroline Street

ISSUE

Andy Fitch requests to make alterations to this single-family residence, including construction of an elevator shaft on the south side elevation, enclosure of the second-story inset porch, and enclosure of the inset side patio on the first floor.

RECOMMENDATION

Approval of the request for a Certificate of Appropriateness as submitted.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

Building Massing – Additions (Historic District Handbook, pg. 76)

1. Before a building is enlarged, the needed functions an addition is meant to address should be evaluated to see if they can be accommodated within the existing structure.
2. An addition, when needed, should not visually overpower the existing structure.
3. Locate additions on the rear or side (secondary) elevations. If an additional floor is to be constructed on top of a building, it should be set back from the main façade to minimize its visual impact.
4. To avoid compromising the integrity of historic buildings, additions should not be made to look older than they are. New construction should be differentiated from the old while still being compatible with the massing, scale, and architectural features of the original building. Replicas only confuse the importance of the original architecture.
5. Additions should be constructed so as not to impair the essential form and integrity of the original building.

Exterior Architectural Elements – Porches and Steps (Historic District Handbook, pg.95)

Maintenance and Repair

7. Avoid enclosing porches on primary elevations. In addition, avoid enclosing important secondary porches in a manner that changes the building's historic character.

Construction Guidelines

2. New porches should reflect the size, height, and materials of the porches on the existing buildings along the street.

BACKGROUND

This Neo-Colonial, two-and-one-half story, frame and brick veneer dwelling was constructed in 1997 after approval by the Architectural Review Board. The complex combination hip and gable roof is covered in asphalt shingles. A two-story block with a pedimented front-gable roof projects to the front. A two-story inset porch supported by Tuscan columns runs along the south side of this projecting block and leads to the single-leaf entry door. The windows consist of six-over-six and nine-over-nine vinyl sash with segmental brick arches and wood surrounds. The side elevation along Frederick Street includes a projecting, gable-roofed bay and a garage set at the lower street level. This residence does not contribute to the historic significance of the Historic District.

The applicant seeks approval for three small additions to the residence. Each should be considered as an independent project, as the property owner prefers the option to build any or all of the additions. The first addition would be the enclosure of the second floor of the two-story porch inset into the south side of the projecting block at the front of the residence. The porch columns would be replaced by pilasters aligned with the porch columns below. The wall sections between the columns would include raised panels constructed of Boral and Tricoya MDF with narrow casement windows above. The proposed treatment of this porch maintains the distinction of this area from the primary walls of the building, and the large number of windows maintain a largely transparent appearance. Additionally, this treatment is consistent with a number of historic examples of enclosed upper story porches in the neighborhood. Approval of this alteration as submitted is recommended.

The second proposed addition is the enclosure of the ground-floor portico on the south side of the residence. This portico is inset into the southeast corner of the main hip-roofed block. A single Tuscan column is currently located at the corner of this portico. The applicant requests to enclose this area with brick to match the surrounding walls. The brick belt course between the first and second stories and the precast concrete course at the bottom of the first story would be continued across the new wall sections to create consistency. One existing double-hung window will be reused on the south side of the enclosed portico, and one new window to match will be installed on the east side. This alteration is consistent with the character of the structure and district and should be approved as submitted.

The third proposed addition is the construction of an elevator shaft near the rear of the south side elevation. The elevator shaft is approximately seven feet wide and projects out seven feet from the side of the residence. The new construction is approximately the width of one bay, and will align with the hip-roofed dormer projecting from the center of the hipped roof slope. This new section would also be clad in brick, and the brick and precast concrete belt courses would continue across the construction. Double-hung windows to match the existing will be centered on each of the three elevations at the second floor, and on the sides at the first floor. On the first floor, a hip-roofed portico supported by fiberglass Tuscan columns will shelter the single glazed entry door on the south side of the elevator shaft. The portico roof and the hipped roof topping the elevator shaft will

be clad in flat-seamed copper roofing. The addition is consistent with the design of this structure and the character of the neighborhood and should be approved as submitted.

APPROVAL CRITERIA

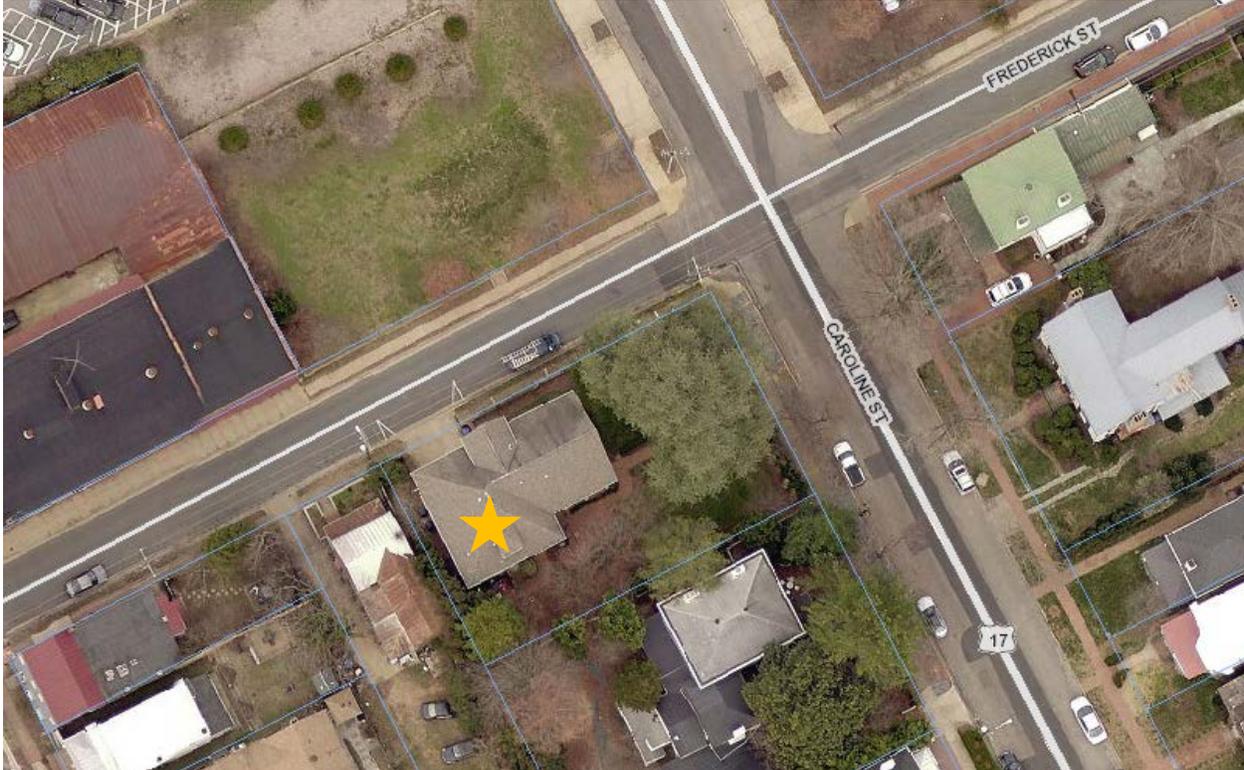
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation.

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
		X	(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		X	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

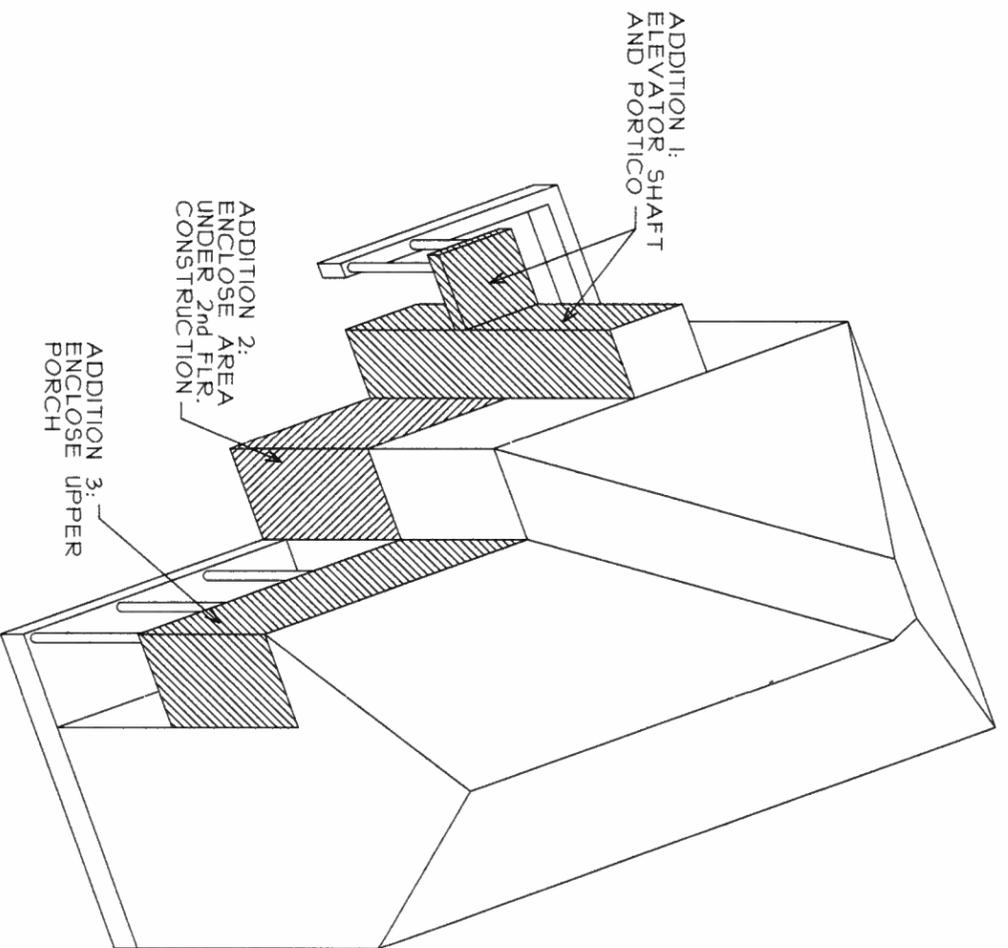
1. Aerial photograph and front elevation view
2. Property photographs
3. Architectural drawings



AERIAL



FRONT (EAST) ELEVATION

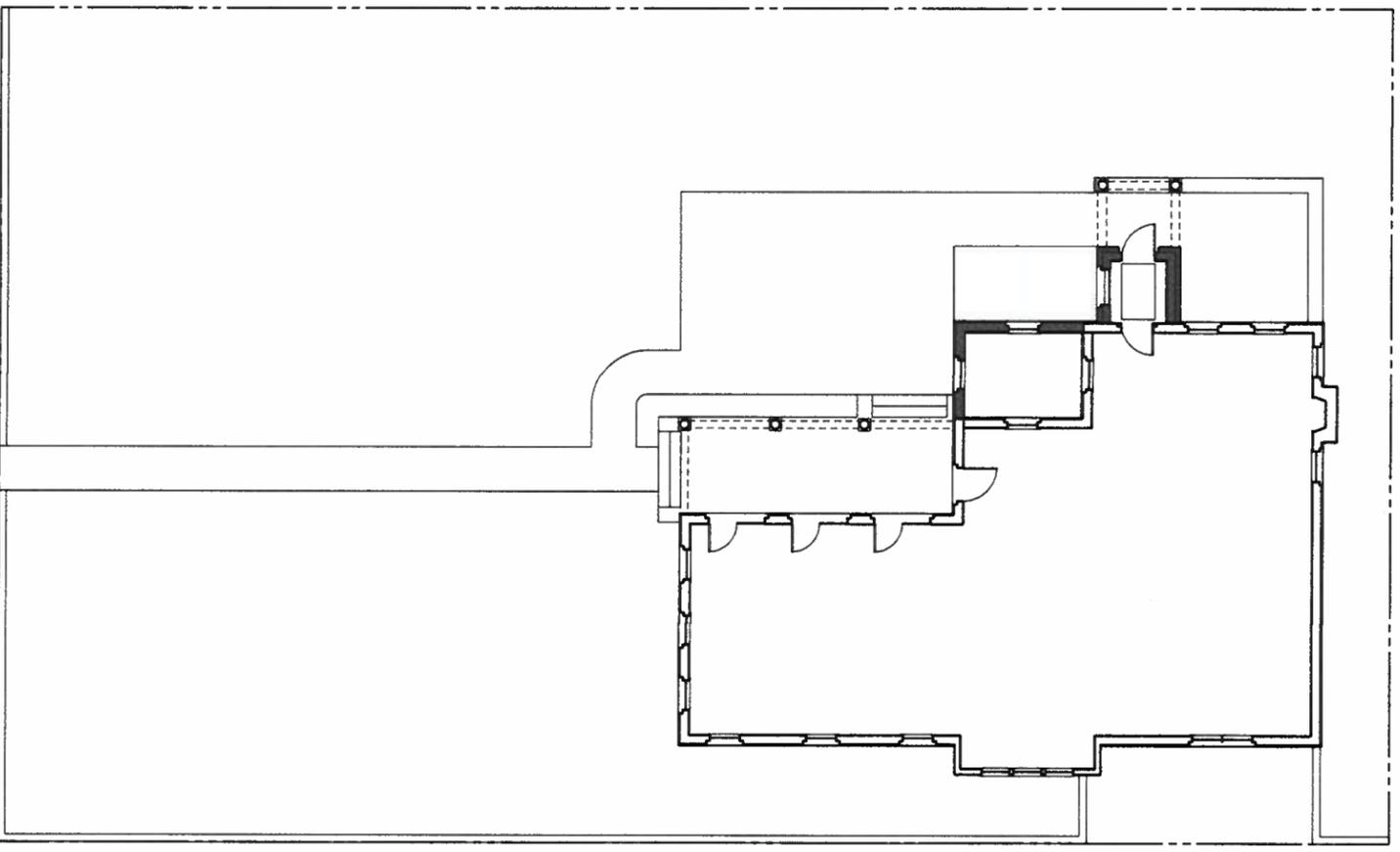


**DIAGRAM OF
PROPOSED ADDITIONS**

NOT TO SCALE

EXTERIOR MATERIALS:

- BRICK - MATCH EXISTING
- WINDOWS - RE-USE EXISTING DOUBLE-HUNG UNITS; NEW DOUBLE-HUNG AND CASEMENT (AT PROPOSED PORCH ENCLOSURE) UNITS TO MATCH
- EXTERIOR TRIM - BORAL TRU-EXTERIOR PROFILES TO MATCH EXISTING, PAINT FINISH
- RAISED PANELS AT PROPOSED PORCH ENCLOSURE - BORAL TRU-EXTERIOR STILES + WITH TRICOYA MDF RAISED PANEL
- ROOFING AT ELEVATOR SHAFT + PORTICO - 16 OZ. COPPER w/ FULLY SOLDERED FLAT SEAMS
- COLUMNS - TAPERED ROUND LOAD-BEARING FIBERGLASS REINFORCED POLYMER UNITS WITH TUSCAN-STYLE BASES + CAPITALS TO MATCH EXISTING (POLYCLASSIC FRP SERIES BY DURACRAFT)



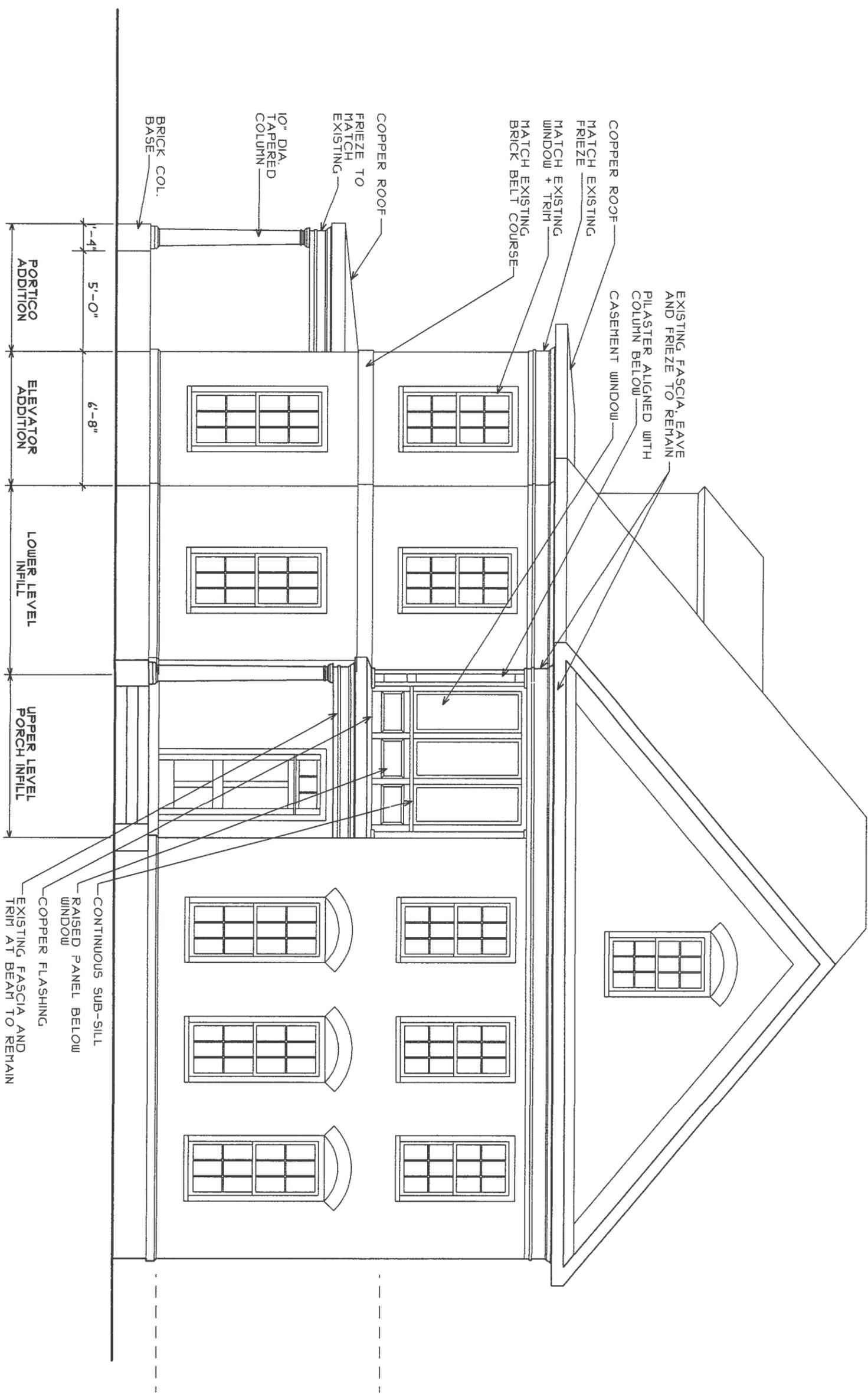
SITE SKETCH

RECEIVED

JAN 17 2020

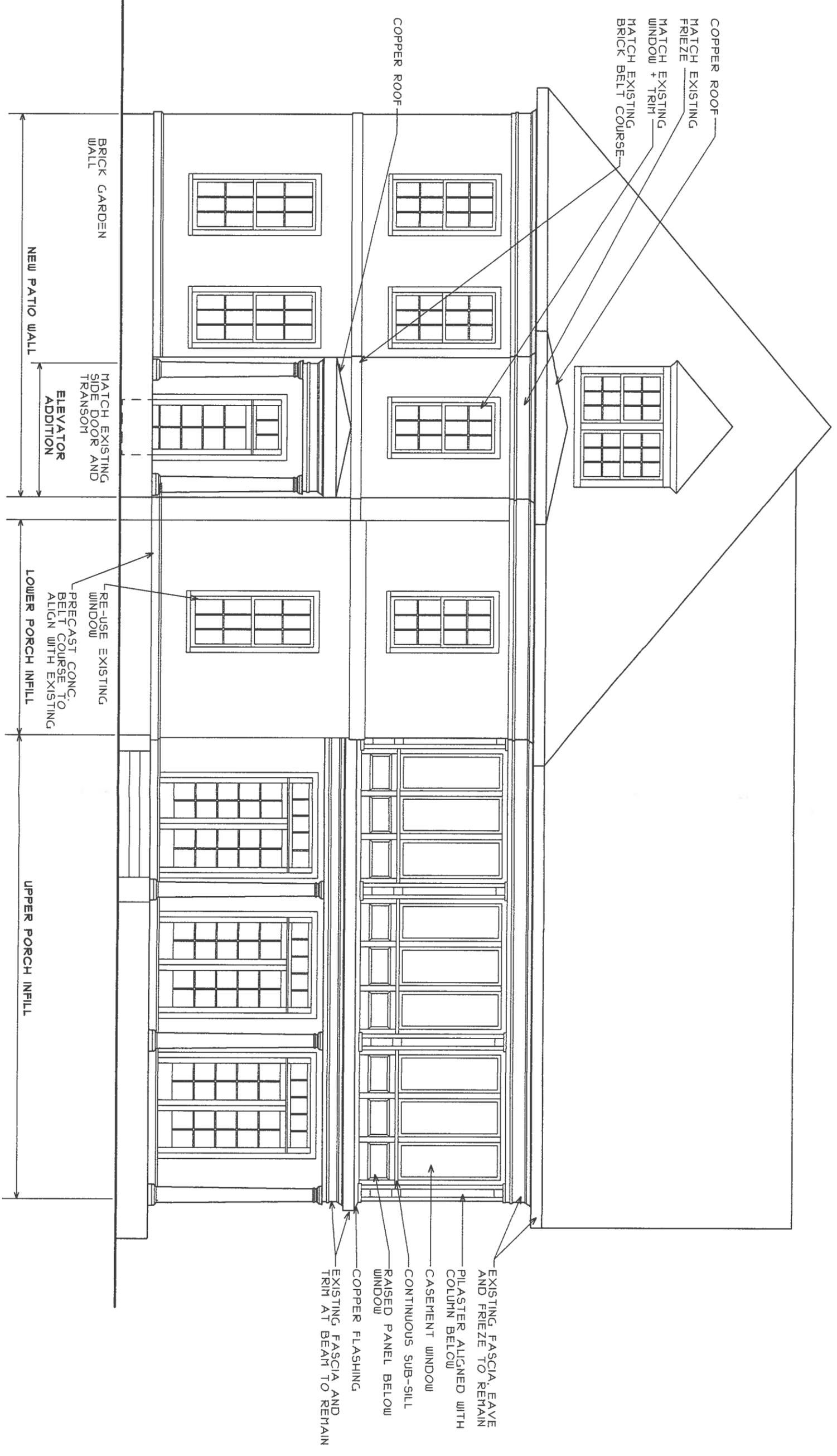
BY:

308 CAROLINE STREET
FREDERICKSBURG
ARCHITECTURAL REVIEW BOARD - FEBRUARY 10, 2020 MEETING



308 CAROLINE STREET: FRONT ELEVATION

1/4" = 1'-0"



SIDE (SOUTH) ELEVATION

3/16" = 1'-0"

308 CAROLINE STREET

FREDERICKSBURG

ARCHITECTURAL REVIEW BOARD - FEBRUARY 10, 2020 MEETING



MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: February 5, 2020 (for the February 10, 2020 hearing)
SUBJECT: Certificate of Appropriateness for exterior alteration at 203 Ford Street

ISSUE

Ed Whelan requests to make alterations to the former Washington Woolen Mills building to convert it to mixed use, including the construction of entry stairs on Ford Street, installation of metal fencing and rooftop railings, construction of three elevator shafts, and the addition of six basement windows along Caroline Street.

