



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** June 13, 2016  
**SUBJECT:** Certificate of Appropriateness for exterior alteration at 704 Prince Edward Street

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### ISSUE

On behalf of Shannon Lee and Jon Goldstein, Sabina Weitzman requests a Certificate of Appropriateness to relocate a portion of the exterior wall of an addition within the side porch area on this single-family residence.

### RECOMMENDATION

Approval of the Certificate of Appropriateness as submitted.

### APPLICABLE HISTORIC DISTRICT DESIGN GUIDELINES

Exterior Architectural Elements – Porches and Steps (pg. 95-97)

Maintenance and Repair

5. Avoid removing historic material from porches. In addition, do not add materials that create a different historic appearance.
7. Avoid enclosing porches on primary elevations. In addition, avoid enclosing important secondary porches in a manner that changes the building's historic character.

### BACKGROUND

The residence at 704 Prince Edward Street is a c.1855 vernacular Greek Revival-style, two-story, three-bay brick dwelling topped with a side-gabled asphalt shingle roof. The load-bearing brick is laid in a five-course American bond, and the façade is treated with a stretcher-bond veneer. Character-defining features include incised rectangular wood lintels above the multi-light sash windows, a corbelled brick cornice beneath the eaves, and two interior end brick chimneys with corbelled caps. A one-story porch with Tuscan columns and dentillated cornice spans the front façade and wraps the south-facing elevation. A two-story wood-framed addition extends off the rear west elevation. This dwelling is a contributing structure in the Historic District.

The wrap-around porch shows elements of the Queen Anne and Colonial Revival styles and was added in the early 20<sup>th</sup> century. A full-width one-story front porch first appears on the 1912 Sanborn Fire Insurance Map. A small one-story entry porch was added at the rear of the south elevation by 1919. The location of this side entry appears to shift on subsequent maps; however, the two separate porches are maintained through the 1947 Sanborn Fire Insurance Map. This arrangement indicates that the porches were not connected into a full wrap-around porch until after 1947. Currently, a bathroom has been constructed over

the location of the former side entry porch. The east-facing exterior wall of the bathroom is within the side porch area. The wall is constructed over the porch framing and does not align with any masonry foundation wall. The applicant proposes to enlarge this bathroom and move the exterior wall towards the front of the house, to align with the masonry foundation wall at the cellar entry below the existing porch.

The applicant proposes to salvage the wood siding from the existing wall and reuse it for the new wall. The existing corner board will remain, and new wood siding matching the existing in thickness and exposure will be installed on the south side wall between the old and new corner boards. One porch column will be removed to accommodate the new construction, but this will be salvaged. The proposed alteration will not result in the removal or alteration of any character-defining features and is clearly distinguishable from the historic structure. Staff finds that the alteration will not have an adverse impact on the character of the structure or the District.

**APPROVAL CRITERIA**

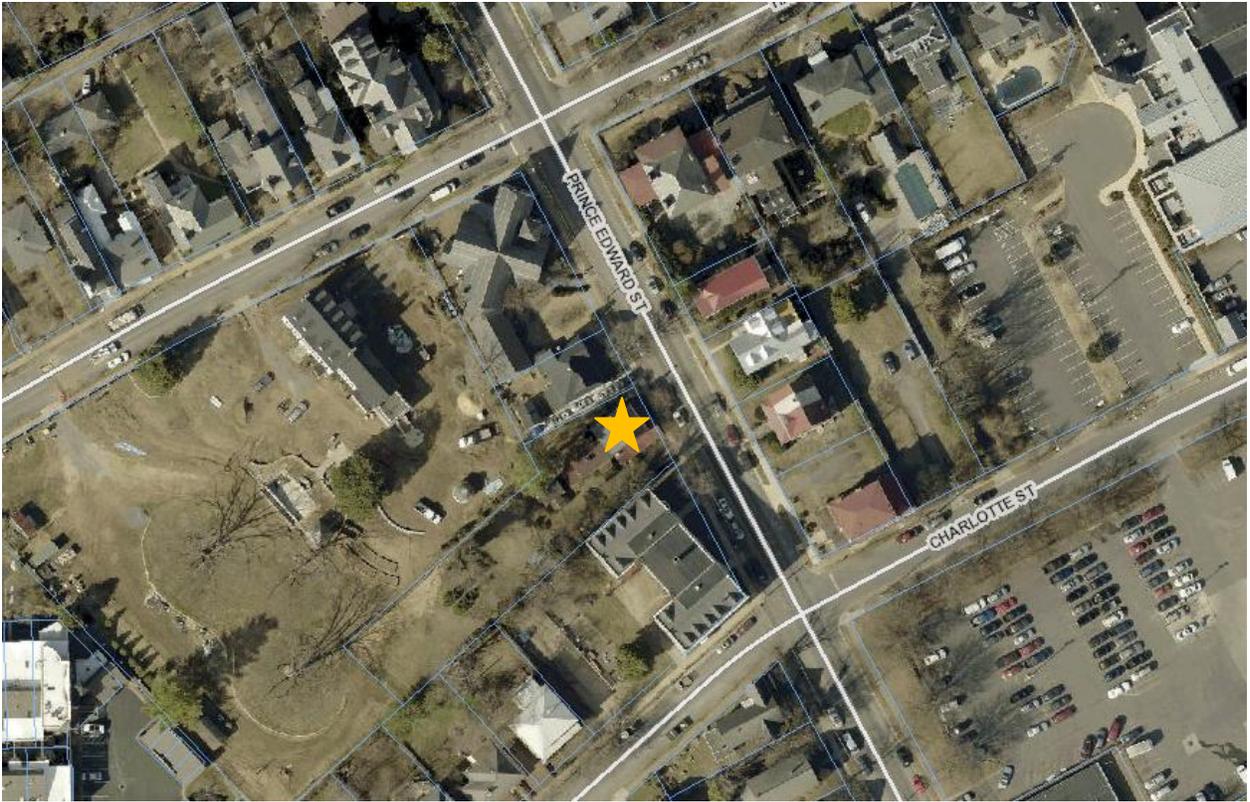
Criteria for evaluating proposed changes are found in City Code Section 72-23.1.D.2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

<b>S</b>	<b>D</b>	<b>NA</b>	<b>S – satisfies    D – does not satisfy    NA – not applicable</b>
		X	(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		X	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
		X	(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

## Attachments:

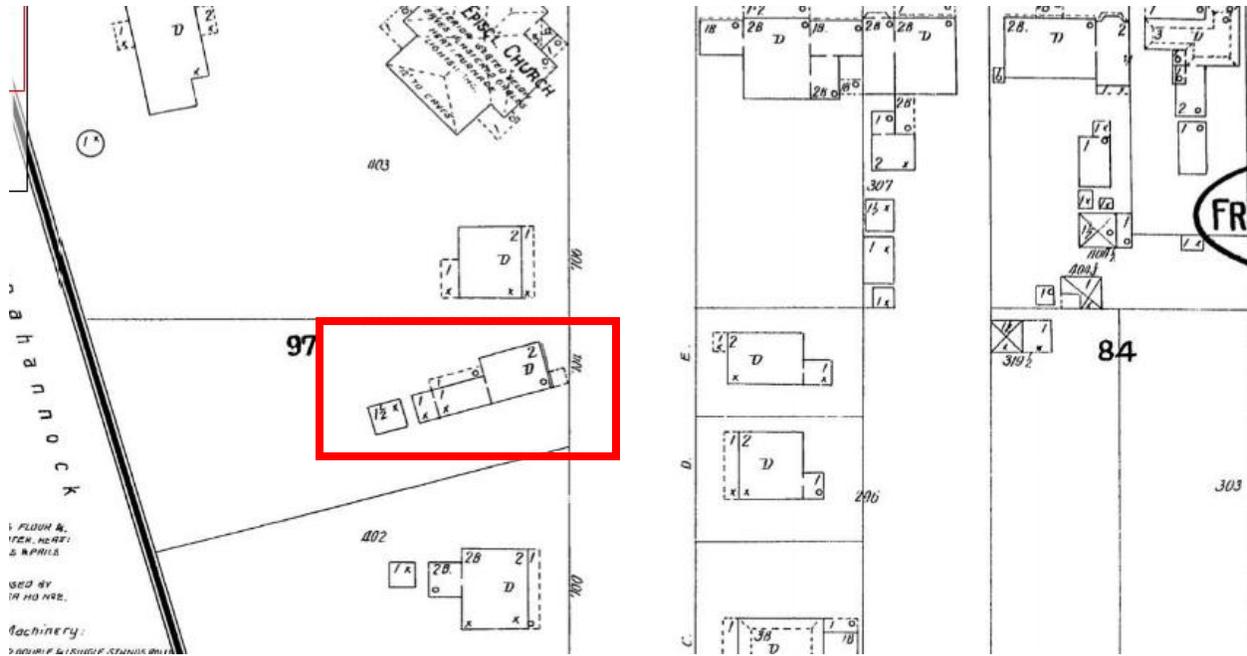
1. Aerial photograph showing property location
2. Sanborn Fire Insurance Maps, 1907 and 1919
3. Sanborn Fire Insurance Maps, 1927 and 1947
4. Project summary provided by applicant
5. Partial Demolition Plan
6. Partial Construction Plan
7. Photographs, existing conditions