RECOMMENDATION

Approval of the installation of fencing, installation of rooftop railings, and reconstruction of the covered stair roof in accordance with the submitted documentation.

Continuation of the consideration of window replacement, installation of new windows, construction of three elevator shafts, and construction of entry stairs on Ford Street to the next regular meeting of the ARB to allow the applicant to provide additional information.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

Roofs (Historic District Handbook, pg. 80)

10. Install new elements, such as vents and skylights, without diminishing the original design of the building.

Windows (Historic District Handbook, pg. 84)

1. Retain original windows.
6. Windows should only be replaced when they are missing or beyond repair. Replacement should be based on physical evidence and photo documentation rather than the availability of stock windows or windows from other buildings. Avoid changing the physical and visual characteristics of windows by using inappropriate materials or finishes that alter the sash, depth of reveal, muntin configuration, glazing, or appearance of the frame.

7. Avoid changing the number, location, size, or glazing pattern of a building's windows by cutting new openings, enlarging existing openings, blocking in windows, or installing replacement sash that do not fit the window opening.

Exterior Architectural Elements – Entrances (Historic District Handbook, pg.95)

2. Avoid removing historic material from entrances. In addition, do not add materials that create a different historic appearance.

Historic District Window Policy

B. Repairing Original Windows

1. Metal windows, typically made of steel or aluminum, are often mistakenly not deemed worthy of preservation due to the assumption that they cannot be repaired or made energy efficient except at great expense. Repair and retrofit of these windows can be more economical than wholesale replacement, and all too often, replacement units are unlike the originals in design and appearance. Rust and flaking paint on steel windows can be removed and elements repainted using a rust-inhibiting primer. Missing screws, fasteners, and hinges can often be replaced through a variety of suppliers, and operating performance can be improved through lubrication of hinges or other moveable parts. Elastomeric caulk can be used to seal surrounds and prevent air infiltration.

BACKGROUND

The former Washington Woolen Mills Pants Factory located on Ford Street between Princess Anne and Caroline Streets was constructed c.1905. The Woolen Mills had been in operation since 1860, but was located in a large three-story brick building, adjacent to the extant structures, that burned in 1876, was rebuilt, and burned again in 1910. The pants factory was initially constructed as the two-story, front-gabled wing with its length running parallel to Caroline Street. The adjoining gable-roofed wing that extends to the west was constructed by 1912. By 1930, the building was converted to a shoe factory, and the two-story section over a raised basement that extends east to Caroline Street was constructed in the 1940s. The building is characterized by its American bond brick construction and detailing; long, low massing; and banks of segmental-arch windows. This is a contributing structure in the Historic District.

The applicant proposes several alterations as the first phase of an adaptive reuse project for this former industrial building. A number of components are included in this application:

- **Entry Stairs on Ford Street**

The applicant proposes to construct a set of wood entry steps leading to the elevated first floor entry centered on the front-gabled façade on Ford Street. The doors were likely used for loading when the building was still in industrial use. The stairs would be constructed of wood, open underneath, with painted aluminum handrails with scrolled ends running along either side. The simple design proposed appears to be compatible with the character of the

site and would not adversely impact character-defining features; however, fully-dimensioned plan view and elevation drawings should be provided prior to approval of the design.

- **Fencing**

Fencing is proposed to be installed surrounding the new entry stairs on Ford Street and lining the edge of the property above Caroline Street. The fencing would be four feet in height, constructed of painted aluminum, with square pickets and pointed finials topping each picket. The fence will top the existing stone wall along Caroline Street and another section will enclose an area the same width as the building façade on Ford Street. The fence will extend to the front property line and paired gates will provide access. The material and design of the proposed fencing is compatible with the character of the site and district, and approval as submitted is recommended.

- **Parapet Railing**

The wing constructed in the 1940s is topped by a flat roof and surrounded by a brick parapet. The applicant proposes to use this space as a rooftop deck and requests to install metal-framed cable railings surrounding all three exposed sides. The railings would be set to the inside of the 30-inch parapet wall and will be four feet in height. The railings includes painted metal squared posts and top rail with horizontal cables running through the posts. The railings will be minimally visible from the street level and the simple design is compatible with the mid-century character of this addition. Approval as submitted is recommended.

- **Rebuild Existing Stair Roof**

A set of enclosed wood stairs runs along the east side of the original section of the building to access the second floor. The height of the enclosure does not meet the current building code and the applicant is requesting to raise the roof eight inches. All other aspects of the design will remain and the materials will be replaced in kind. The elevated roof will cross one second-story window, and the applicant proposes to provide a gap between the roof and the window to avoid any impacts and prevent water from gathering on the wood sill. Approval of the request as submitted is recommended.

- **Replacement of 1940s Windows and Addition of Basement Windows**

Large, multi-light, steel windows are typical on the 1940s building addition that projects toward Caroline Street. The applicant proposes to reuse this portion of the building for several residential units, but the existing windows, while operable, do not meet the building code standards for clear opening. Additionally, the applicant has indicated that the metal frames are in poor condition. These are proposed to be replaced with new windows that match the appearance of the existing, but include double-paned glass and meet the egress

requirements of the code. Six new matching windows are also proposed to be added at the basement level on the north and south elevations, aligned with the windows above.

A detailed condition assessment has not been provided for the existing windows, so a determination regarding replacement cannot be made at this time. Thorough photography and assessment should be submitted to the ARB, and a site visit may be scheduled at the discretion of the ARB and applicant, to fully evaluate the existing windows. Rather than replacing all windows, the applicant should also evaluate if a smaller number of windows could be replaced to meet the code requirement. This component of the application should be continued to allow the applicant to provide additional information.

- **Conceptual Review of Elevator Locations**

The applicant seeks to add three elevator shafts to the building: two attached to the south side elevation of the 1940s wing and one attached to the rear of the building. The selected locations appear to impact those areas added to the building latest in its history or where previous alterations have occurred. These areas may be appropriate; however a decision cannot be made until further details are provided. The drawings also appear to show the construction of another entryway on the east side of the original building; however, no further details have been provided. This item is provided to the Board for discussion at this time.

Approval of the installation of fencing, installation of rooftop railings, and reconstruction of the covered stair roof in accordance with the submitted documentation is recommended at this time.

Continuation of the consideration of window replacement, installation of new windows, construction of three elevator shafts, and construction of entry stairs on Ford Street to the next regular meeting of the ARB to allow the applicant to provide additional information is recommended.

APPROVAL CRITERIA

Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

S	D	NA	S – satisfies	D – does not satisfy	NA – not applicable
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.		
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.		

X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
X			(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

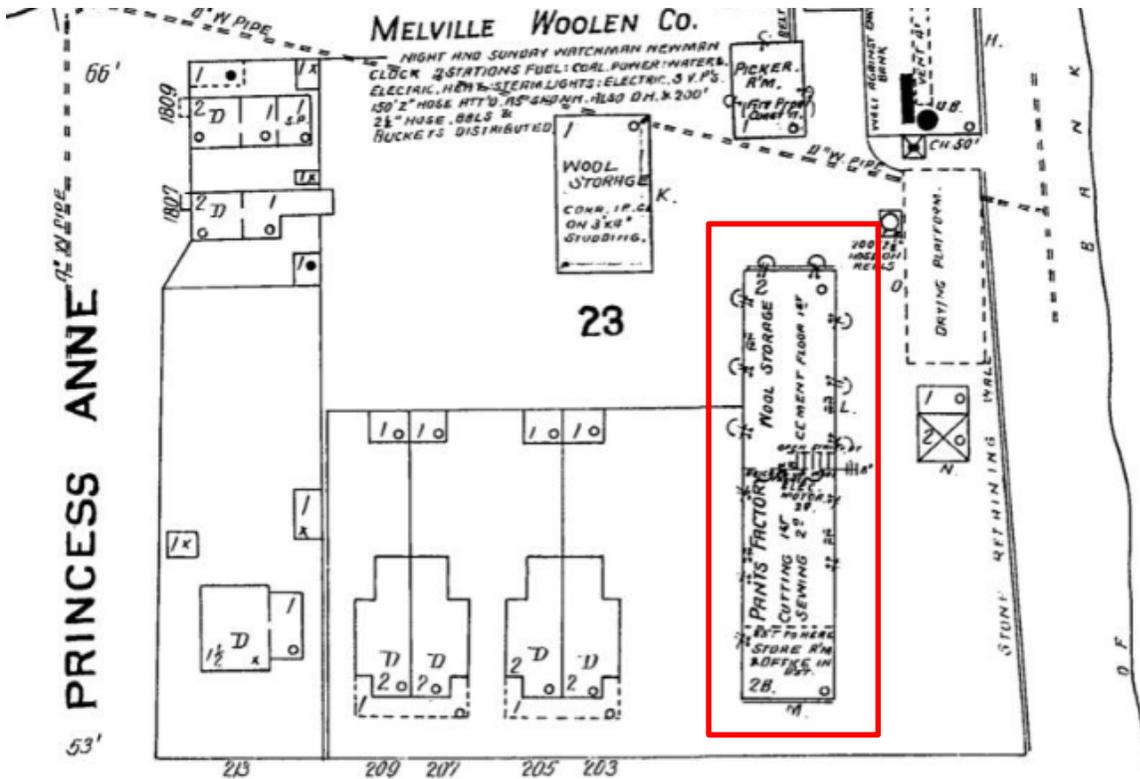
1. Aerial photograph and front elevation view
2. Historic photographs and maps
3. Existing Conditions
4. Site drawing
5. Detail specifications



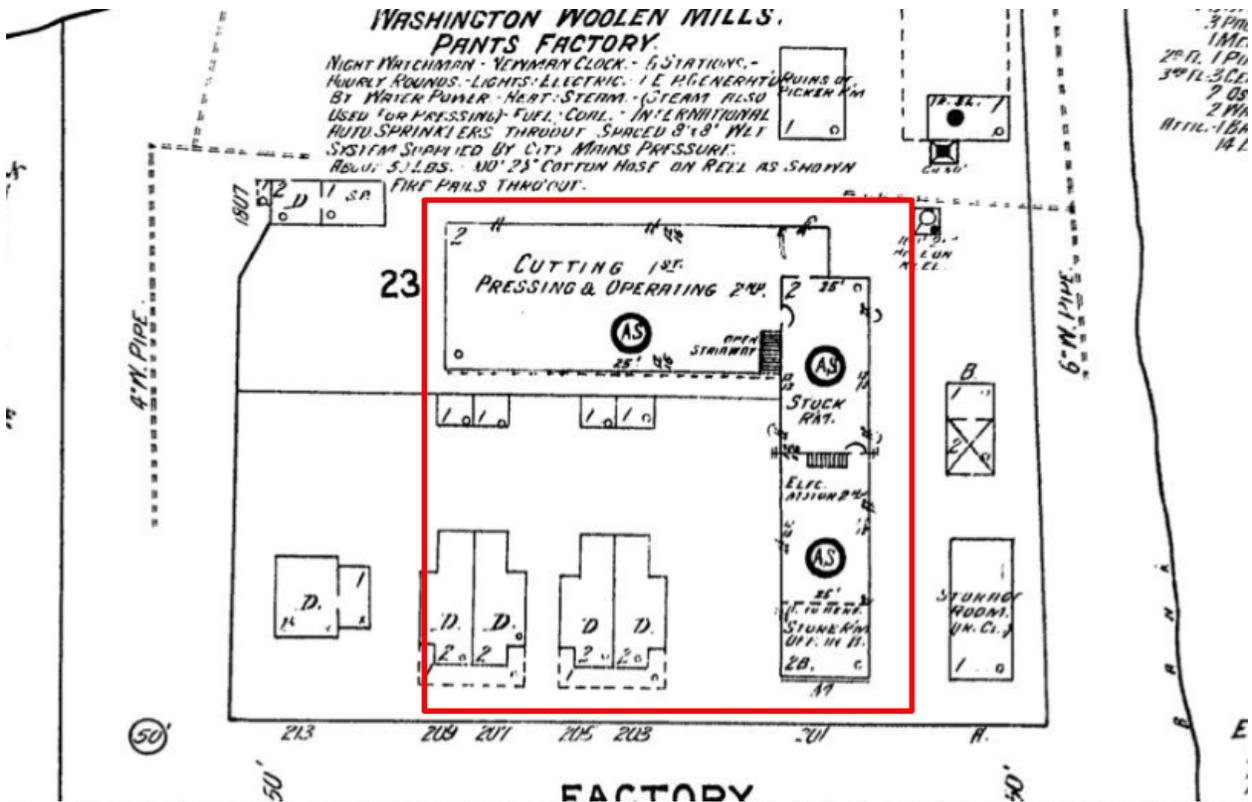
AERIAL



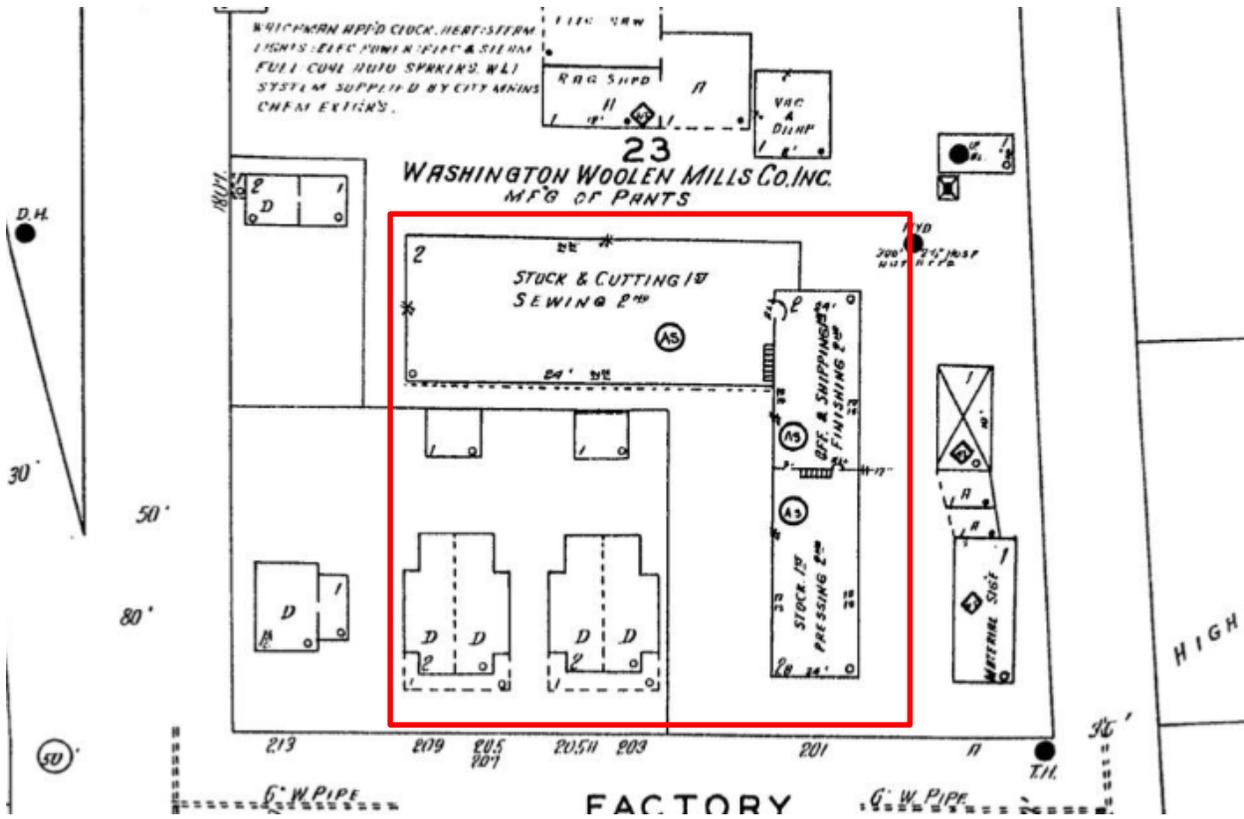
FRONT (SOUTH) ELEVATION



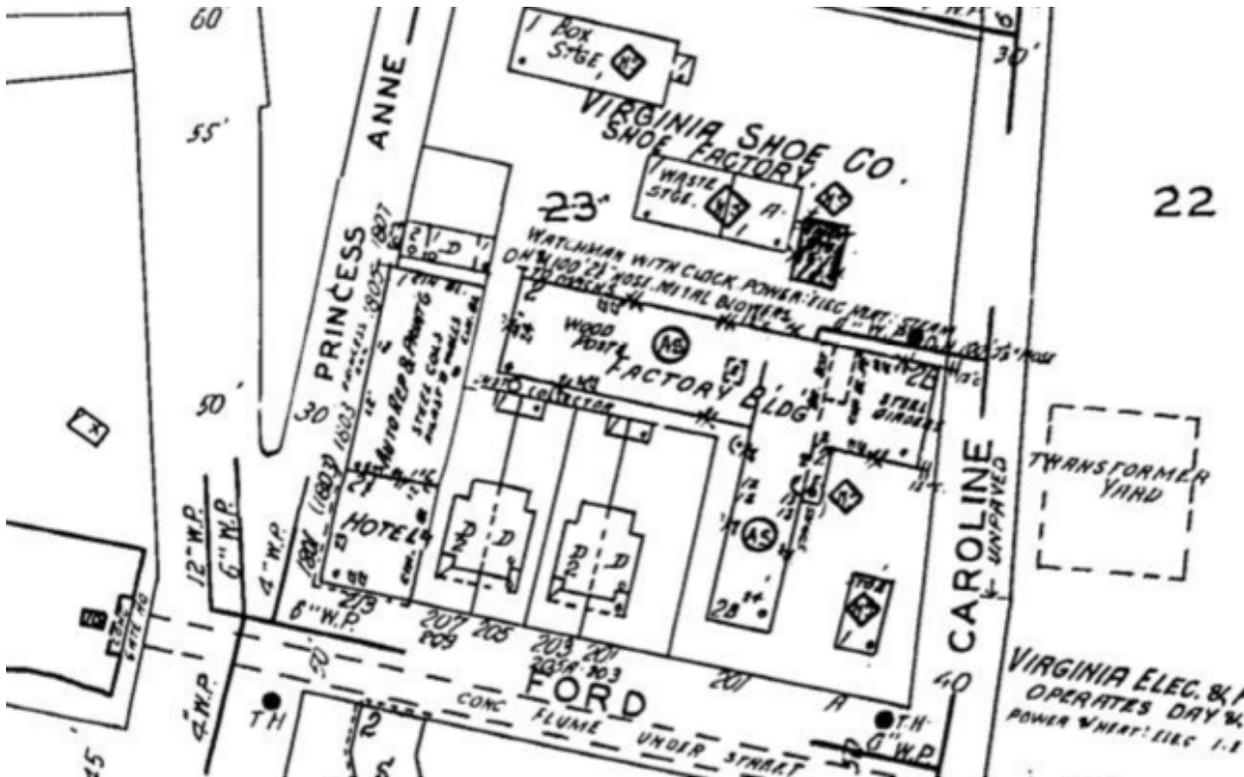
1907 Sanborn Fire Insurance Map



1912 Sanborn Fire Insurance Map



1927 Sanborn Fire Insurance Map



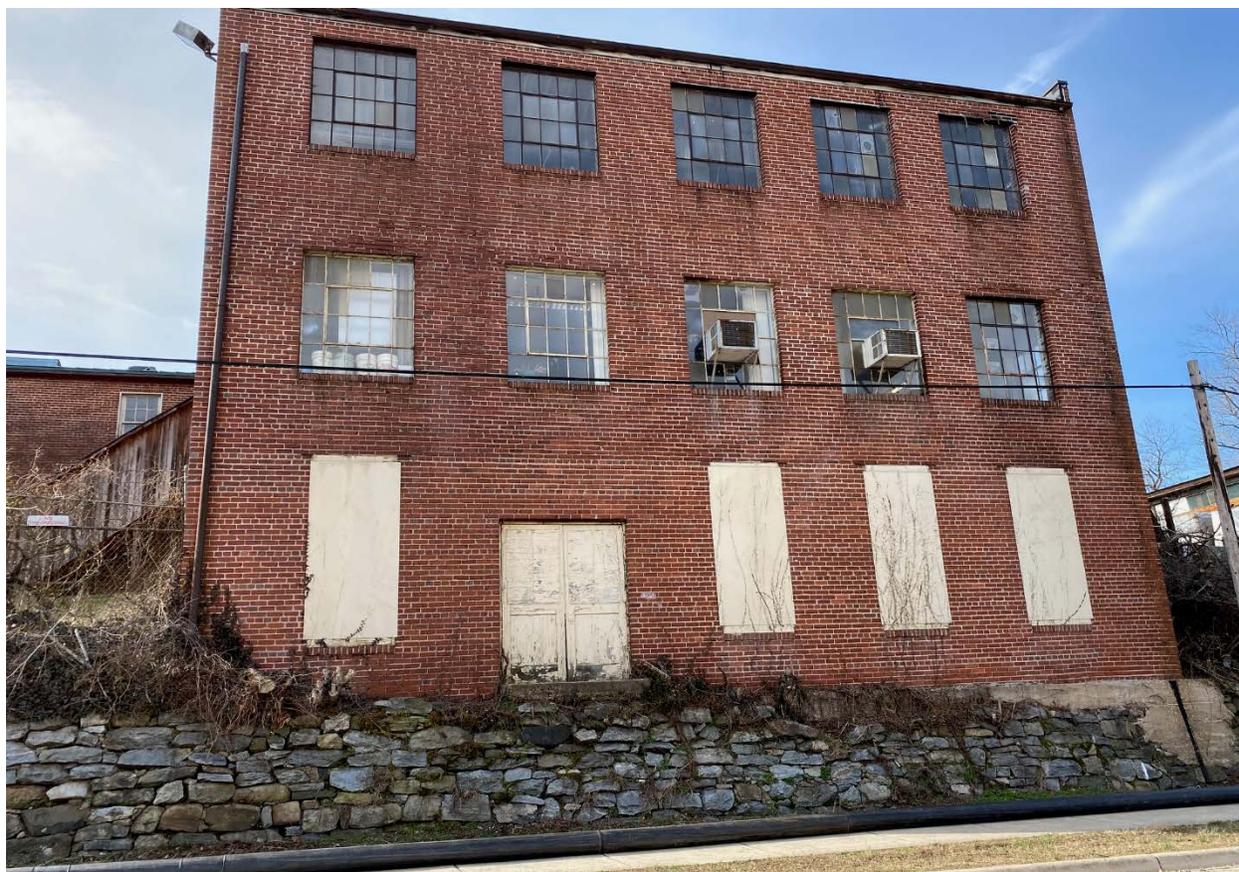
1947 Sanborn Fire Insurance Map



View looking north from Ford Street



View looking west from Caroline Street



View looking west from Caroline Street



View looking southwest from Caroline Street

January 17, 2020

Kate

City of Fredericksburg
Architectural Review Board
Community Planning and Building Department
715 Princess Anne Street Room 209
Fredericksburg, VA 22404

Dear Kate,

We are continuing the process of catching up on the 50 years maintenance neglect at Woolen Mill, Fredericksburg Shoe Company and Mary Washington Hotel.

I think we need to revisit the history of 1800 Princess Anne street. I have attached a note on the back of the doors in the old Hotel. It is signed Mary Washington Hotel. I always thought Mary Washington Hotel was on the Hardees' property. It must have operated as Mary Washington Hotel on this site above Dowling Signs presently. Please let me know if you have further information on the subject.

I have also included an application for your review. I believe, at this time we need to apply for a Certificate of Appropriateness for these activities.

1. ~~Soffits, Eaves, Gutters and Downspouts. Green to match metal roof~~ *lx-kind*
2. Stairs entering doors on 203 Ford Street
3. Fence around front entrance at Ford Street and over stone wall on Caroline Street
4. Roof top rails
5. Existing stairs raise roof to meet code 8"
6. Residential Elevator location – one four story and one two story
7. Parking lot side Elevator location – two story
8. Replace windows to look like existing Caroline Street wing – add 6 windows in basement

Please let me know if you have any questions or if I need to add anything.

Best Regards,



Ed Whelan
1707 Princess Anne Street
Fredericksburg, VA 22401

PERMANENT
EASEMENT
L.R. #070002006

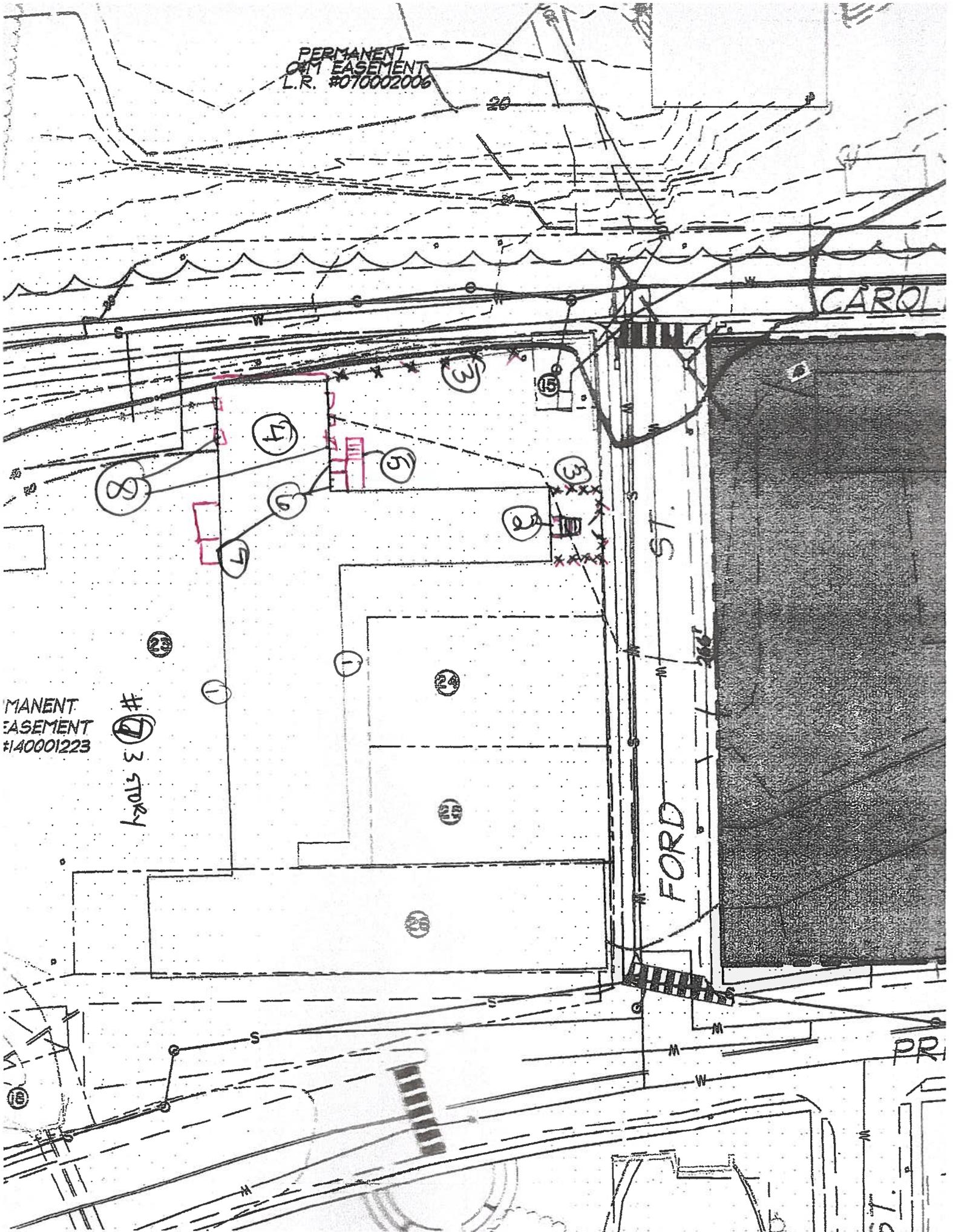
CAROL

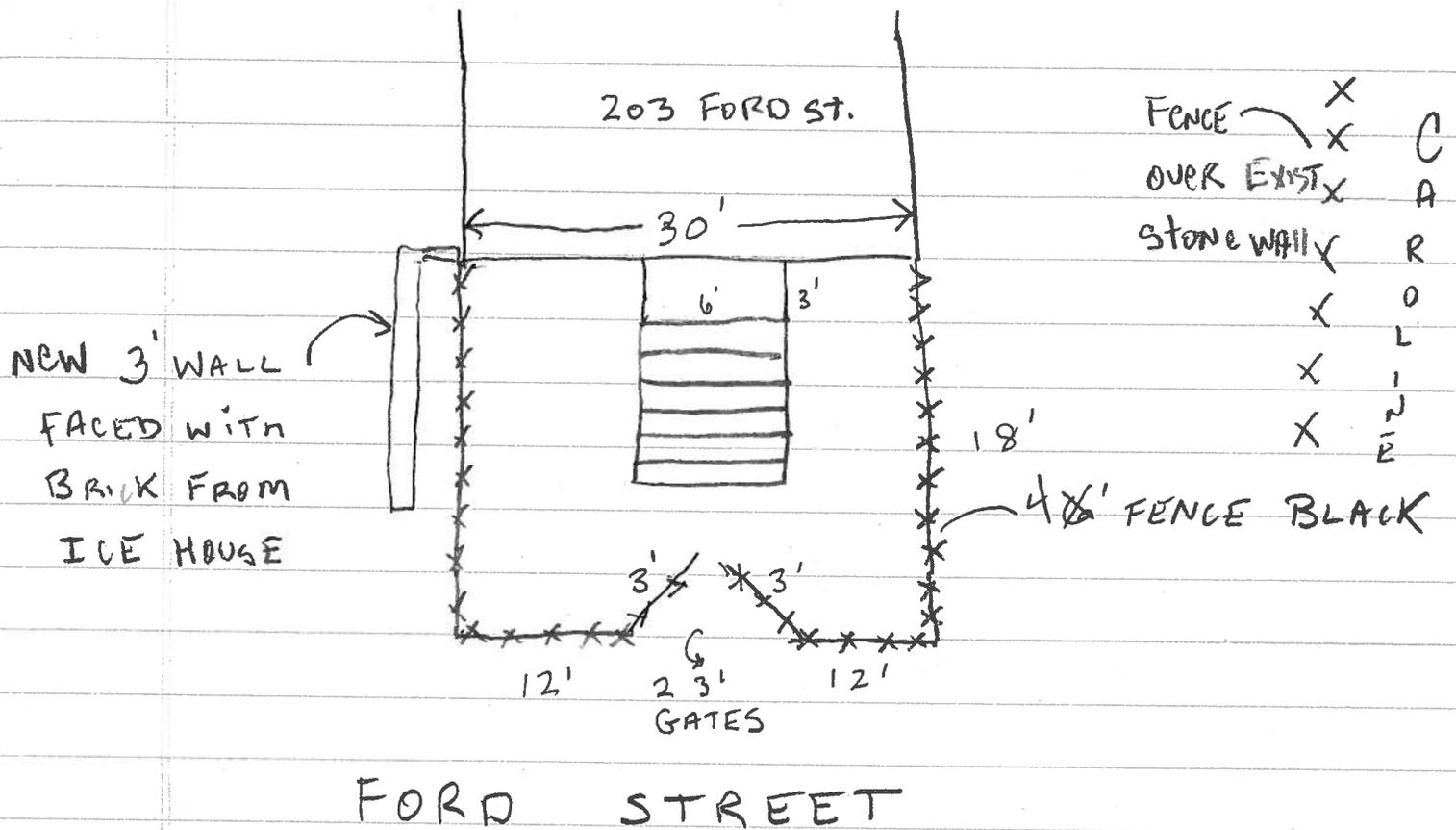
ST.

FORD

PERMANENT
EASEMENT
#140001223

3 STORY





STAIRS WROUGHT IRON HAND RAILS BLACK
SEE PHOTO: 1/2 SOLID PICKETS

1 3/4 COVER RAIL

1" POST TUBING

1" BOTTOM CHANNEL RAIL

LAMB TONGUE

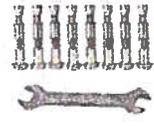
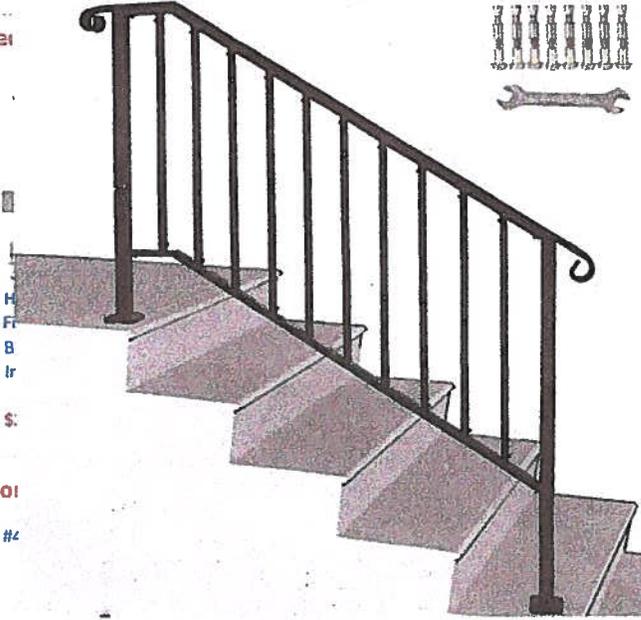
STAIRS PRESSURE TREATED STAINED GRAY 1/4 R
RISERS SKIRTING CREAM COLOR MATCH

EXISTING WINDOWS ON BUILDING

Sponsored products related to



LOVSHARE Handrail Picket #4 Fits 4 or 5 Steps Matte Black Stair Rail Wrought Iron Handrail with Mounts - Black Sand - Stair H...
 21
 \$385.98



Aluminum Handrail Direct AHR 3' Handrail Section with Mounts - Black Sand - Stair H...
 3
 \$89.95

Happybuy Fits 4 or 5 Stair Rail Handrail with Hand Rail

Size Name: 4
 Color: Black
 Dec Blar Bal
 \$42
 Ad fee: back

What other items do customers also buy?

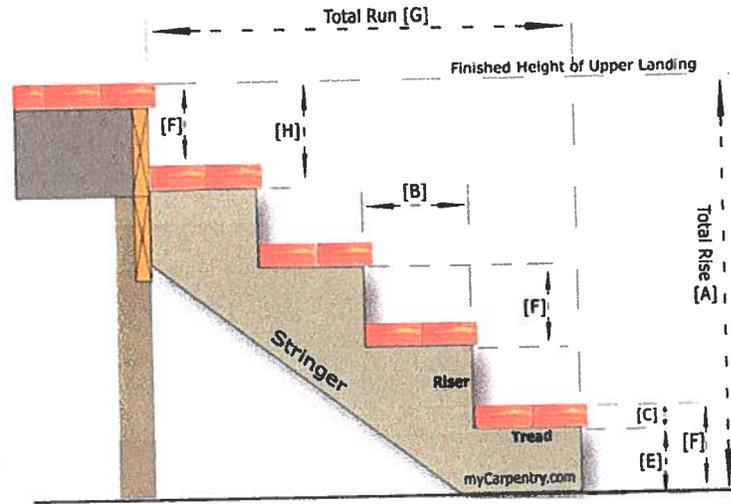


Happybuy Handrail Arch #4
 21
 \$325.98

Happybuy 5 Step Handrail Fits 4 or 5 Steps Matte Black Stair Rail Wrought Iron Handrail with

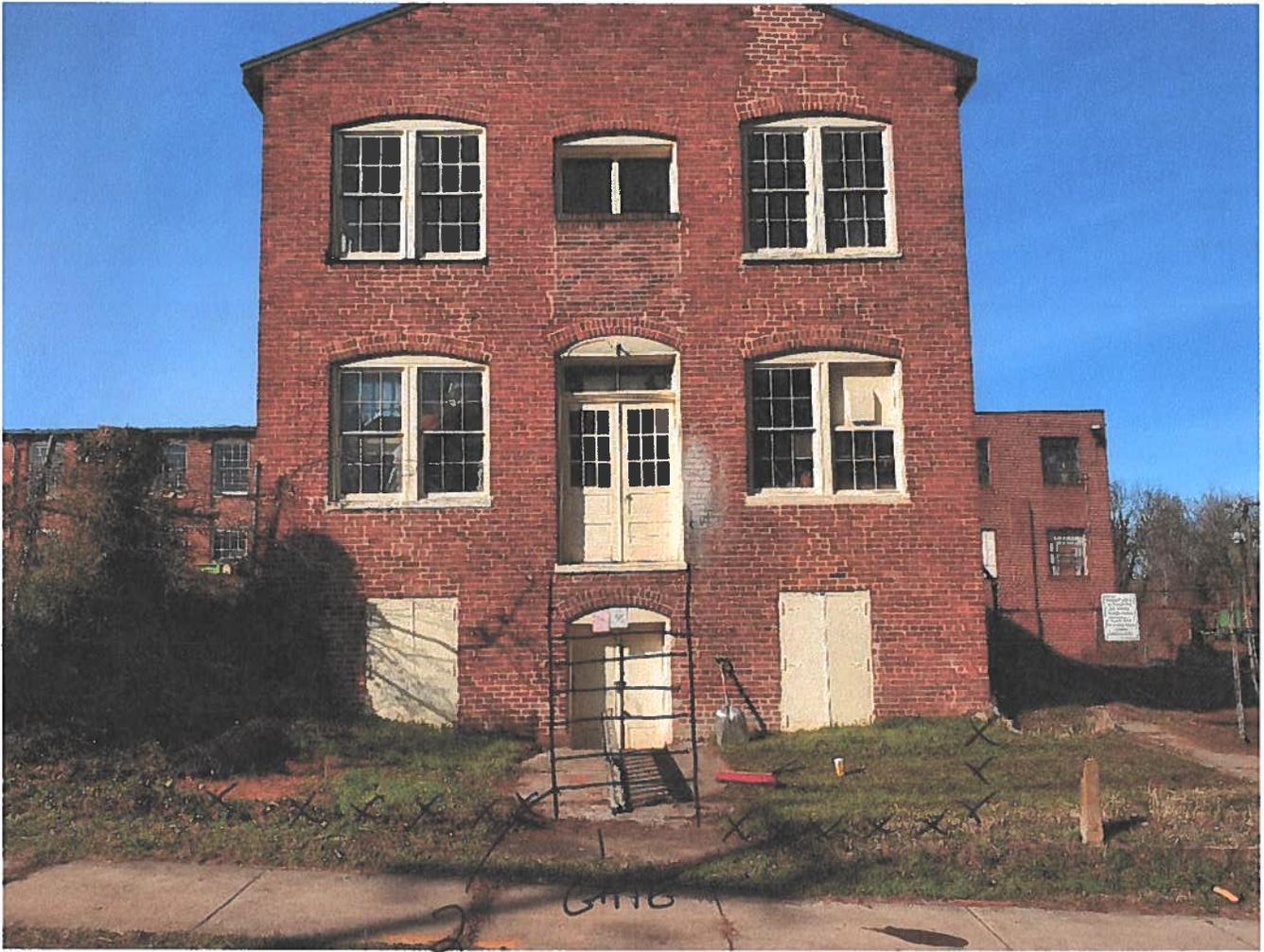


Aztek steps and Traditional - Stair Rail
 www.houzz.com
 View Image



Building & Construction
 www.mycarpentry.com
 View Image

2



#2

From: 5408417039 <5408417039@pm.sprint.com>
To: innkeeperfc1 <innkeeperfc1@aol.com>
Date: Tue, Jan 7, 2020 4:17 pm

Sent from my mobile.