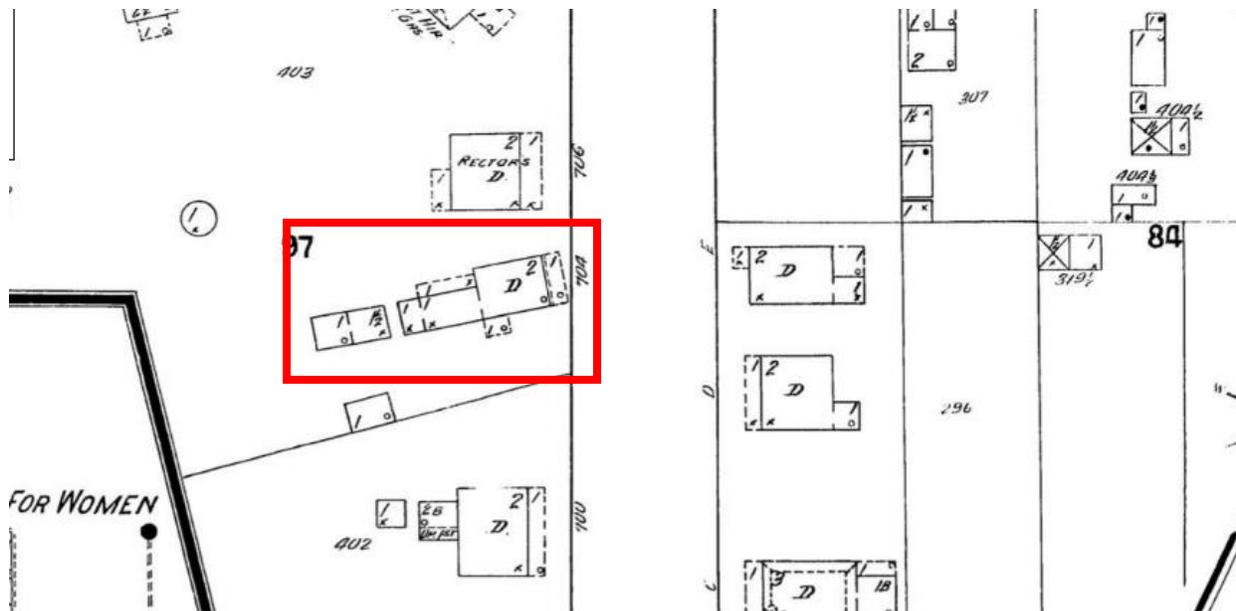
AERIAL



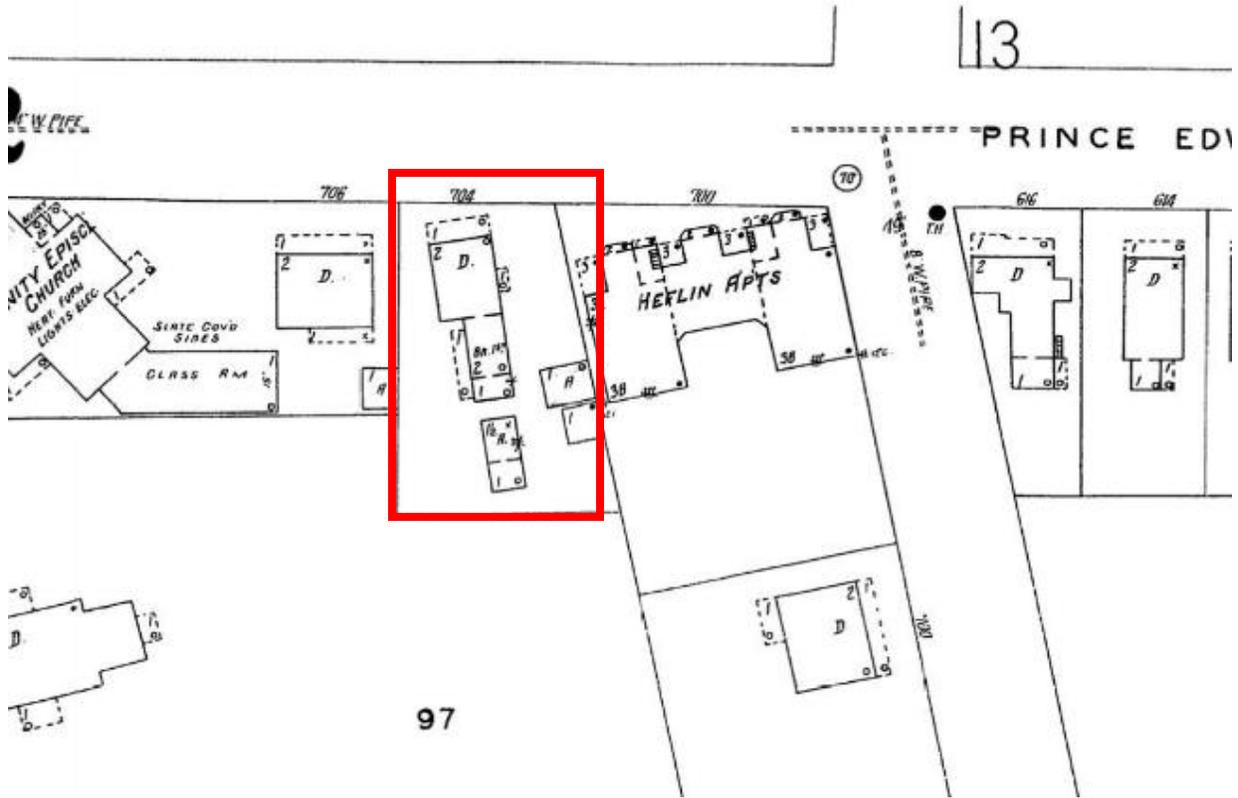
EAST (FRONT) ELEVATION



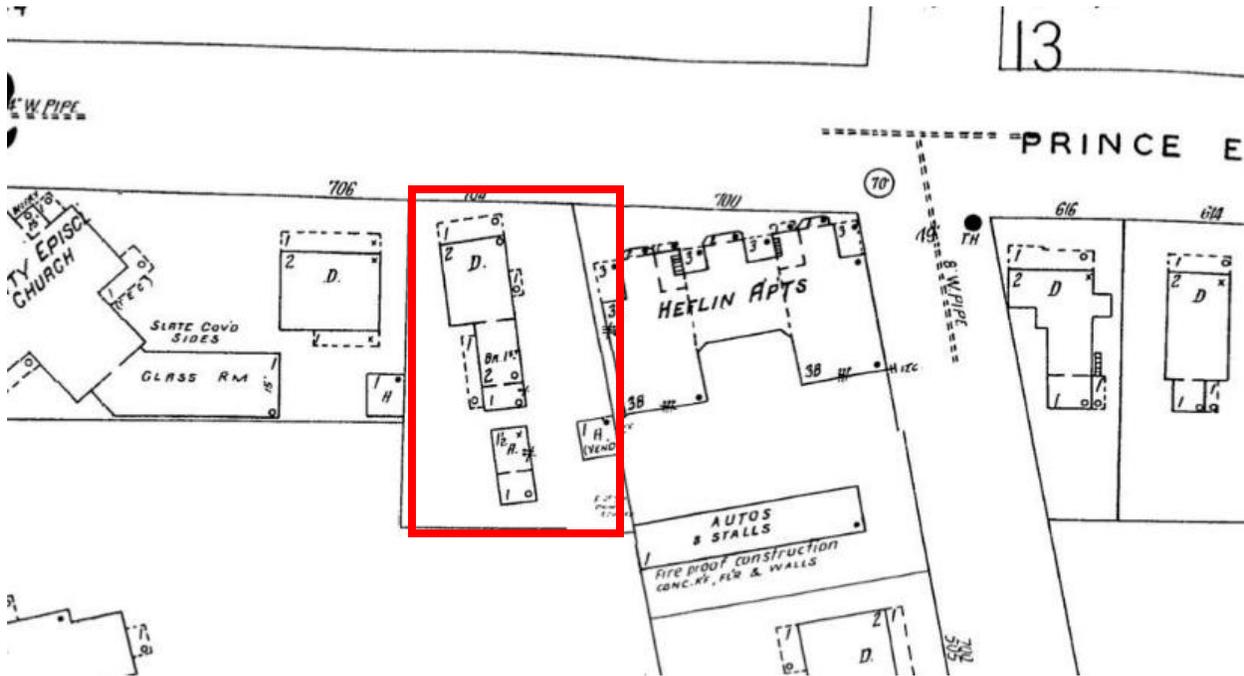
1907 Sanborn Fire Insurance Map  
Note the small entry porch projecting off the front elevation.



1919 Sanborn Fire Insurance Map  
Note the addition of a full-width front porch and small side entry porch.



1927 Sanborn Fire Insurance Map  
Note the change in location of the side entry porch.



1947 Sanborn Fire Insurance Map