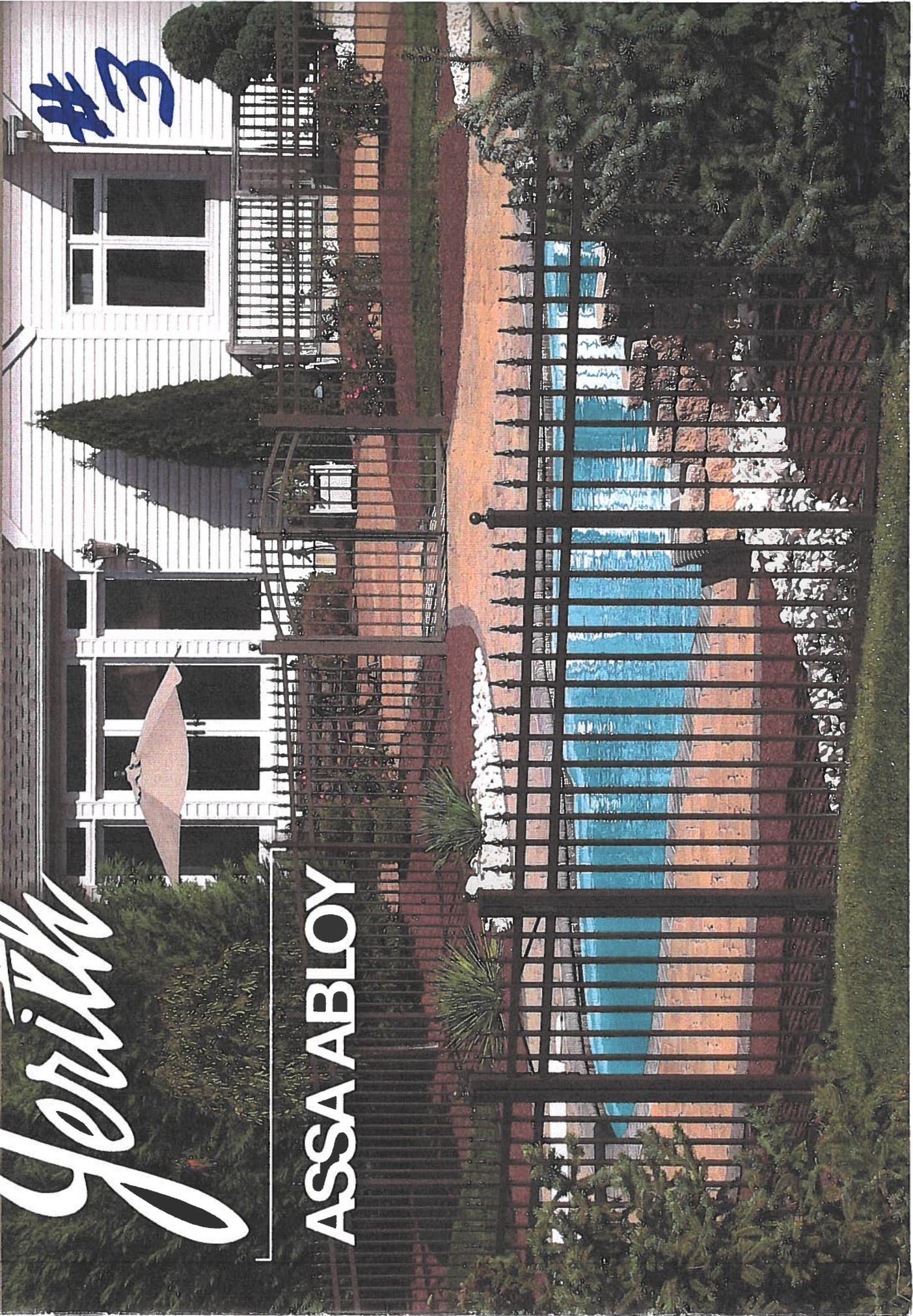


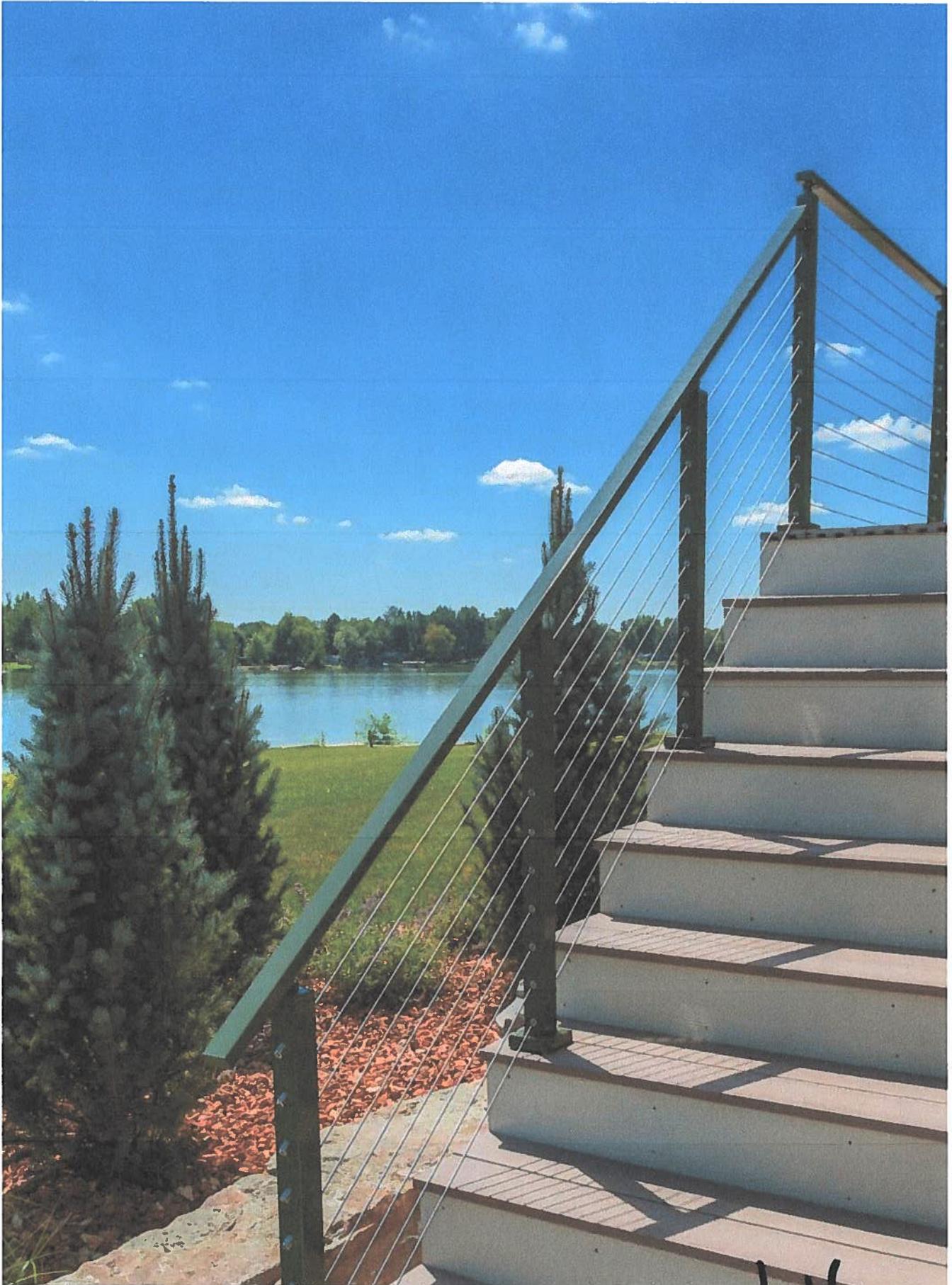
#2

Aluminum Fences of Distinction™

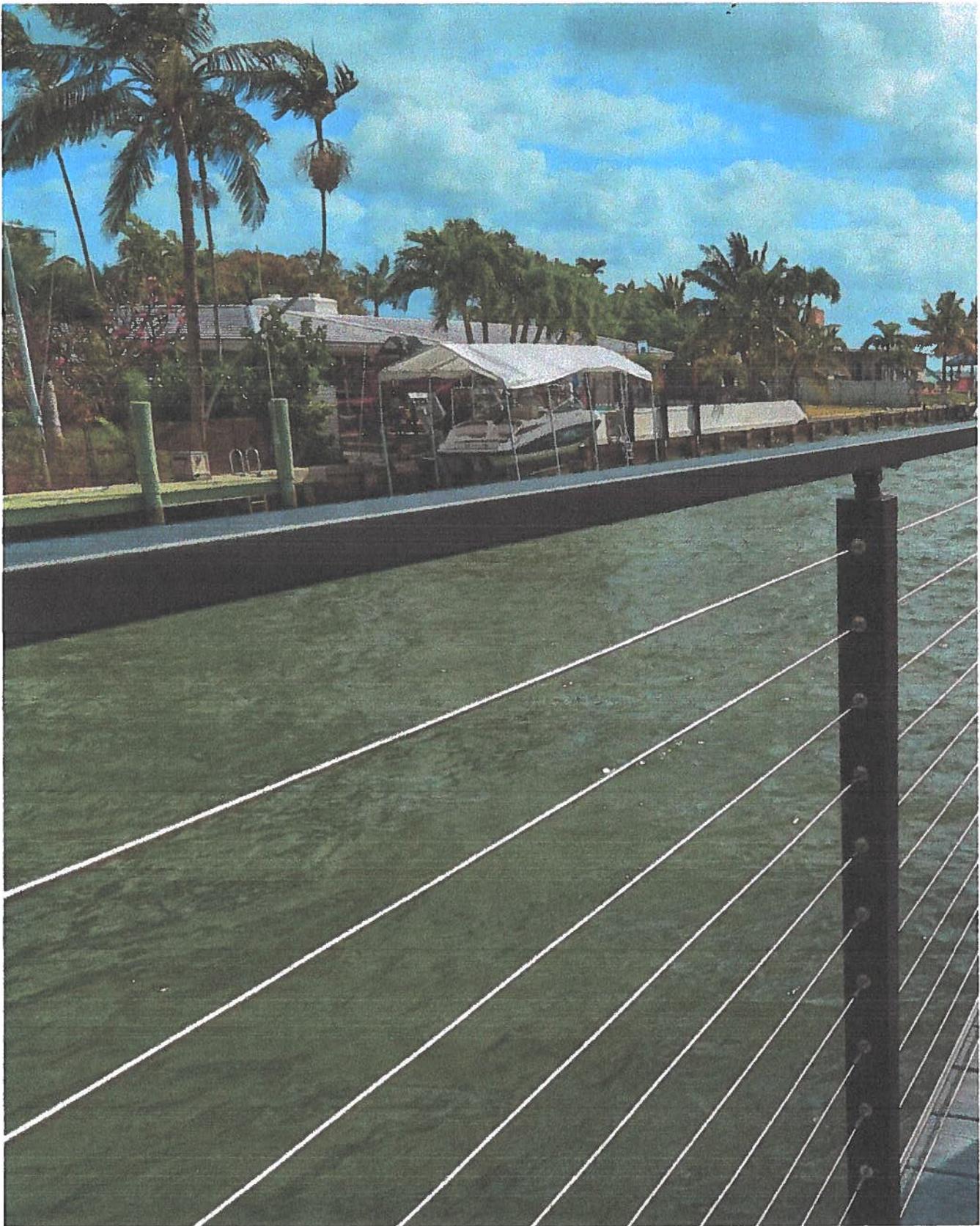
Verith

ASSA ABLOY

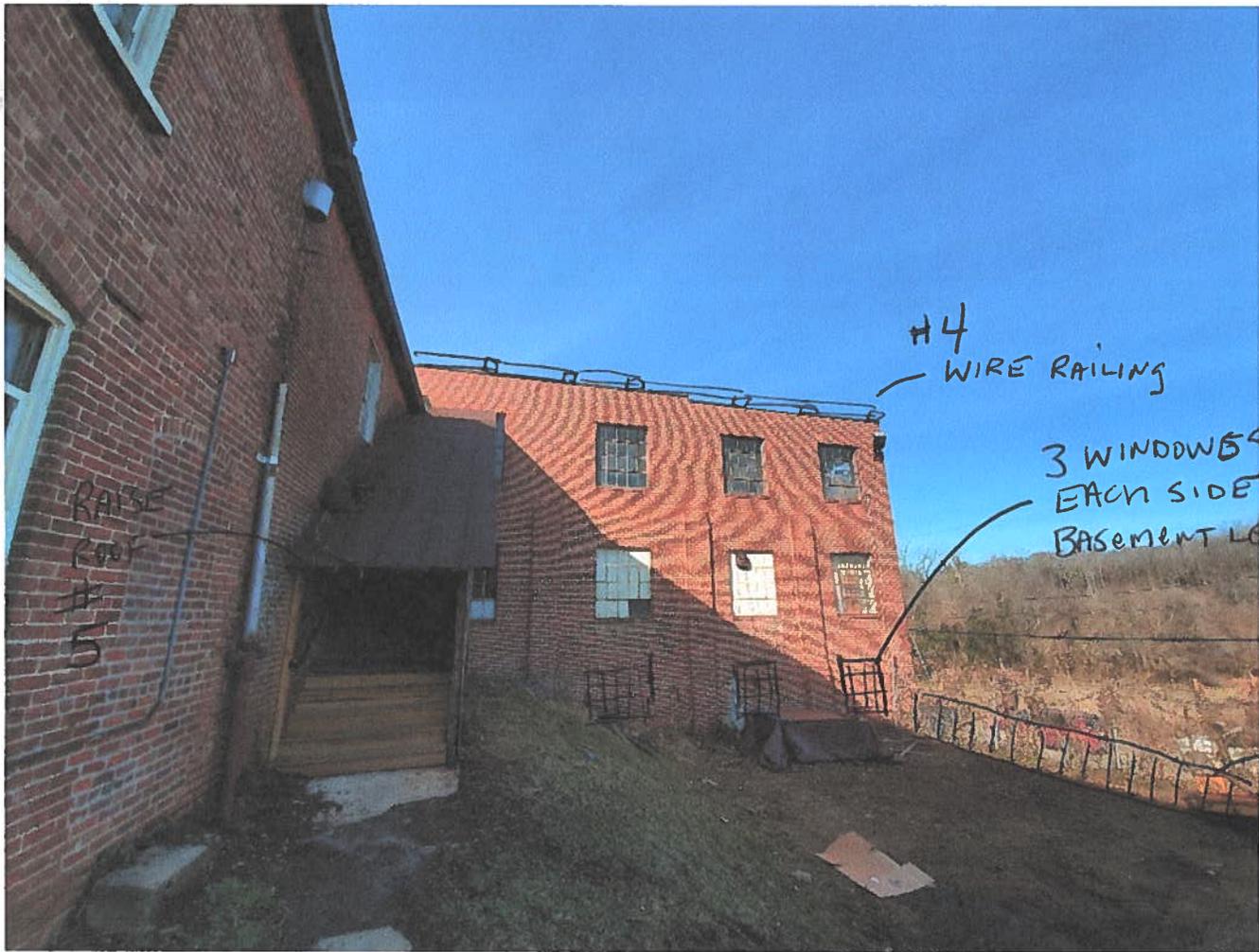




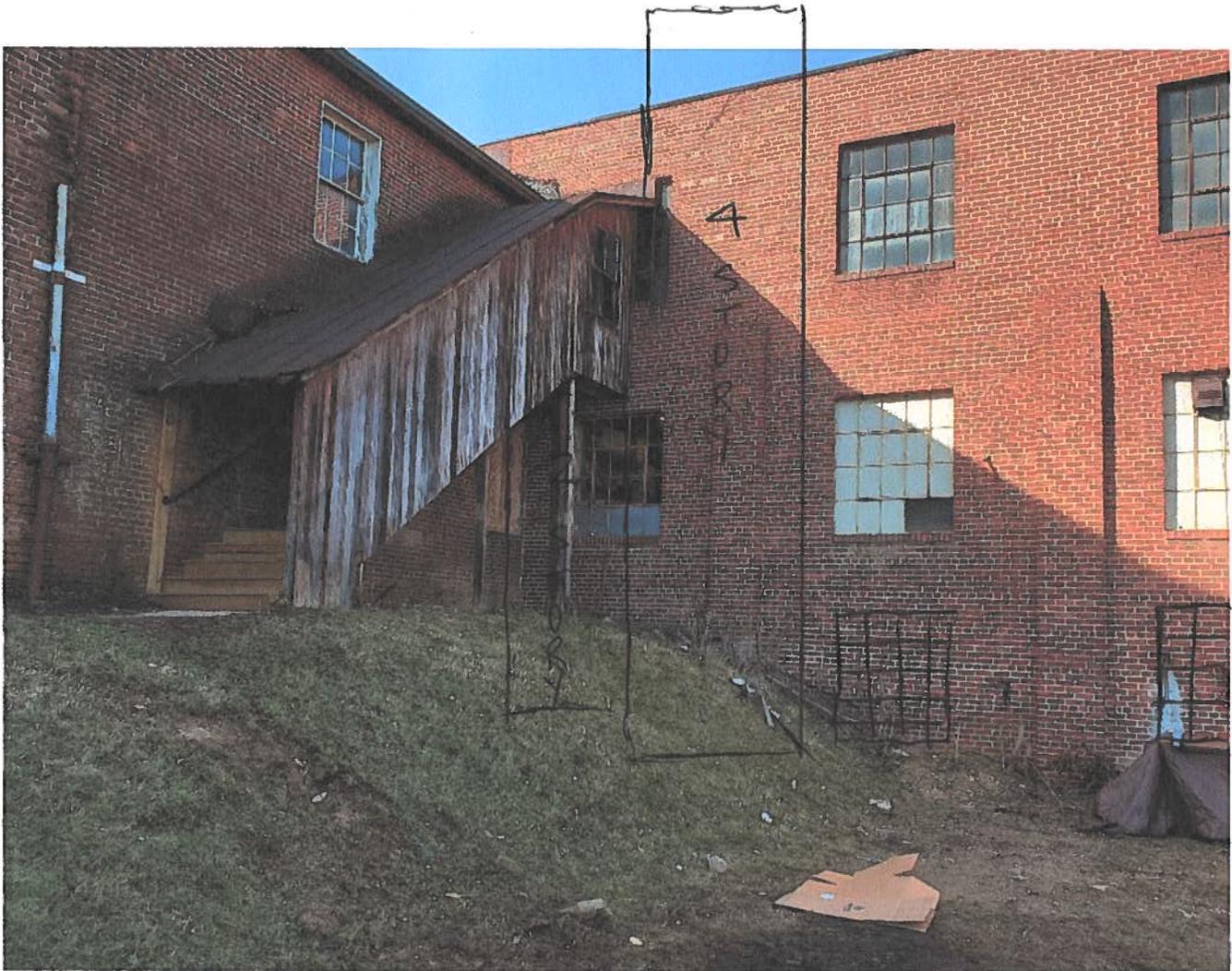
4



4

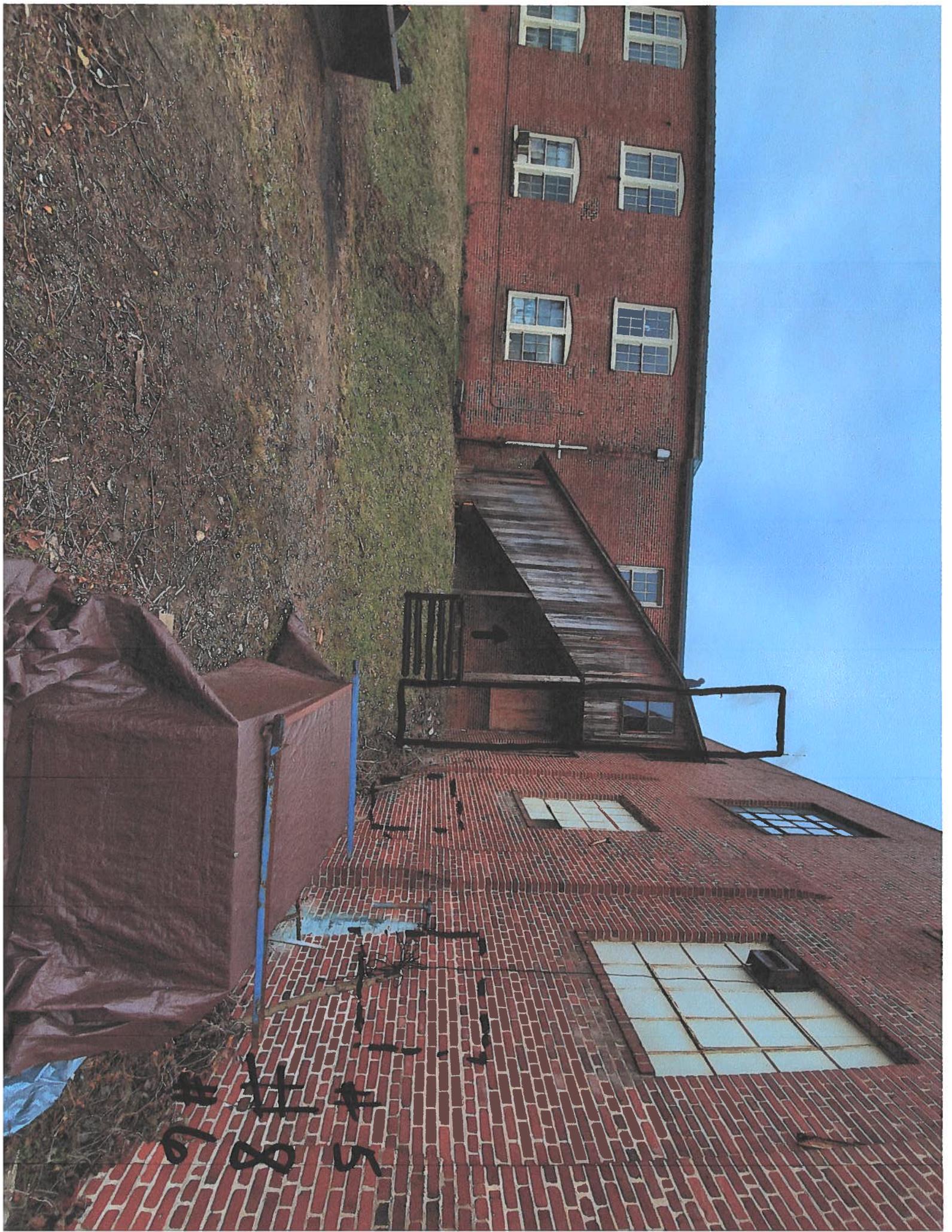


3
4
5
8



1 4 STORY ELEVATOR
1 2 STORY ELEVATOR

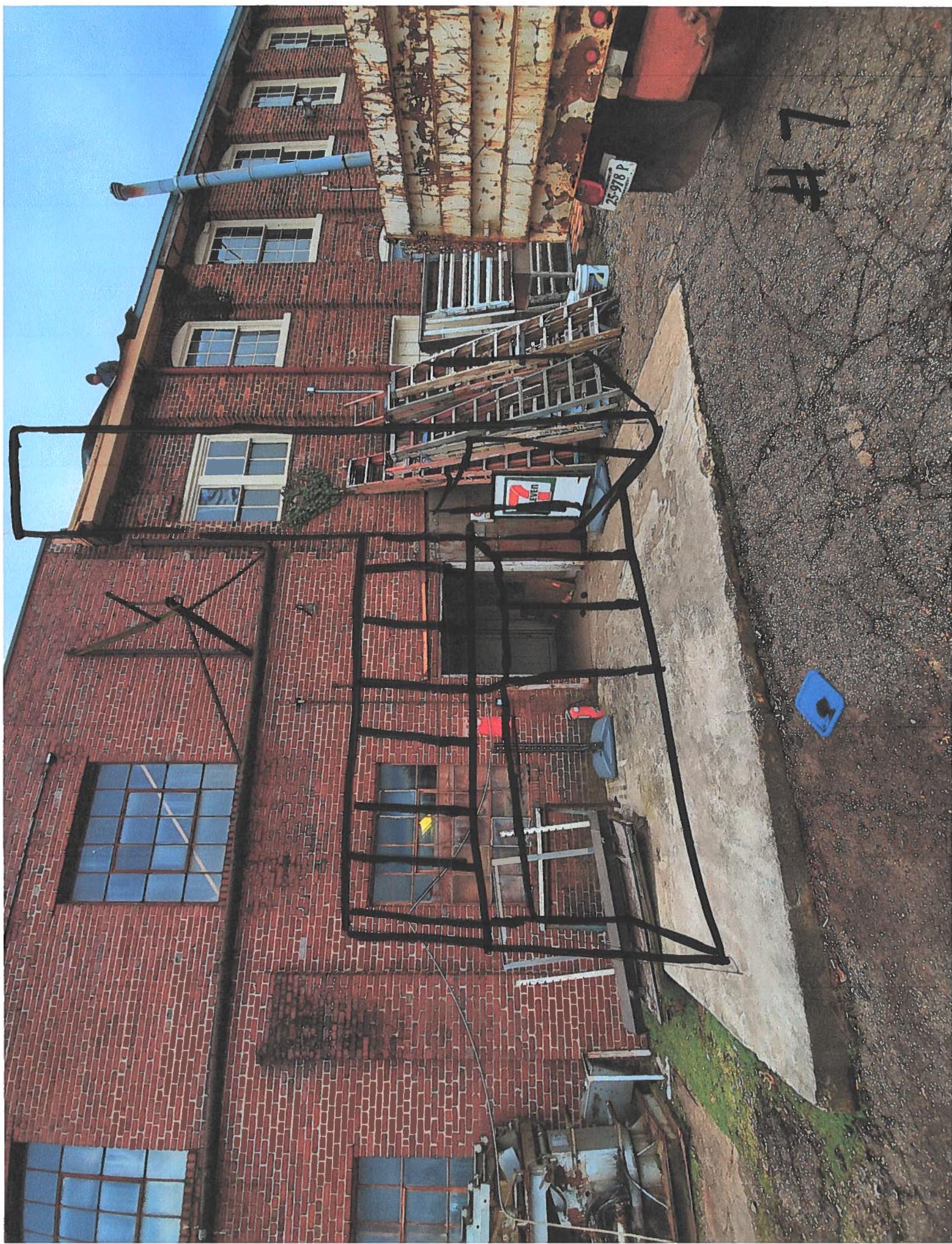
#6



5
8
19



#7

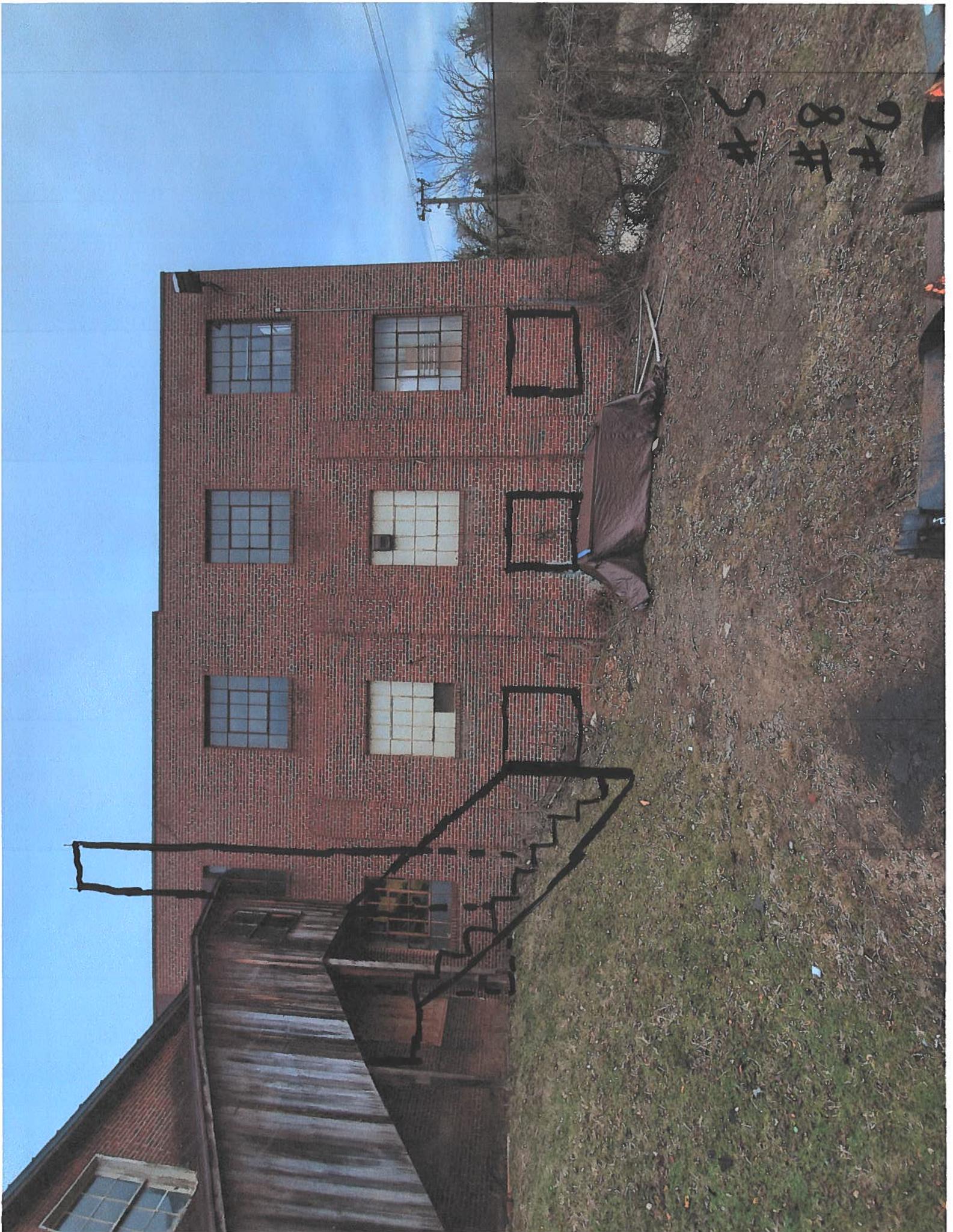


25-978 P

LH



L#7



#5
#8
#6





Wrought Iron Rail

Sidewalk

#8





COMPOSE

- Reply
- Reply All
- Forward
- Delete
- Spam
- More

Search Mail

Today on AOL

New Mail 826

Old Mail

White Supply and Glass

Bill Altman (baltman3@verizon.net)

To: you [Details](#) [Slideshow](#)

Renovation 1.JPG (5.5 MB)

Renovation 2.JPG (3.8 MB)

Renovation 3.JPG (5.0 MB)

Renovation be



8



1112

1112

1112

1112

YOW 225 TU

RECEIVED

JAN 28 2020

Thermally Broken Operable Window for Insulating Glass

BY: _____



OPERABLE WINDOWS

A Quality Window at a Great Value

The YOW 225 TU windows have been designed and engineered to provide the highest level of quality. The windows have an overall depth of 2-1/4" and are thermally broken by means of our ThermoBond Plus® technology developed at YKK AP. These windows may be installed as independent units or adapted to fit into most YKK AP storefronts, window wall, or curtain wall systems. The vents are flush with the frame thus eliminating unsightly overlap. YOW 225 TU windows are available in a variety of configurations to accommodate project requirements.

Product Options & Features

- AAMA/WDMA/CSA 101/I.S. 2/A 440-11
 - ◆ AW-65 (Operable), AW-100 (Fixed)
- Available configs: Casement Outswing, Project Out and In, Fixed
- Standard Heavy Duty Hardware
- Factory glazing and screens available
- Head/Jamb Receptors and Stacking Mullions
- ThermoBond Plus® thermal break
- Accepts 1" insulated glass

U-Factor Values as low as 0.32*

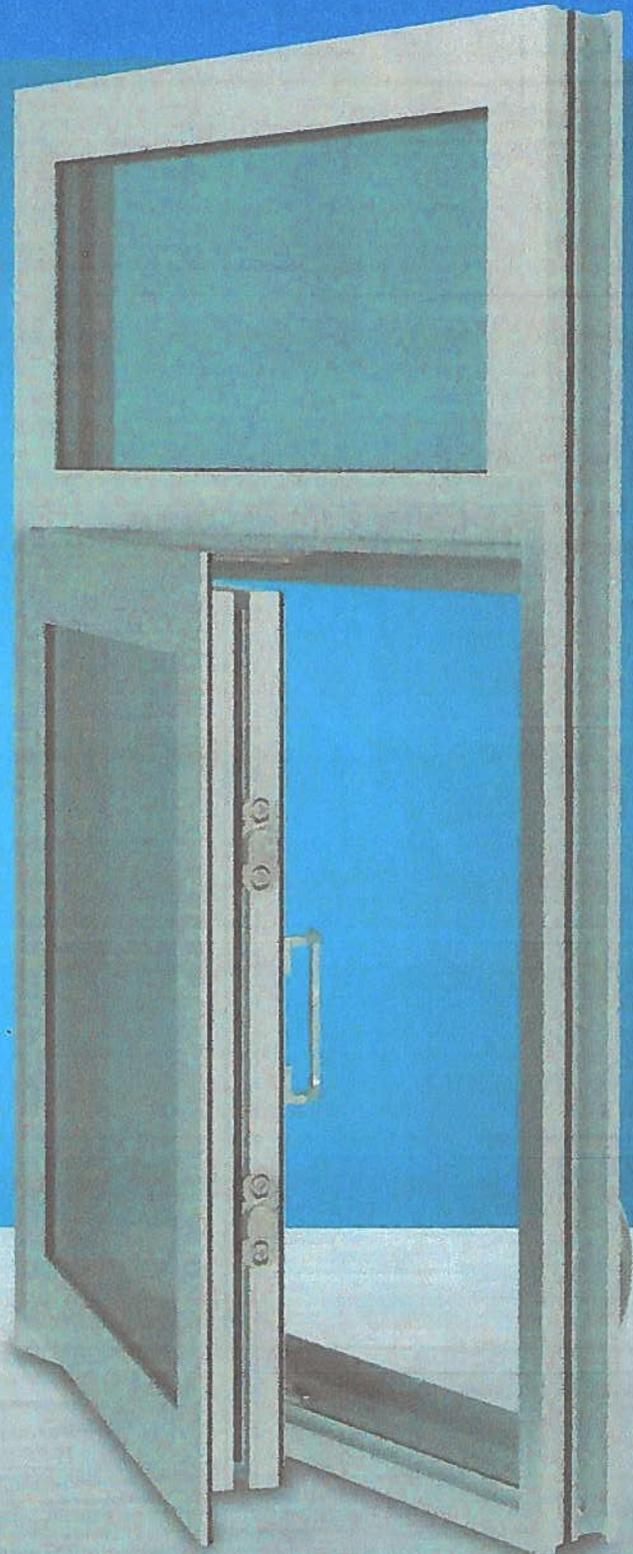
CRF Minimum 53_{frame} & 64_{glass}

*Based on AAMA 507. Lower values may be achieved through further simulation.



**YKK
ap**

Quality
inspires



YOW 225 TU

SYSTEM SPECIFICATIONS

Base Depth	Glazing & Config	Glass	Air Infiltration	Water Infiltration	Acoustical Performance
2-1/4"	Laminated & Casement Out, Project Out, Project In or Fixed	1" IGU with Low-E (C.O.G. U-factor: 0.29)	0.10 CFM/FT ² (1.83 m ³ /h·m ²) @ 6.24 PSF (299 Pa)	Static Operable: 12 PSF (575 Pa) Static Fixed: 15 PSF (718 Pa)	Operable STC: 33 Operable OITC: 26 Fixed STC: 32 Fixed OITC: 27
Testing Standards			ASTM E 283	ASTM E 331 & AAMA 501	ASTM E 90 & 1332
Product Testing			AW-65 Operable, AW-100 Fixed, AAMA/WDMA/CSA/101/I.S.2/A440-11		
Available Finishes			Factory Anodized (AAMA 612) and Organic Paints (AAMA 2605)		

Thermal Performance						
1" IGU	BTU/hr·ft ² ·°F					
C.O.G U-Factor	0.30	0.28	0.26	0.24	0.22	0.20
Fixed	0.40	0.38	0.37	0.35	0.34	0.32
Project Out	0.53	0.52	0.51	0.50	0.48	0.47
Casement Out	0.53	0.52	0.51	0.50	0.49	0.47
Testing Standards	AAMA 507					

CRF	
Frame	Glass
58	64
53	72
55	74
AAMA 1503	

HARDWARE OPTIONS



Cam Handle (Standard)



Multi Point Handle



Pole Cam Handle (Optional)



Custodial Cam Handle (Optional)



Roto Operator Crank Handle - Project



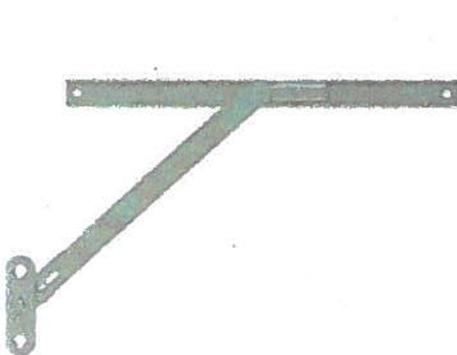
Roto Operator - Project



Roto Operator Crank Handle - Casement



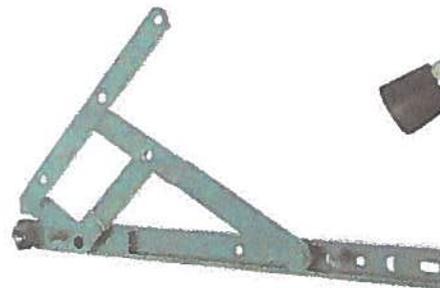
Roto Operator - Casement



Friction Device



Keyed Limit Device



4 Bar Hinge



Window Pole

Additional information including CAD details, CSI specifications, Test Reports and Installation instructions are available online at:

www.ykkap.com/commercial/product/architectural-windows/yow-225-tu/

CSI MASTERFORMAT SECTION NUMBER
CSI MASTERFORMAT SECTION TITLE
YKK AP PRODUCT SERIES

08 51 13
ALUMINUM WINDOWS
YKK AP YOW 225 TU FIXED & OPERABLE
WINDOW SERIES

PART 1 GENERAL

1.01 SUMMARY

A. Section Includes: Fixed and Operable Aluminum Window Systems

1. YKK AP Series YOW 225 TU ThermaBond Plus® Fixed Aluminum Window System.
- ~~2.~~ YKK AP Series YOW 225 TU ThermaBond Plus® Operable Aluminum Window System.

B. Related Sections:

1. Sealants: Refer to Division 7 Joint Treatment Section for sealant requirements.
2. Glass and Glazing: Refer to Division 8 Glass and Glazing Section for glass and glazing requirements.
3. Single Source Requirement: All products listed below shall be by the same manufacturer.
 - a. Section 08 32 13 Sliding Aluminum - Framed Glass Doors
 - b. Section 08 41 13 Aluminum - Framed Entrances and Storefronts
 - c. Section 08 44 13 Glazed Aluminum Curtain Walls
 - d. Section 08 44 33 Sloped Glazing Assemblies

1.02 TEST AND PERFORMANCE REQUIREMENTS

A. All test unit sizes and configurations shall conform to the minimum sizes in accordance with AAMA/WDMA/CSA/I.S.A 440-05, with a performance class of AW, performance grade 65 (Operable), 100 (Fixed). Windows shall also comply with the following specific performance requirements indicated.

1. Air Infiltration: When tested in accordance with ASTM E 283-91 at differential static pressure of 6.24 PSF (299 Pa), completed window systems shall have maximum allowable infiltration of 0.10 CFM/FT² (1.83 m³/h·m²).
2. Water Infiltration: No uncontrolled water other than condensation on indoor face of any component when tested in accordance with ASTM E 331-93 and E547-86 at a minimum test pressure differential of 12 PSF (575 Pa) operable, 15 PSF (718 Pa) fixed.
3. Uniform Load Structural Test: Provide aluminum window systems that comply with AAMA/WDMA/CSA 101/I.S.A440-11 voluntary specifications for aluminum and polyvinylchloride (PVC) prime windows and glass doors, guidelines for specified AW rated product.
4. Thermal Movement: Provide for thermal movement caused by 180 degrees F. (82.2 degrees C.) surface temperature, without causing buckling stresses on glass, joint seal failure, undue stress on structural elements, damaging loads on fasteners, reduction of performance, or detrimental effects.
5. Thermal Performance: When tested in accordance with AAMA 1503 and NFRC 102:
 - a. Condensation Resistance Factor (CRF): A minimum of 57 (Fixed), 53 (Operable).
 - b. Thermal Transmittance U Value: 0.39 (Fixed), 0.52 (Casement & Project) BTU/HR/FT²/°F or less.
6. Acoustical Performance: When tested in accordance with ASTM E 90 and ASTM E 1332, the Sound Transmission Class (STC) shall not be less than 33 for operable, 32 for fixed units.
7. Life Cycle Testing: When tested in accordance with AAMA 910, there shall be no damage to fasteners, hardware parts, or any other damage that would cause the specimen to be inoperable. Resistance to air leakage and water penetration resistance test results shall not exceed the gateway performance.

Note: Performance based on lab testing and will vary by configuration and glass type; contact YKK AP engineering for AAMA 507 Certificate of Compliance, to demonstrate compliance with NFRC for various glass types.

1.03 SUBMITTALS

- A. General: Prepare, review, approve, and submit specified submittals in accordance with "Conditions of the Contract" and Division 1 Submittals Sections. Product data, shop drawings, samples, and similar submittals are defined in "Conditions of the Contract."
- B. Product Data: Submit product data for each type window series specified.
- C. Substitutions: Whenever substitute products are to be considered, supporting technical data, samples, and test reports must be submitted ten (10) working days prior to bid date in order to make a valid comparison.
- D. Shop Drawings: Submit shop drawings showing layout, profiles, and product components, including anchorage, accessories, finish colors and textures.
- E. Samples: Submit verification samples for colors on actual aluminum substrates indicating full color range expected in installed system.
- F. Quality Assurance / Control Submittals:

1. Test Reports: Submit certified test reports showing compliance with specified performance characteristics and physical properties.
 2. Installer Qualification Data: Submit installer qualification data.
- G. Closeout Submittals:
1. Warranty: Submit warranty documents specified herein.
 2. Project Record Documents: Submit project record documents for installed materials in accordance with Division 1 Project Closeout (Project Record Documents) Section.

1.04 QUALITY ASSURANCE

A. Qualifications:

1. Installer Qualifications: Installer experienced (as determined by contractor) to perform work of this section who has specialized in the installation of work similar to that required for this project. If requested by Owner, submit reference list of completed projects.
 2. Manufacturer Qualifications: Manufacturer capable of providing field service representation during construction process.
- B. Mock-Ups (Field Constructed): Install at project site a job mock-up using acceptable products and manufacturer approved installation methods. Obtain Owner's and Architect's acceptance of finish color, and workmanship standard.
1. Mock-Up Size:
 2. Maintenance: Maintain mock-up during construction for workmanship comparison; remove and legally dispose of mock-up when no longer required.
 3. Incorporation: Mock-up may be incorporated into final construction upon Owner's approval.
- C. Pre-Installation Meetings: Conduct pre-installation meeting to verify project requirements, substrate conditions, manufacturer's installation instructions, and manufacturer's warranty requirements.

1.05 PROJECT CONDITIONS / SITE CONDITIONS

- A. Field Measurements: Verify actual measurements/openings by field measurements before fabrication; show recorded measurements on shop drawings. Coordinate field measurements, fabrication schedule with construction progress to avoid construction delays.

1.06 WARRANTY

- A. Project Warranty: Refer to "Conditions of the Contract" for project warranty provisions.
- B. Manufacturer's Warranty: Submit, for Owner's acceptance, manufacturer's standard warranty document executed by an authorized company official.
1. Warranty Period: Manufacturer's one (1) year standard warranty commencing on the substantial date of completion for the project provided that the warranty, in no event, shall start later than six (6) months from the date of shipment by YKK AP America Inc.

EDITOR NOTE: Longer warranty periods are available at additional cost.

PART 2 PRODUCTS

2.01 MANUFACTURERS (Acceptable Manufacturers/Products)

- A. Acceptable Manufacturers: YKK AP America Inc.
270 Riverside Parkway, Suite 100
Austell, GA 30168
Telephone: (678) 838-6000; Fax: (678) 838-6001
- *1. Operable Window System: YKK AP YOW 225 TU ThermaBond Plus® Aluminum Window System.
2. Fixed Window System: YKK AP YOW 225 TU ThermaBond Plus® Aluminum Window System.
- B. Window Framing System:
1. AAMA Designation: AW-65 (Operable), AW-100 (Fixed).
 2. Description: The windows shall be extruded aluminum with integral structural thermal break; 2 1/4" frame depth; Vents shall be flush with frame and have mitered corner construction; Factory-assembled.
 3. Configuration: The thermally broken windows shall be (select one or more) Fixed, Casement (outswing or inswing), or Project (in or out).
 4. Thermal Barrier: Provide continuous thermal barrier by means of a poured and debridged pocket consisting of a two-part, chemically curing high density polyurethane which is bonded to the aluminum by YKK ThermaBond Plus®. Systems employing non structural type thermal barriers are not acceptable.

5. Glazing: Exterior glazing tape with silicone cap bead; 1" insulating units; Interior EPDM wedge gaskets; Aluminum interior glazing beads; Factory or bench glazed. Glazing thickness as specified in Division 8 glass and glazing sections.

2.02 MATERIALS

A. Extrusions: ASTM B 221 (ASTM B 221M), 6063-T5 Aluminum Alloy.

B. Aluminum Sheet:

1. Anodized Finish: ASTM B 209 (ASTM B 209M), 5005-H14 Aluminum Alloy, 0.050" (1.27 mm) minimum thickness.
2. Painted Finish: ASTM B 209 (ASTM B 209M), 3003-H14 Aluminum Alloy, 0.080" (1.95 mm) minimum thickness.

2.03 ACCESSORIES

A. Manufacturer's Standard Accessories:

1. Hardware: Standard concealed stainless steel 4 bar hinges for casement outswing and projected vents, exposed white bronze butt hinges for casement inswing vents, white bronze cam handles and strikes; Optional white bronze roto-operators for casement outswing vents, stainless steel support arms for casement inswing vents, aluminum/white bronze push bars for project out vents, white bronze custodial locks or multi-locks in lieu of cam handles, stainless steel limit stop device.
2. Fasteners: All fasteners shall be AISI 300 series (except for self-drilling, which are to be series 400) stainless steel.
3. Sealant: Non-skinning type, AAMA 803.3
4. Glazing: Setting blocks, edge blocks, and spacers in accordance with ASTM C 864, shore durometer hardness as recommended by manufacturer; Glazing gaskets in accordance with ASTM C 864.

2.04 RELATED MATERIALS (Specified In Other Sections)

A. Glass: Refer to Division 8 Glass and Glazing Section for glass materials.

2.05 FABRICATION

A. Shop Assembly: Fabricate and assemble units with joints only at intersection of aluminum members with uniform hairline joints; rigidly secure, and sealed in accordance with manufacturer's recommendations.

2.06 FINISHES AND COLORS

A. YKK AP America Anodized Plus® Finish:

CODE	DESCRIPTION
YS1N*	Clear Anodized Plus®
YH3N	Champagne Anodized Plus®
YB1N	Medium Bronze Anodized Plus®
YB5N	Dark Bronze Anodized Plus® *
YK1N*	Black Anodized Plus®
YW3N	White Anodized Plus®
M	Mill Finish

* Indicates standard finish usually carried as inventory.

Anodized Plus® is an advanced sealing technology that completely seals the anodic film yielding superior durability (See AAMA 612).

B. Anodized Finishing: Prepare aluminum surfaces for specified finish; apply shop finish in accordance with the following:

1. Anodic Coating: Electrolytic color coating followed by an organic seal applied in accordance with the requirements of AAMA 612-02. Aluminum extrusions shall be produced from quality controlled billets meeting AA-6063-T5.
 - a. Exposed Surfaces shall be free of scratches and other serious blemishes.
 - b. Extrusions shall be given a caustic etch followed by an anodic oxide treatment and then sealed with an organic coating applied with an electrodeposition process.
 - c. The anodized coating shall comply with all of the requirements of AAMA 612-02: Voluntary Specifications, Performance Requirements and Test Procedures for Combined Coatings of Anodic Oxide and Transparent Organic Coatings on Architectural Aluminum. Testing shall demonstrate the ability of the finish to resist damage from mortar, salt spray, and chemicals commonly found on construction sites, and to resist the loss of color and gloss.
 - d. Overall coating thickness for finishes shall be a minimum of 0.7 mils.

C. High Performance Organic Coating Finish:

1. Type Factory applied two-coat 70% Kynar resin by Arkema or 70% Hylar resin by Solvay Solexis, fluoropolymer based coating system, Polyvinylidene Fluoride (PVF-2), applied in accordance with YKK AP procedures and meeting AAMA 2605 specifications.

2. Colors: Selected by Architect from the following:
 - a. Standard coating color charts.
 - b. Custom coating color charts.
 - c. Color Name and Number:
- D. Finishes Testing:
 1. Apply 0.5% solution NaOH, sodium hydroxide, to small area of finished sample area; leave in place for sixty minutes; lightly wipe off NaOH; Do not clean area further.
 2. Submit samples with test area noted on each sample.

PART 3 EXECUTION

3.01 MANUFACTURER'S INSTRUCTIONS / RECOMMENDATIONS

- A. Compliance: Comply with manufacturer's product data, including product technical bulletins, installation instructions, and product carton instructions. The latest installation manual is available at www.ykkap.com.

3.02 EXAMINATION

- A. Site Verification of Conditions: Verify conditions (which have been previously installed under other sections) are acceptable for product installation in accordance with manufacturer's instructions.

3.03 PREPARATION

- A. Adjacent Surfaces Protection: Protect adjacent work areas and finish surfaces from damage during product installation.
 1. Aluminum Surface Protection: Protect aluminum surfaces from contact with lime, mortar, cement, acids, and other harmful contaminants.

3.04 INSTALLATION

- A. General: Install manufacturer's system in accordance with shop drawings, and within specified tolerances.
 1. Protect aluminum members in contact with masonry, steel, concrete, or dissimilar materials using nylon pads or bituminous coating.
 2. Shim and brace aluminum system before anchoring to structure.
 3. Verify window system allows water entering system to be collected in gutters and wept to exterior. Verify weep holes are open, and metal joints are sealed in accordance with manufacturers installation instructions.
 4. Locate expansion mullions where indicated on reviewed shop drawings.
 5. Seal metal to metal window system joints using sealant recommended by system manufacturer.

3.05 FIELD QUALITY CONTROL

- A. Manufacturer's Field Services: Upon request, provide manufacturer's field service consisting of site visit for inspection of product installation in accordance with manufacturer's instructions.
- B. Field Test: Conduct field test to determine watertightness of window system. Conduct test in accordance with AAMA 502-11.

3.06 ADJUSTING AND CLEANING

- A. Adjusting: Adjust operating items for operation in accordance with manufacturer's recommendations.
- B. Cleaning: The General Contractor shall clean installed products in accordance with manufacturer's instructions prior to owner's acceptance, and remove construction debris from project site. Legally dispose of debris.
- C. Protection: The General Contractor shall protect the installed product's finish surfaces from damage during construction.

END OF SECTION

Document Number 05-3003-03

This document supersedes all previous versions.

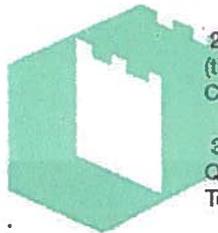
ARCHITECTURAL GUIDE SPECIFICATION
SECTION 08 81 00 GLASS GLAZING

Note to Specifiers:

The specifications below are suggested as desirable inclusions in glass and glazing specifications (section 08 81 00), but are not intended to be complete. An appropriate and qualified Architect or Engineer must verify suitability of a particular product for use in a particular application as well as review final specifications. Oldcastle BuildingEnvelope® assumes no responsibility or liability for the information included or not included in these specifications.

PRODUCTS

Approved Glass Fabricator Oldcastle BuildingEnvelope®
Glass Description FLOAT GLASS



1. USA - Annealed float glass shall comply with ASTM C1036, Type I, Class 1 (clear), Class 2 (tinted), Quality-Q3. Canada - Annealed float glass shall comply with CAN/CGSB-12.3-M, Quality-Glazing.
2. USA- Heat-strengthened float glass shall comply with ASTM C1048, Type I, Class 1 (clear), Class 2 (tinted), Quality Q3, Kind HS. Canada - Heat-strengthened float glass shall comply with CAN/CGSB-12.9-M, Type 2-Heat-Strengthened Glass, Class A-Float Glass.
3. USA - Tempered float glass shall comply with ASTM C1048, Type I, Class 1 (clear), Class 2 (tinted), Quality Q3, Kind FT. Canada - Tempered float glass shall comply with CAN/CGSB-12.1-M, Type 2-Tempered Glass, Class B-Float Glass.
4. USA - Laminated glass to comply with ASTM C1172. Canada - Laminated glass to comply with CAN/CGSB-12.1-M, Type 1-Laminated Glass, Class B-Float Glass.
5. Glass shall be annealed, heat-strengthened or tempered as required by codes, or as required to meet thermal stress and wind loads.

Sealed Insulating Glass (IG) Vision Glass (Vertical) GENERAL

1. IG units consist of glass lites separated by a dehydrated airspace that is hermetically dual sealed with a primary seal of polyisobutylene (PIB) and a secondary seal of silicone or an organic sealant depending on the application.
2. USA - Insulating glass units are certified through the Insulating Glass Certification Council (IGCC) to ASTM E2190. Canada - Insulating Glass units are certified through the Insulating Glass Manufacturers Alliance (IGMA) to either the IGMAC certification program to CAN/CGSB-12.8, or through the IGMA program to ASTM E2190.

IG VISION UNIT PERFORMANCE CHARACTERISTICS

1. Exterior Lite
1/4" PPG Solarban® 60 on Solexia® Low-E #2
2. Interior Lite
1/4" Clear
3. 1/2" Cavity
1/2 inch (90% Argon Fill)

4. Performance Characteristics

Thermal		Optical	
Winter U-factor/U-value:	0.24	Visible Light Transmittance:	61%
Summer U-factor/U-value:	0.22	Visible Light Reflectance (outside):	9%
Solar Heat Gain Coefficient:	0.31	Visible Light Reflectance (inside):	12%
Shading Coefficient:	0.36	Total Solar Transmittance:	25%
Relative Heat Gain (Btu/hr-ft²):	75	Total Solar Reflectance (outside):	10%
Light to Solar Gain:	1.97	Ultraviolet Transmittance:	10%

Contact Oldcastle BuildingEnvelope® at 866-Oldcastle (653-2278) for samples or additional information concerning performance, strength, deflection, thermal stress or application guidelines. GlasSelect® calculates center of glass performance data using the Lawrence Berkeley National Laboratory (LBNL) Window 7.4 program (version 7.4.8.0) with Environmental Conditions set at NFRC 100-2010, Gas Library ID#1 (Air) is used for Insulating Glass units with air. Gas Library ID#9 (10% Air/90% Argon) is used for Insulating Glass units with argon. Monolithic glass data is from the following sources: 1. LBNL International Glazing Database (IGDB) version 53.0; 2. Vendor supplied spectral data files. Laminated glass data is from the following sources: 1. LBNL International Glazing Database (IGDB) version 53.0; 2. LBNL Optics 6 (version 6.0 Maintenance Pack 1); 3. Vendor supplied spectral data files; 4. Vendor supplied data. 5. Based on vendor testing, clear acid-etched glass performance data is estimated using regular clear glass of equivalent thickness. Thermal values are in Imperial units.



MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: February 5, 2020 (for the February 10, 2020 hearing)
SUBJECT: Certificate of Appropriateness for exterior alteration at 520 Caroline Street

ISSUE

Nathanael Ulfers requests to rebuild the wood entry stairs and bulkhead doors, including making alterations to the design, for the Agora coffee shop business.

RECOMMENDATION

Approval of the request for a Certificate of Appropriateness as submitted.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

Exterior Architectural Elements – Porches and Steps (Historic District Handbook, pg.95)

2. Avoid removing historic material from porches. In addition, do not add materials that create a different historic appearance.

BACKGROUND

The structure at 520 Caroline Street is a simple frame building constructed c.1790 and displays elements of the vernacular Federal style common in Fredericksburg during the period. The front-gabled structure is clad in weatherboard and rests on a raised Flemish-bond brick foundation. Three pedimented gable-front dormers with double-hung sash windows are spaced across each of the side gable slopes. A mix of multi-light, double-hung, wood sash windows characterizes the front and side elevations. An addition to the rear was completed in 2012. This is a contributing structure in the Historic District.

The applicant proposes to reconstruct the wood entry steps and the bulkhead doors, including some modifications to the design. In 2011, the ARB approved the construction of wood entry steps covering the historic sandstone steps beneath. The simple steps were constructed of painted, pressure-treated wood and are immediately adjacent to the painted wood bulkhead entry for the cellar. The existing materials show some deterioration, and the applicant is requesting the replacement to improve the quality of the materials.

The new steps and bulkhead entry proposed match the dimensions of the existing; however, some details are proposed to be altered. The bulkhead frame and stair treads will be constructed of seasoned white oak; the risers and north side will be painted, salt-treated pine; and beaded tongue-and-groove doors constructed of painted, salt-treated pine or cypress will replace the board-and-batten bulkhead doors. Each step will include a bullnose edge, and the lowest step will include an extended, rounded end on the north side. The existing iron handrails will be reused. New hardware will be installed on the bulkhead doors, including hand-forged iron strap hinges. The original sandstone steps will remain in place beneath the new steps and will not be impacted. The original steps will be visible at the north side of the new steps.

The proposed replacement materials are appropriate for use and compatible with the character of surrounding buildings. This alteration does not impact any character-defining features of the structure and will not affect its historic significance. Approval of the request as submitted is recommended.

APPROVAL CRITERIA

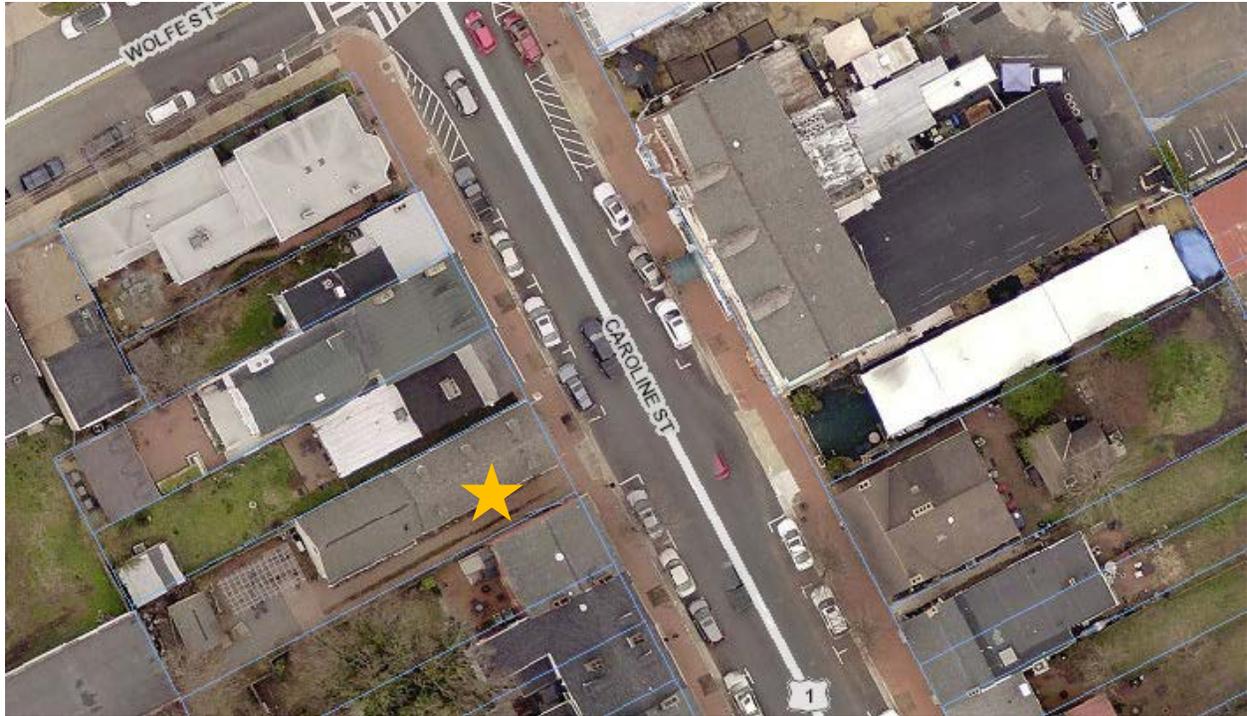
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation.

S	D	NA	S – satisfies D – does not satisfy NA – not applicable
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
X			(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition,

			design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

1. Aerial photograph and front elevation view
2. Property photographs
3. Example photographs
4. Detail Drawing



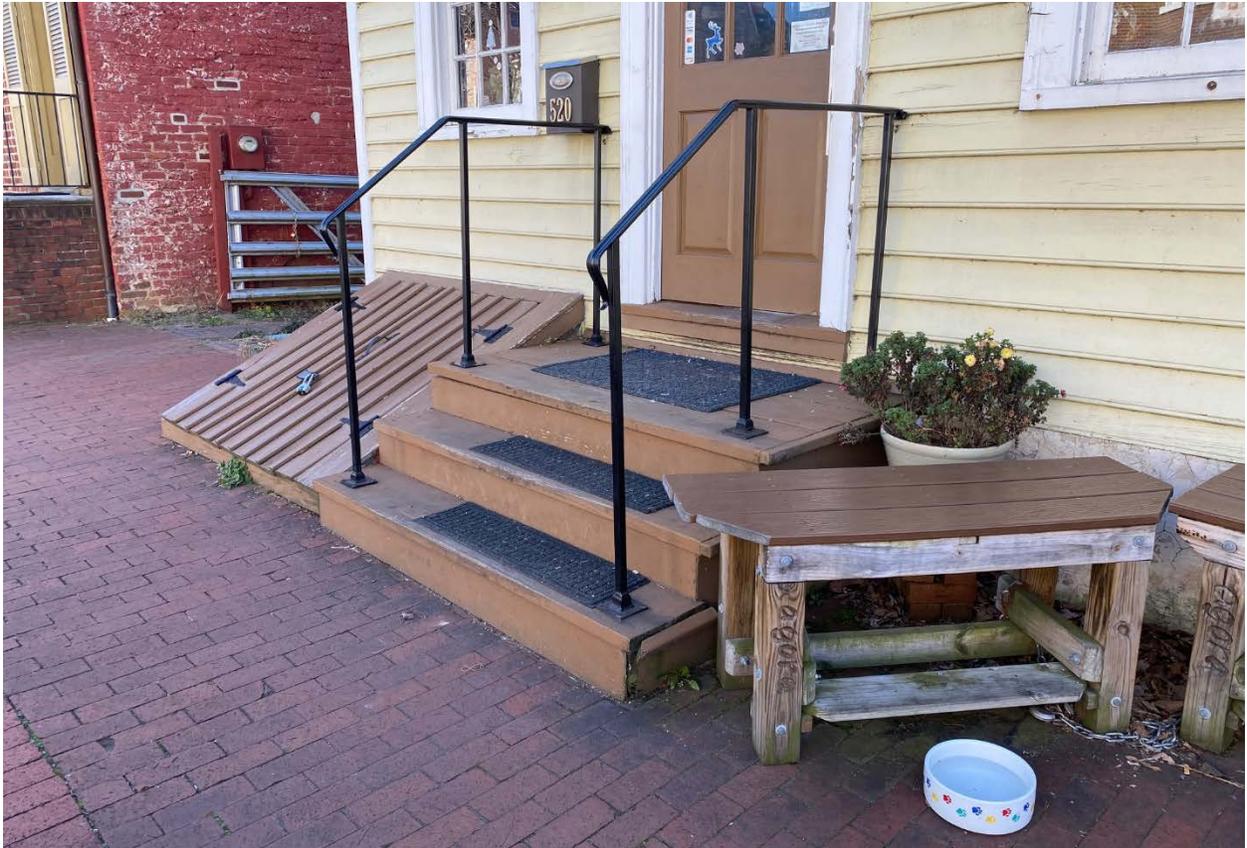
AERIAL



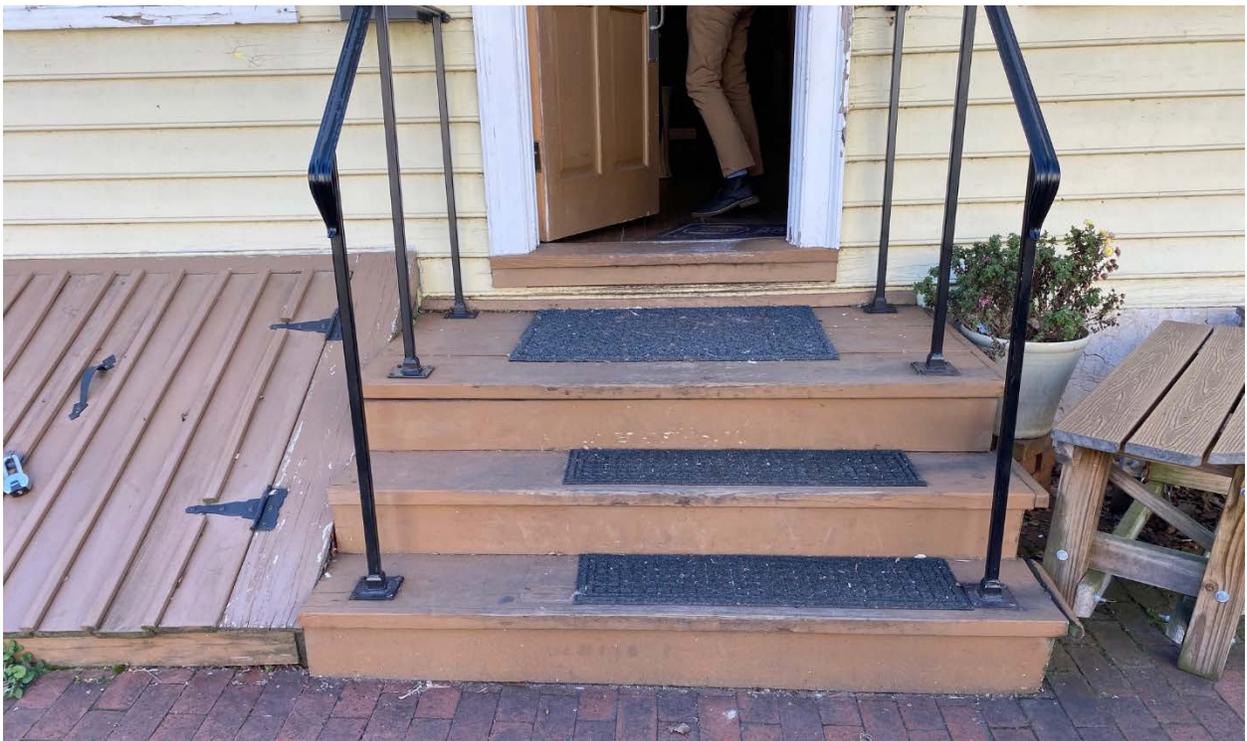
FRONT (EAST) ELEVATION



Sandstone steps, c.2010



Existing Conditions





Existing Conditions

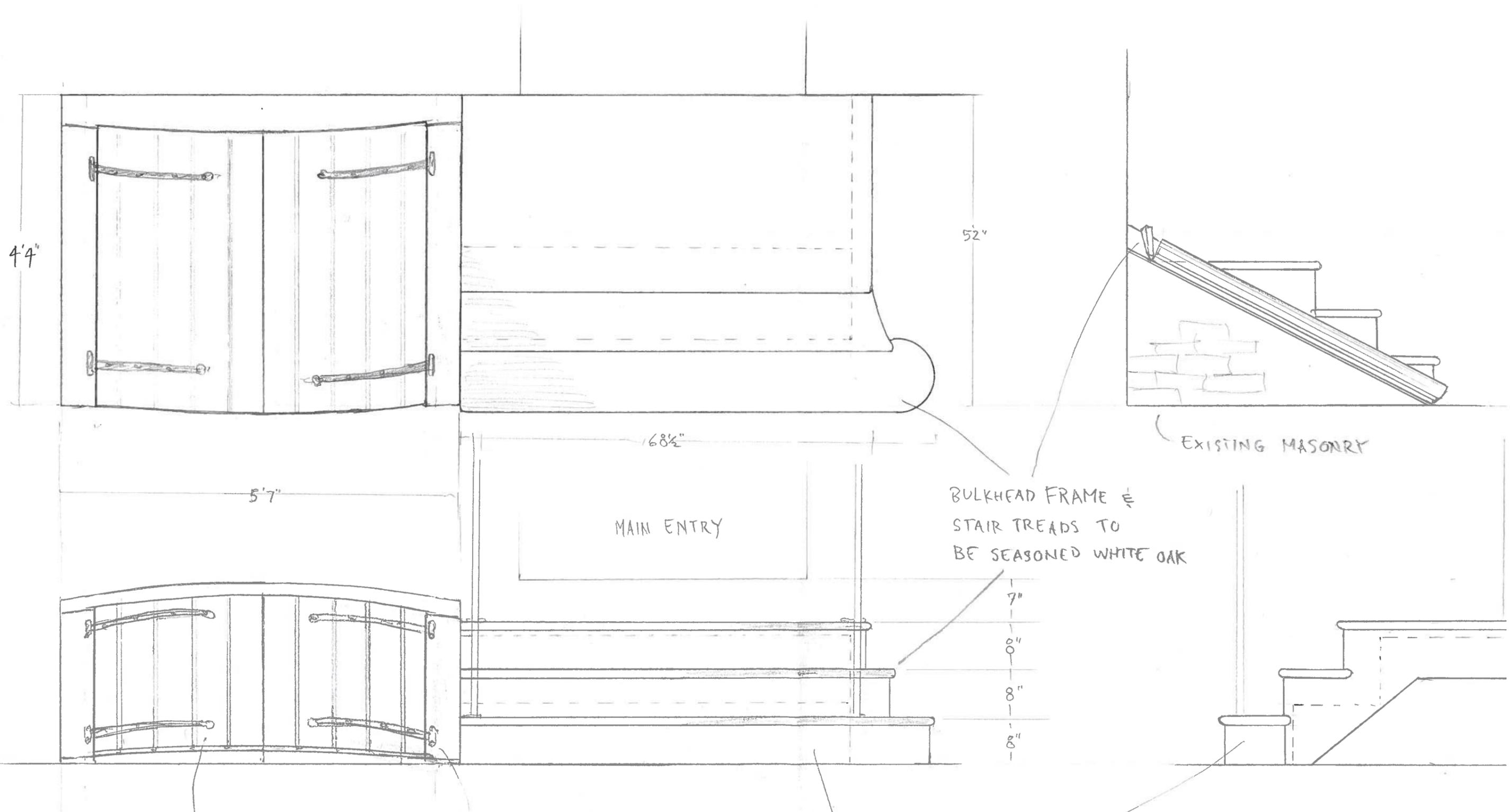


Example steps showing proposed construction details



Example of a forged strap hinge in the style proposed

520 CAROLINE BULKHEAD & STAIRS



4'4"

52"

5'7"

68 1/2"

MAIN ENTRY

EXISTING MASONRY

BULKHEAD FRAME &
STAIR TREADS TO
BE SEASONED WHITE OAK

7"

8"

8"

8"

PAINTED SALT-TREATED PINE
OR CYRESS (DEPENDING ON
AVAILABILITY) BEADED TNG
ON BULKHEAD DOORS

HAND-FORGED STRAP HINGES

PAINTED SALT-TREATED PINE

(DOTTED LINES TO INDICATE DIMENSION
OF ORIGINAL SANDSTONE STAIRS, IN
BUT UNSERVICEABLE FROM WEAR)



MEMORANDUM

TO: ARCHITECTURAL REVIEW BOARD
FROM: Kate Schwartz, Historic Resources Planner
DATE: February 5, 2020 (for the February 10, 2020 hearing)
SUBJECT: Certificate of Appropriateness for demolition/new construction at 1005 Sophia St.

ISSUE

James E. Jarrell IV requests to demolish the existing two-story commercial building on this site and requests approval of the site planning, scale, and massing of a new two-and-one-half-story commercial building.

RECOMMENDATION

Approval of the request to demolish the existing structure contingent on approval of the site planning, scale, and massing of the proposed new building. A demolition permit cannot be issued until after the approval of a major site plan.

Approval of the site planning, scale, and massing of the new commercial building on condition that the floor heights, parapet height, or both are reduced to better align with the adjacent building across Sophia Street.

APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

City Code § 72-23.1 D(3): *Demolition, Removal or Relocation*

1. No historic landmark, building or structure within the HFD shall be razed, demolished, or moved until the razing, demolition or moving thereof is approved by the ARB. In determining the appropriateness of any application for the razing, demolition, or moving of a building or structure, the ARB shall consider the following criteria:
 - (1) The architectural significance of the building or structure.
 - (2) The historical significance of the building or structure.
 - (3) Whether a building or structure is linked, historically or architecturally, to other buildings or structures, so that their concentration or continuity possesses greater significance than the particular building or structure individually.
 - (4) The significance of the building or structure or its proposed replacement in furthering the Comprehensive Plan's goals.
 - (5) The condition and structural integrity of the building or structure, as indicated by documentation prepared by a qualified professional or licensed contractor, or other

information, provided to the board for examination. The City Manager may obtain an assessment from a qualified professional or licensed contractor to assist the ARB or City Council in rendering a decision.

- (6) Effect on surrounding properties.
- (7) Inordinate hardship. This inquiry is concerned primarily with the relationship between the cost of repairing a building or structure and its reasonable value after repair. An inordinate hardship is an instance when preservation will deprive the owner of reasonable economic use of the property.

City Code § 72-23.1 D(1): *New construction*

No building or structure shall be erected or reconstructed within the HFD, unless approved by the ARB as being architecturally compatible with the historic landmarks, buildings, structures and areas located therein. The ARB shall, in making its decisions, consider the characteristics of a proposed building or structure as they affect and relate to the district, including the following elements:

- (a) Site planning (continuity of street edge, spacing between buildings, fences and walls, parking);
- (b) Building scale (size, height, facade proportions);
- (c) Building massing (form, roof shape, orientation);

Site Planning (Historic District Handbook, pg. 69-73)

Continuity of Street Edge

1. New buildings should be sited to reinforce the traditional street edge.

Parking

1. New buildings in the downtown commercial district should have their parking in the rear of the building, allowing the building to become part of the existing streetscape and to reinforce the street edge.

Building Scale (Historic District Handbook, pg. 74)

1. Although the zoning ordinance defines height limitations within the various parts of the city, building height at the street front should be compatible with the prevailing height of the entire block.
2. New buildings that must be taller than the prevailing height should be stepped back so the additional height is not visible from the street.
3. The primary façade of a new commercial building should be modulated with bays to reflect the prevailing width of the adjoining historic buildings.
4. Architectural features—such as porches, entrances, storefronts, and other decorative elements—should be used to reinforce the human scale of the Historic District.

Building Massing (Historic District Handbook, pg. 75)

1. Building form should relate to the existing streetscape. If most of the building forms are simple, then the form of a new building should respect that characteristic.

4. New commercial and professional buildings should respect the orientation of similar buildings in the Historic District.

BACKGROUND

A modest, one-story, concrete block commercial building with parapeted shed roof was constructed on this site between 1919 and 1927. Alterations to all aspects of the building occurred through the 20th century, including replacement or relocation of all windows and doors and parging of the concrete block, and a second story was added to the building in 2007. Though some concrete block from the original building may still be present on the site, the original building has been functionally demolished and no integrity remains. This commercial building does not contribute to the historic significance of the Historic District.

Demolition of 1005 Sophia Street

The Board should first evaluate demolition of the existing structure as a component of the site planning. At the time the construction of a second story was approved by the ARB, Board members determined that no historic integrity remained.

The architectural significance of the buildings.	Not significant due to loss of integrity.
The historical significance of the buildings.	Not significant due to loss of integrity.
Whether a building or structure is linked, historically or architecturally, to other buildings or structures, so that their concentration or continuity possesses greater significance than the particular building or structure individually.	Not linked to any other structures; no integrity remaining.
The significance of the building or structure or its proposed replacement in furthering the Comprehensive Plan's goals.	Comprehensive Plan amendments for the downtown area have been initiated by the City Council. The draft plan encourages, “infill development that appropriately transitions to the riverfront, is environmentally resilient, and is sensitive to its historic context.” All these are stated goals for a new structure.
The condition and structural integrity of the building or structure.	The building appears to be in good condition.
Effect on surrounding properties.	Removal of the structure is intended to accommodate new construction that furthers the goals of the Comprehensive Plan and allows for increased use and revitalization of the Sophia Street corridor.

Inordinate hardship.	Not evaluated.
-----------------------------	----------------

Due to the lack of significance of this building and the alignment of the proposed replacement with the goals of the City's Comprehensive Plan, it is recommended that the Board approve the demolition contingent upon approval of the site planning, scale, and massing of the proposed new structure. The removal will not have an adverse impact on the historic significance of the district.

New Construction: Site Planning, Scale, and Massing

The applicant proposes to construct a new two-and-one-half story masonry building on the east side of Sophia Street, adjacent to the Rappahannock River and the Chatham Bridge. The commercial building is constructed above two stories of parking set into the grade as the site slopes approximately 30 feet from Sophia Street down to the river. The property is located almost entirely within the floodway and, in addition to ensuring that the new construction will not impact the City's flood levels, the first floor of commercial space will need to be fully dry flood-proofed. The context includes a two-and-one-half story structure immediately across the street as well as parking lots and vacant parcels to either side.

a. Site Planning

The rectangular building footprint will be 63 feet along Sophia Street and the building will extend back 111 feet toward the river. Consistent with neighboring buildings, the front of the building is set at the front property line with no setback on Sophia Street. The new building is set back five feet from the south side property line, though the adjacent parcel next to the Chatham Bridge is vacant. A 60-foot wide parking lot is located on the north side of the building and includes approximately 12 spaces. The remainder of the parking for the building will be provided in two below-grade levels accessed from the side and rear of the building. Though not subject to ARB review, the site planning is also intended to accommodate a bankside trail along the river, which is called out as a goal in the Area 7 downtown plan. Though much of this block consists of parking lots, the proposed building is sited to reinforce and extend the traditional street edge.

b. Scale

The proposed structure is two-and-one-half stories in height set above two levels of parking set into the grade as the site slopes down to the river. The portion of the building immediately adjacent to Sophia Street is two stories in height topped by a flat roof and surrounded by a parapet. This section is 33 feet in height to the flat roof, 36 feet six inches to the top of the parapet, and extends back 22 feet. The main block of the building is two-and-one-half stories in height, topped by a front-gabled roof, and extends from the rear of this section. This section of the building is approximately 40 feet in height measured at the midpoint of the roof slope, and 50 feet at the peak. The two-story basement level is exposed at the rear of the building, and four-and-a-half stories will be visible at the rear. The façade is delineated into three vertical bays along

Sophia Street, and all elevations are horizontally delineated between the basement and main levels, and at the eave line above the second story.

The proposed building is larger in scale than neighboring buildings, but utilizes the recommended techniques in the district guidelines, including stepping back taller portions of the building and modulating the façade with bays. Limiting the building to two stories in height at the street is in accordance with the context; however, it is recommended that the applicant consider reducing the floor heights or parapet height to better match the building across the street at 1006-1008 Sophia Street. At such time that the ARB reviews the detailed architectural design, additional consideration should be given to features that could further reinforce the human scale of the building and district.

c. Building Massing

In addition to the overall size and height, components of massing include the complexity of the building form and the roof shape. As described, the building is composed of three blocks: a two-story, flat-roofed block on Sophia Street; a large central rectangular mass topped by a front-gabled roof, with shed-roofed dormers lining each roof slope; and a three-story porch with a partial-width gable roof extending from the rear of the building. The overall form is relatively simple, but includes clear vertical and horizontal divisions that divide the overall mass into smaller components. The building is oriented to the street, as is standard throughout the downtown commercial area.

Approval of the site planning, scale, and massing of the project is recommended on condition that the floor heights, parapet height, or both are reduced on the two-story block at the street level to match the overall height of the building across the street.

The applicant is advised that a second public hearing will be required for consideration of all elements of the detailed architectural design. A number of considerations are recommended as the applicant works to refine the detailed elements of the proposed structure. In general, it is recommended that the overall design be simplified and the number of design precedents incorporated be reduced. In particular, the current configuration of the two-story block along Sophia Street and its Classical Revival elements fit the context of Princess Anne Street, where the city's civic and institutional structures are concentrated, rather than Sophia Street, which was traditionally more modest and industrial. Horizontality and a human-scaled ground floor should be accentuated at the façade.

APPROVAL CRITERIA

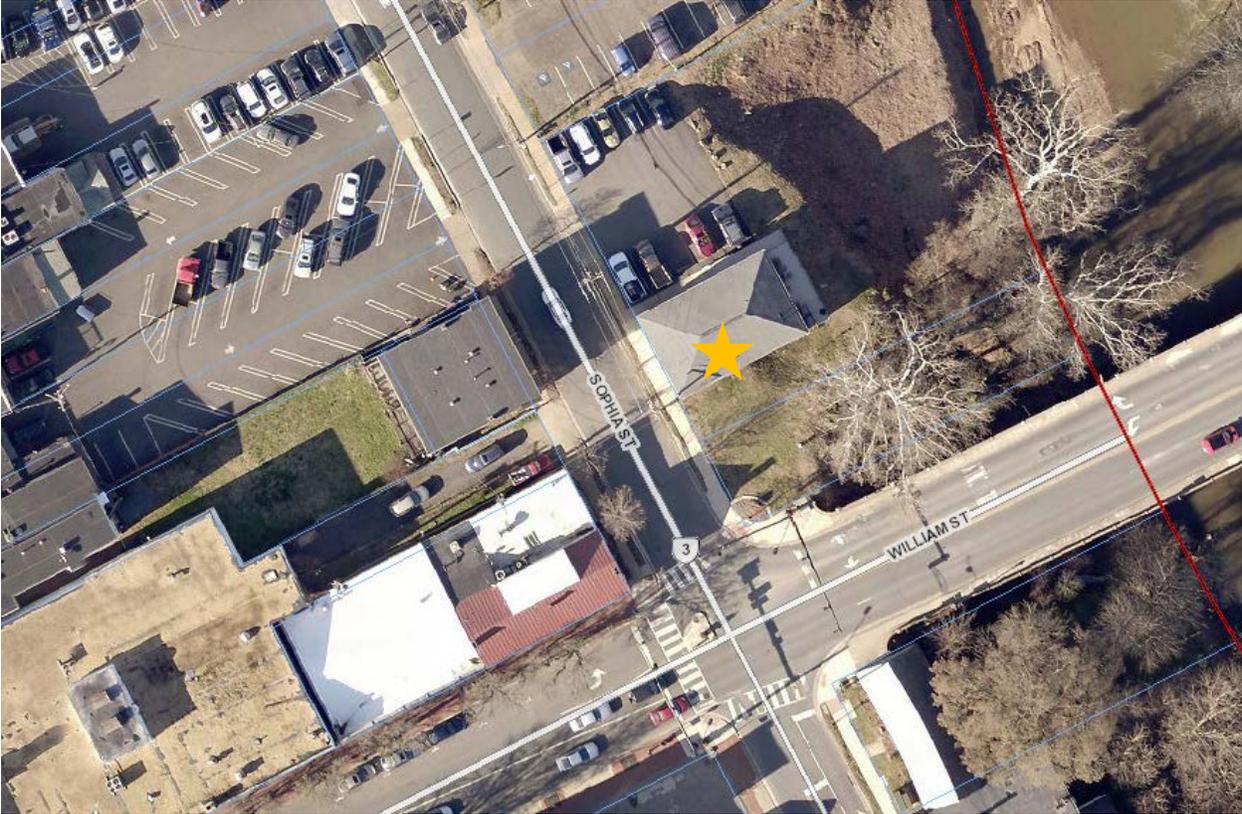
Criteria for evaluating new construction are found in City Code § 72-23.1(D)1.

S	D	NA	S – satisfies	D – does not satisfy	NA – not applicable
No building or structure shall be erected or reconstructed within the HFD, unless approved by the ARB as being architecturally compatible with the historic landmarks, buildings, structures and areas located therein. The ARB shall, in making its decisions, consider the characteristics of a proposed building or structure as they affect and relate to the district, including the following elements:					
X			(1) Site planning: continuity of street edge, spacing between buildings, fences and walls, parking		
X			(2) Building scale: size, height, facade proportions		
X			(3) Building massing: form, roof shape, orientation		
		X	(4) Roof: shape, pitch, overhang, dormers, skylights, chimneys		
		X	(5) Windows: type, shape and proportion, rhythm and balance, blinds/shutters		
		X	(6) Doorways: placement and orientation, type		
		X	(7) Storefronts: materials, architectural details		
		X	(8) Exterior architectural elements: entrances, porches and steps, cornices		
		X	(9) Materials: wall surfaces, foundation, roof		
		X	(10) Miscellaneous details: trim, gutters and leaders, louvers/vents, lighting, public utilities		

* Criteria (d) through (j) will be evaluated in a second public hearing for consideration of the final detailed architectural design.

Attachments:

1. Aerial photograph and front elevation view
2. Street views
3. Design package submitted by applicant



AERIAL



FRONT (WEST) ELEVATION



View looking southwest from neighboring parking lot



View looking northeast from Sophia Street

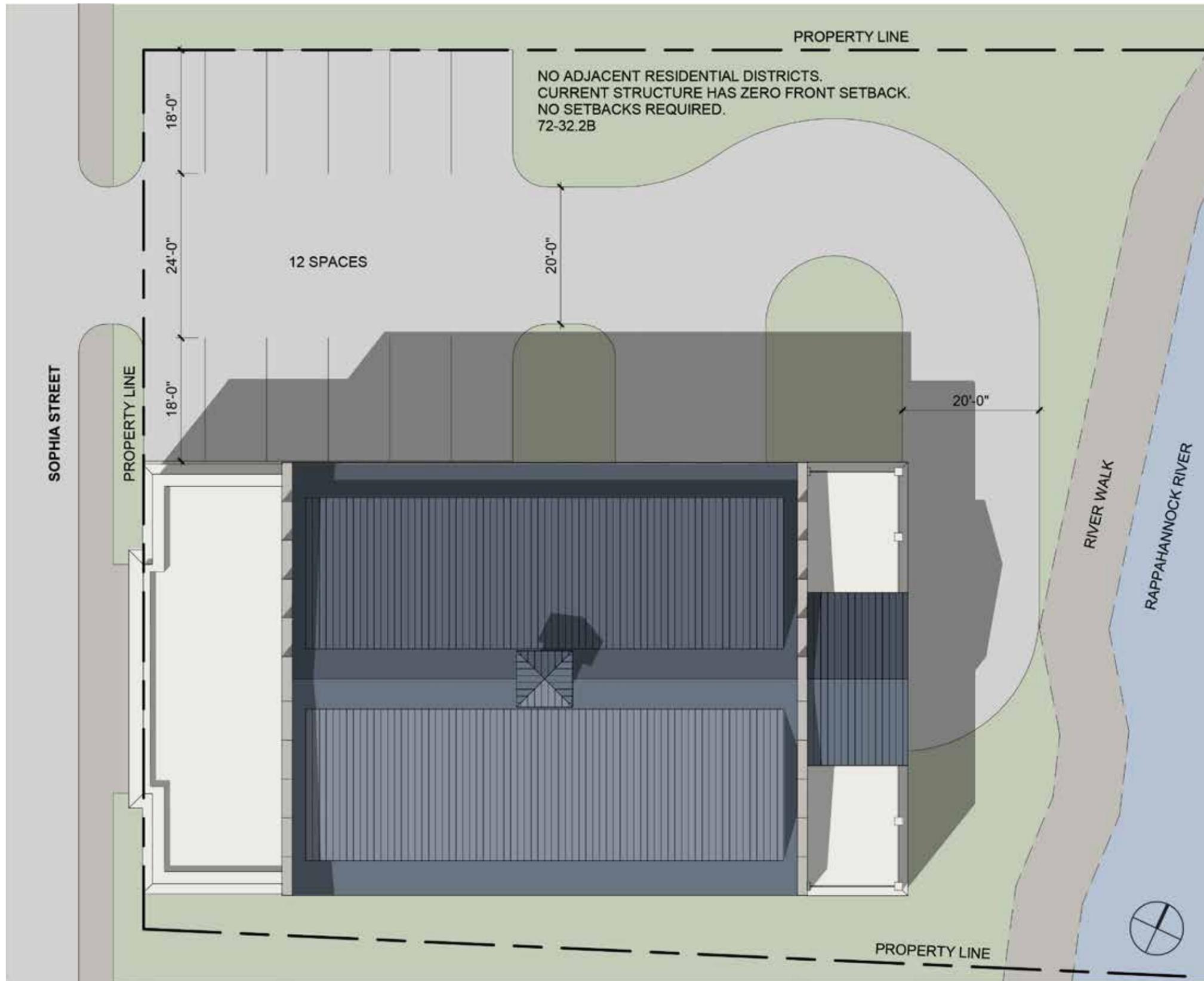


View looking north from the intersection of William and Sophia Streets



View looking south from Sophia Street







USS Constitution Museum



Fredericksburg waterfront ca. 1863



Fredericksburg ca. 1862



Fredericksburg ca. 1881



Greensburg Dress Factory



Clipper Mill (Baltimore)



Waterford Mill (Loudoun Co.)



315 Lafayette Blvd



Fredericksburg ca. 1927



Delta Mill (Ontario)



Aldie Mill (Loudoun Co.)



2200 East Franklin Street (Richmond)



601 Wolfe Street



Burrows-Mohawk Mill (Little Falls)



Sophia Street Parking Garage



Shiloh Baptist Church



419 Sophia Street



506-516 Sophia Street Townhomes



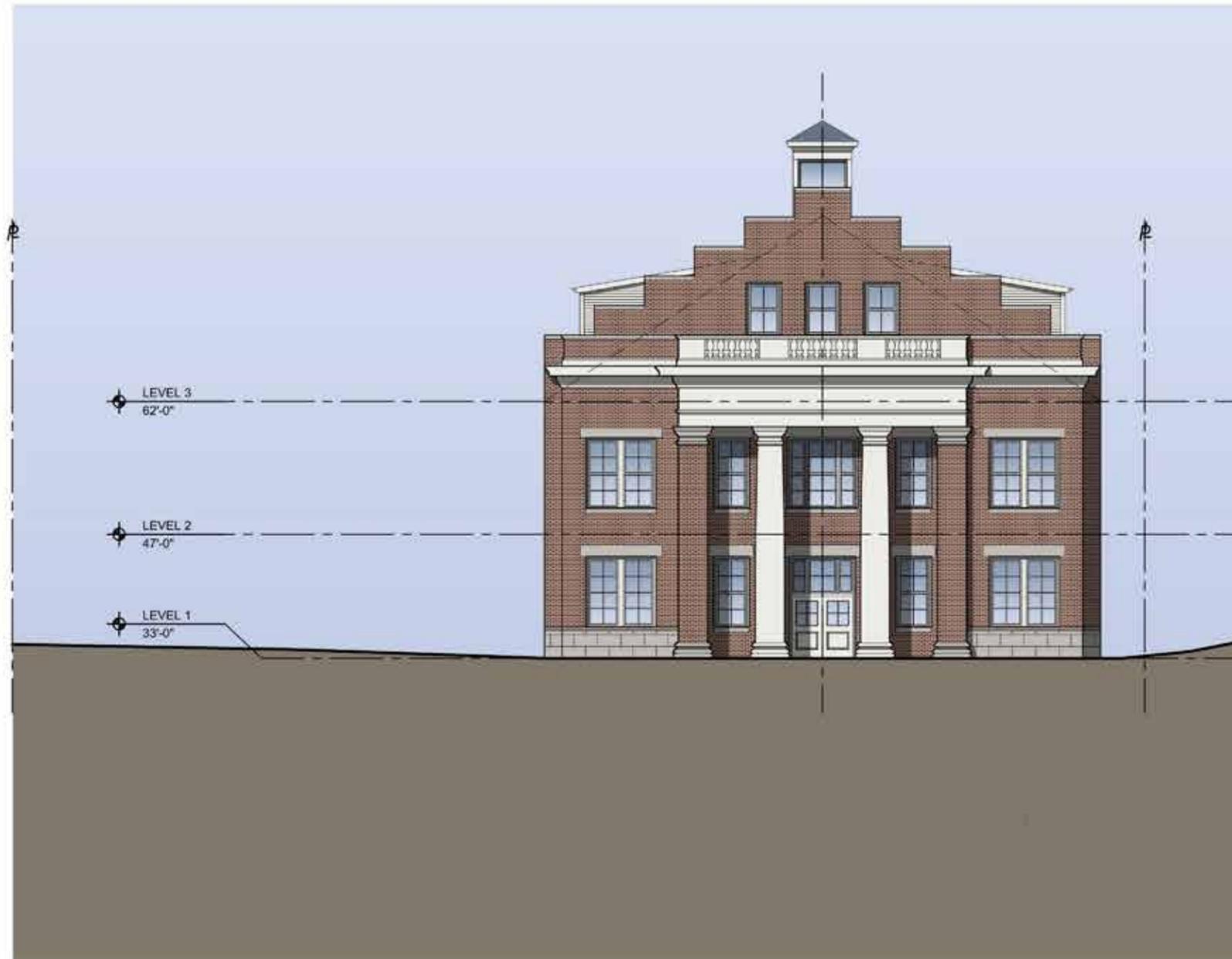
Central Rappahannock Regional Library



Fredericksburg Courthouse



401 Princess Anne Street



WEST ELEVATION (Sophia Street)
January 17, 2020

1005 Sophia Street
JARRELL PROPERTIES, INC.

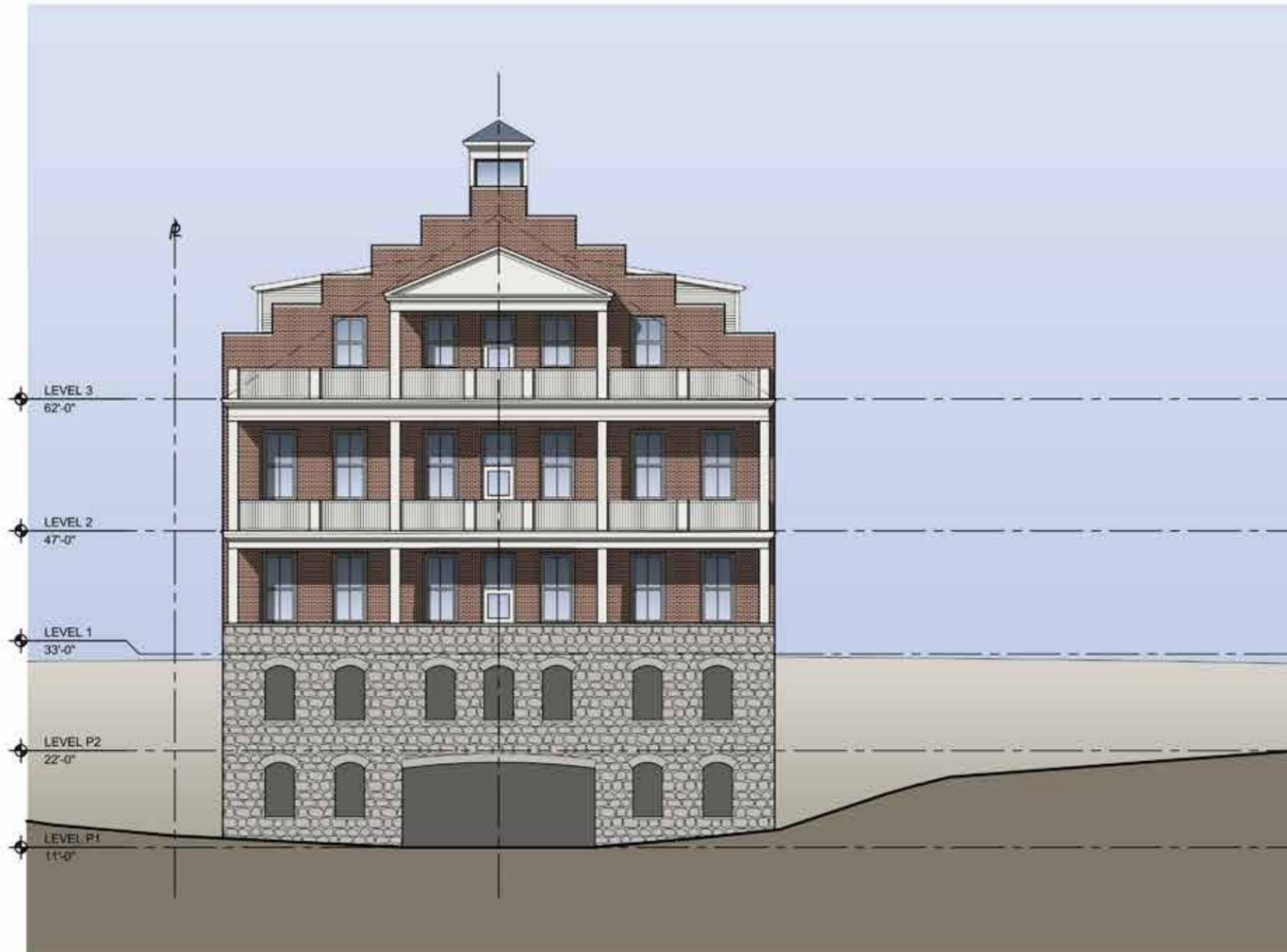




NORTH ELEVATION
January 17, 2020

1005 Sophia Street
JARRELL PROPERTIES, INC.

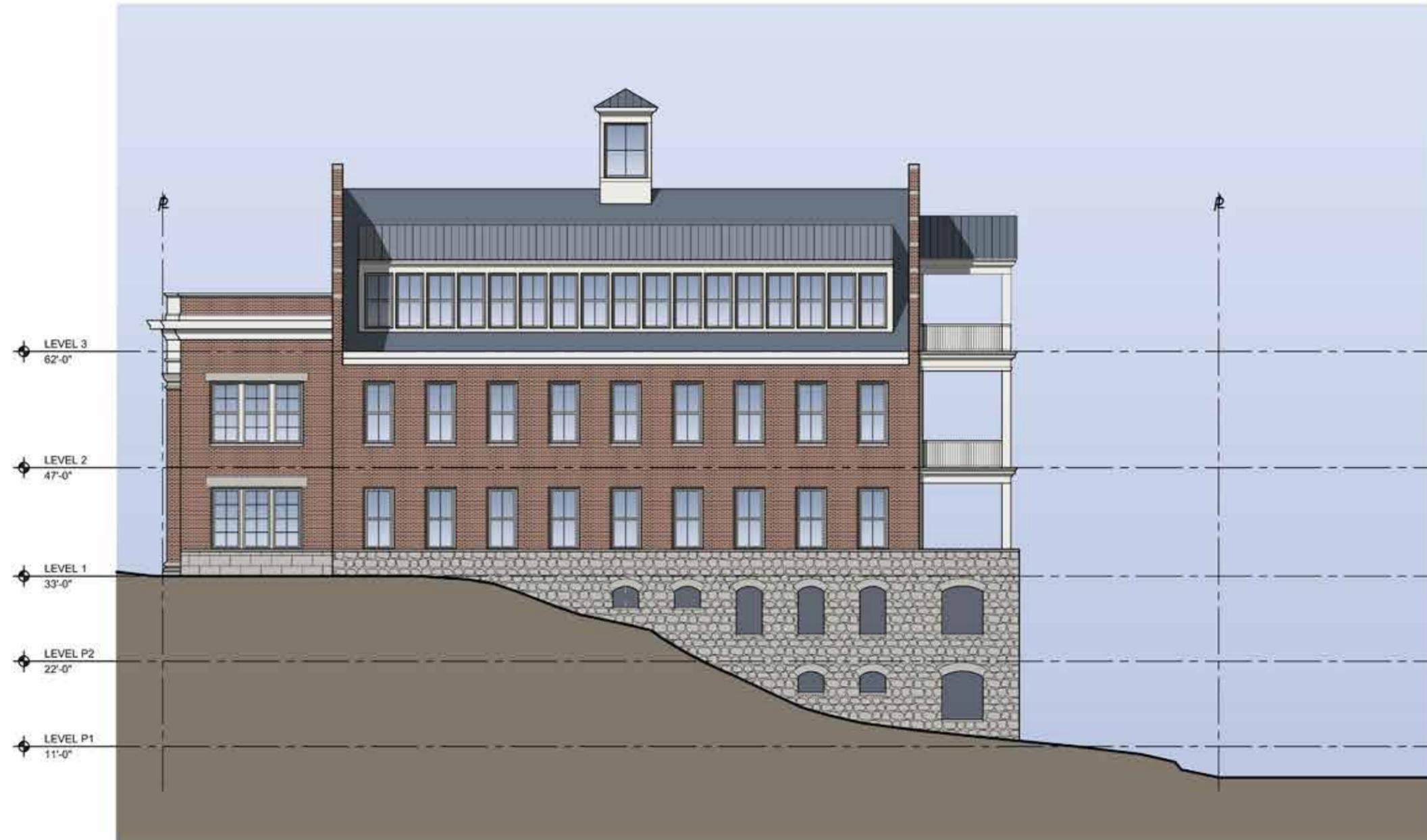




EAST ELEVATION
January 17, 2020

1005 Sophia Street
JARRELL PROPERTIES, INC.

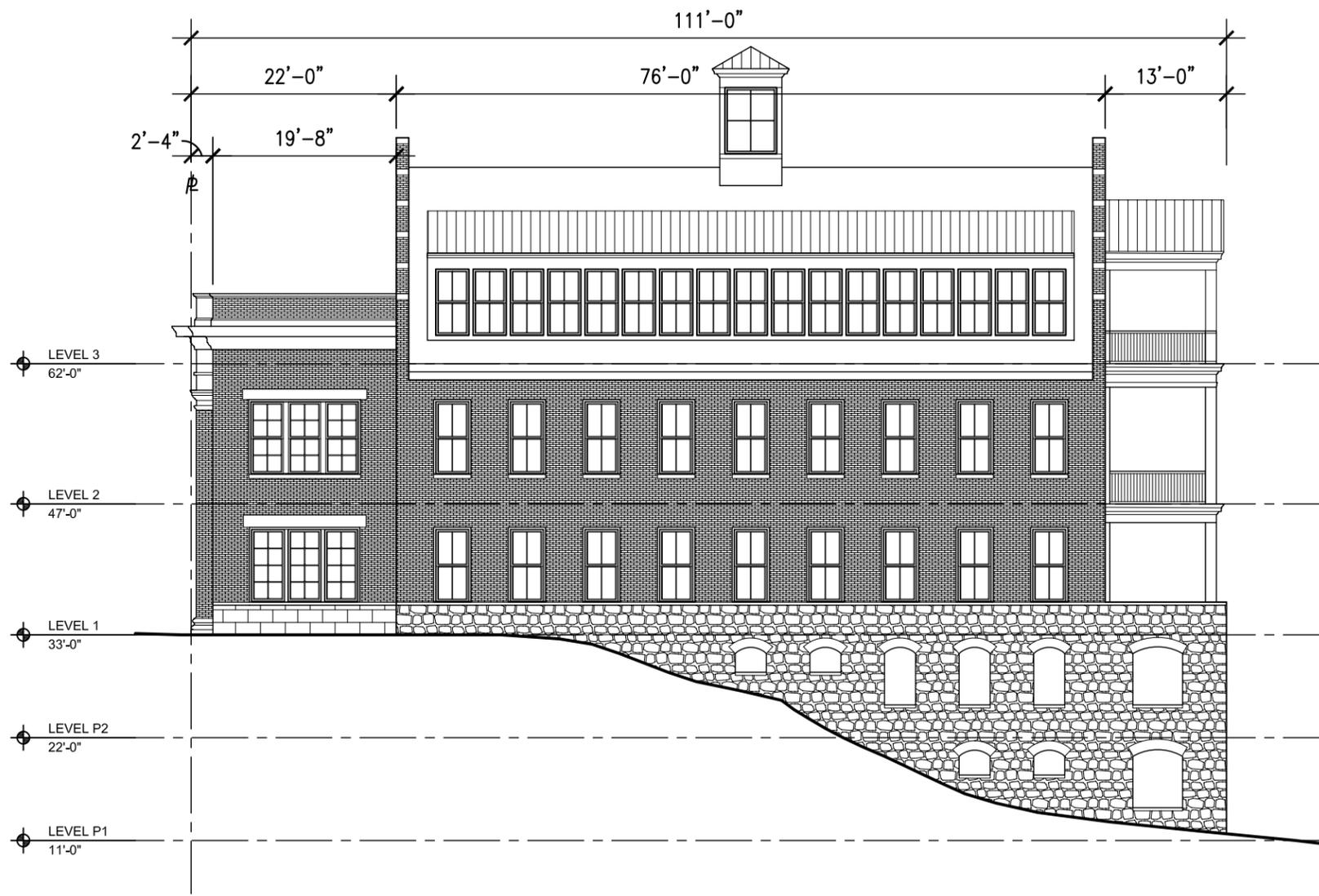
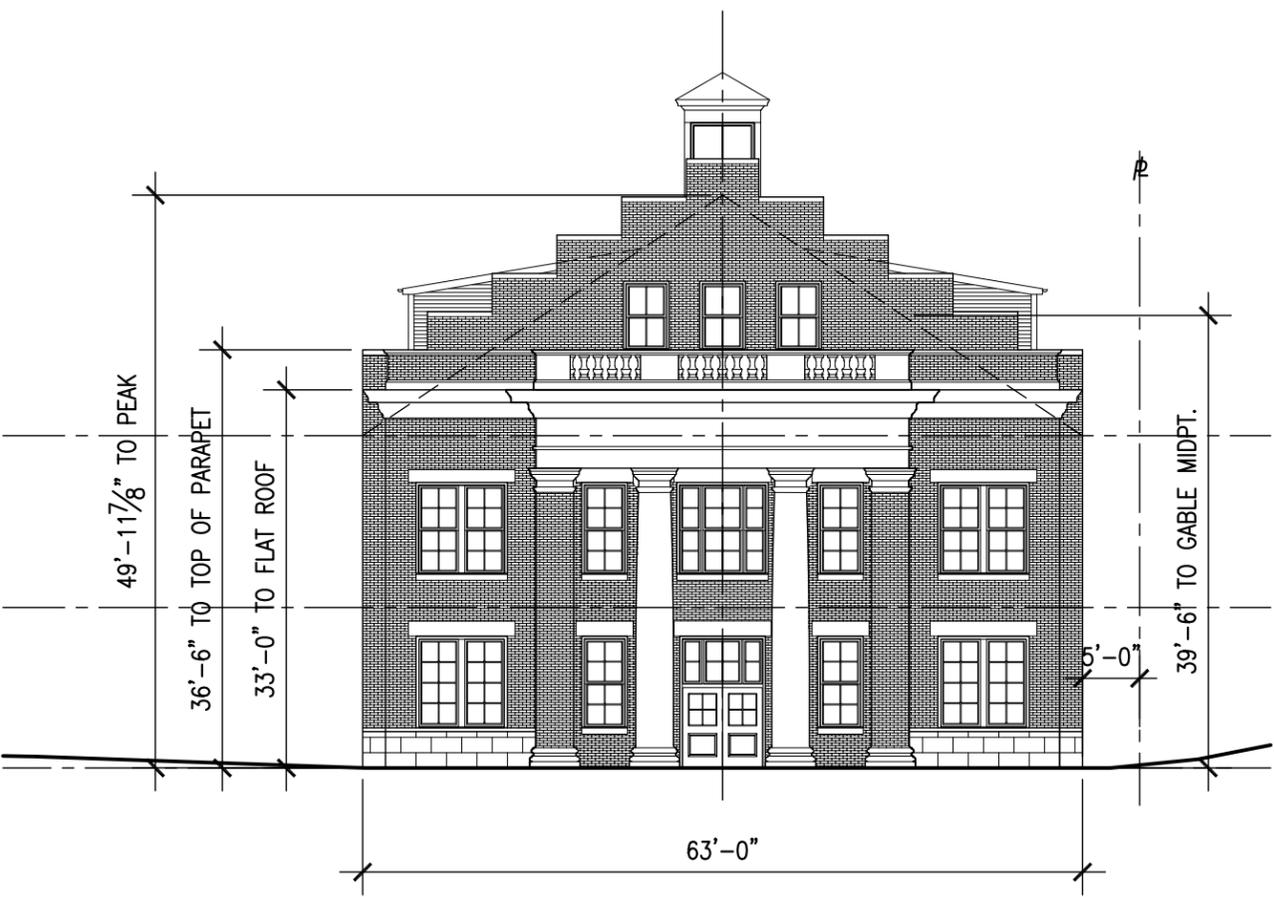




SOUTH ELEVATION
January 17, 2020

1005 Sophia Street
JARRELL PROPERTIES, INC.



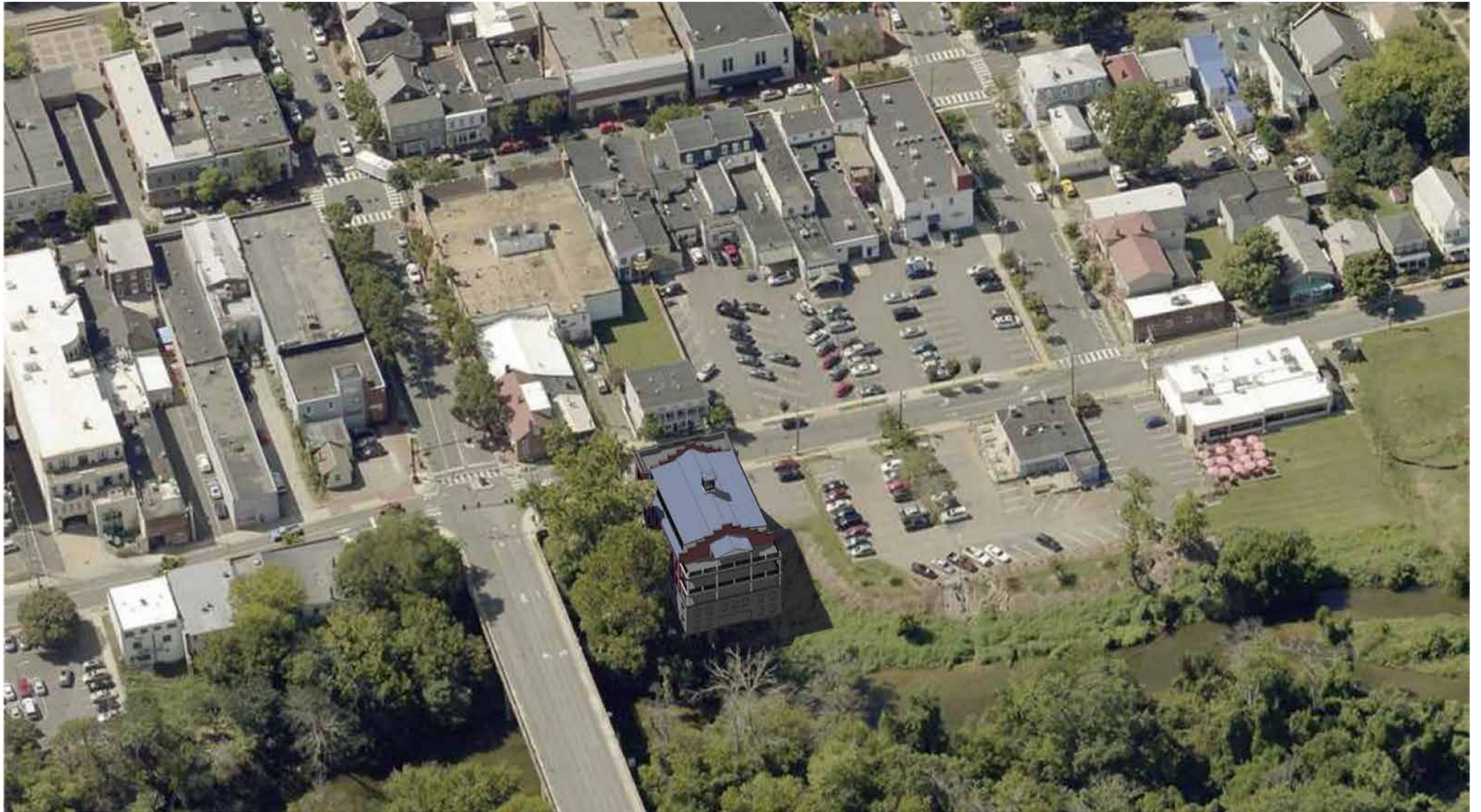




AERIAL VIEW
January 17, 2020

1005 Sophia Street
JARRELL PROPERTIES, INC.





AERIAL VIEW
January 17, 2020

1005 Sophia Street
JARRELL PROPERTIES, INC.





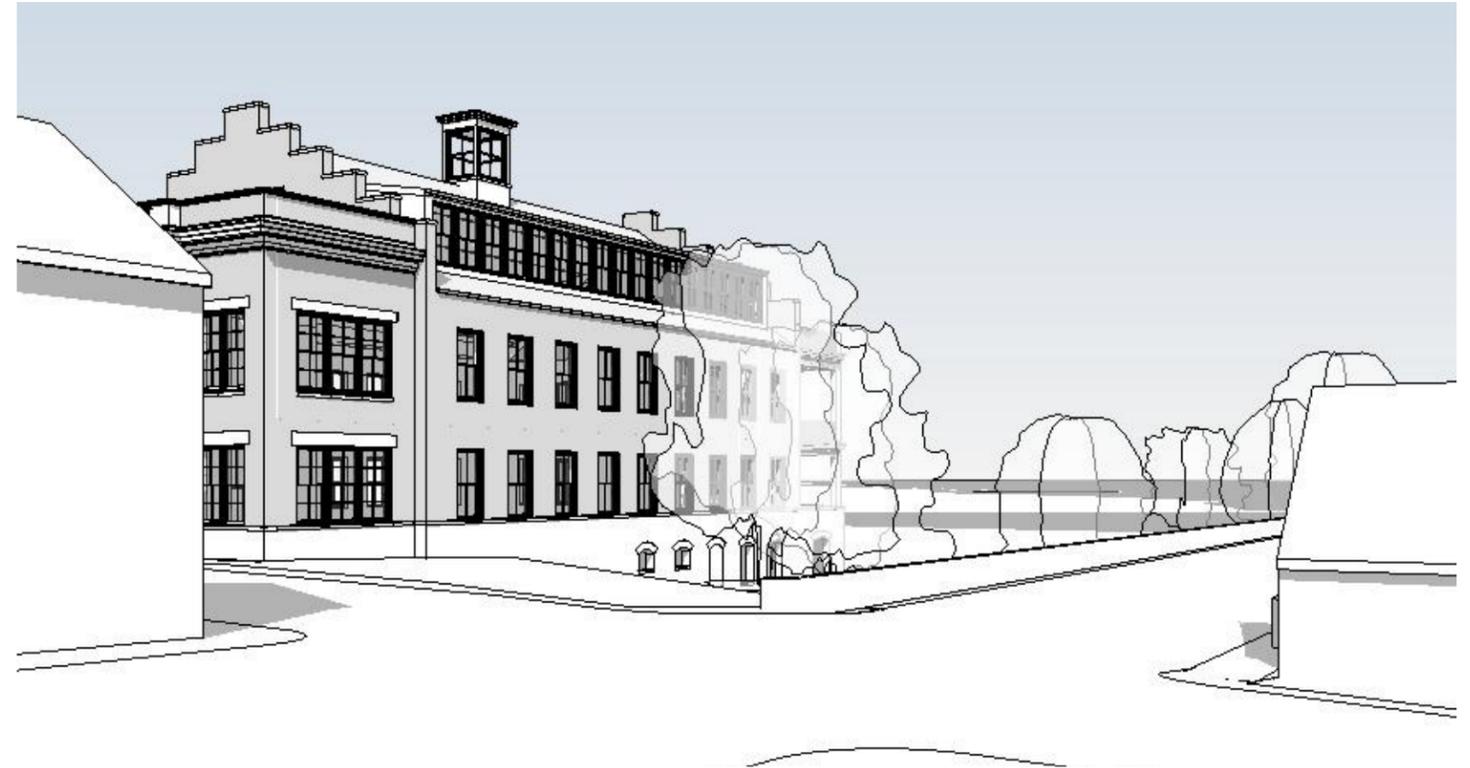
Looking North on Sophia Street



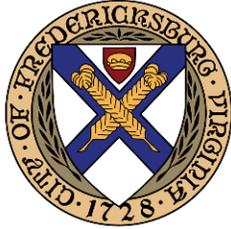
Looking East toward the Kings Highway Bridge



Looking North on Sophia Street



Looking East toward the Kings Highway Bridge



CITY OF FREDERICKSBURG, VIRGINIA PUBLIC NOTICE

Notice is hereby given that the Planning Commission of the City of Fredericksburg, Virginia, will hold a public hearing beginning at 7:30 p.m. on Wednesday, February 12, 2020, in the City Hall Council Chambers, 715 Princess Anne Street, Fredericksburg, Virginia, at which time interested persons may attend and present their views on the following application:

PUBLIC HEARING ITEMS

1. **RZ2019-09** PrimeCore Fall Hill Hospitality OZB LLC requests a rezoning from Commercial Highway (CH) to Planned Development – Commercial (PDC), at GPIN 7769-77-5997. The property is currently zoned Commercial-Highway. The applicant is seeking a rezoning to establish a hotel and a fast-food restaurant. The 2015 Comprehensive Plan future land use map shows the property as Planned Development Commercial. This future land use designation has no recommended floor-area-ratio. The floor-area-ratio of the proposed hotel and fast food use is 0.4. The property was previously rezoned from Residential-2 to Commercial Highway and Residential-12 in November 2016.
2. **SE2019-02** PrimeCore Fall Hill Hospitality OZB LLC requests two Special Exceptions at GPIN 7769-77-5997. The property is zoned Commercial-Highway.:
 - 1) An exception from Code Section 72-42.3.B for the installation of an accessory structure within a front yard.
 - 2) An exception from Code Section 72-42.6.C.1 to establish a drive-through within 100 feet of a residential zoning district.
 - 3) An exception from Code Section 72-42.2.B.5 to have an accessory structure exceed the bulk standards of the Planned Development - Commercial Zoning district
 - 4) An exception from Code Section 72-33.2.D.2.E. to reduce the front setback of an accessory structure from 30 feet to 10 feet.

The 2015 Comprehensive Plan future land use map shows the property as Planned Development Commercial. This future land use designation has no recommended floor-area-ratio.

3. **UDOTA-01** The City of Fredericksburg proposes to amend § 72-33.2 “Planned Development – Commercial District” (PD-C) to permit additional residential development in the district by special use permit, for an additional 10% of the district acreage, but limiting the number of additional residential units to not more than 12 units times the additional acreage permitted and not more than 60% of the units shall be multifamily housing that is not age restricted. The PD-C zoning district currently permits 10% of the land within a district to be developed for residential use at not more than 24 units per acre. The City’s Planned Development –

Commercial Districts currently include: Celebrate Virginia (564 acres), Central Park (306 acres), Encore Home Gallery property (3 acres). The proposal would apply to any additional Planned Development – Commercial Districts Citywide.

Information pertinent to the application will be available for examination by the public in the Department of Community Planning and Building (Room 209), 715 Princess Anne Street (City Hall), during regular business hours (8:15 a.m. - 4:30 p.m. Monday through Friday). Additional information will be available on the City website, the Friday before the Planning Commission meeting. Please check the Planning Commission homepage.

Persons requiring accommodations to facilitate participation are encouraged to contact the Planning Services Division at least five (5) days prior to the meeting. Questions regarding the above may be directed to the Planning Services Division at (540) 372-1179.