



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** June 13, 2016  
**SUBJECT:** Certificate of Appropriateness for new construction at 500 William Street

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### ISSUE

The City of Fredericksburg Parks, Recreation, and Public Facilities Department requests a Certificate of Appropriateness to install a prefabricated concrete restroom building in Hurkamp Park.

### RECOMMENDATION

Approval of the Certificate of Appropriateness with the following conditions:

- Use of “Split Block” or “Skip Trowel” exterior finish in a gray or tan color
- Conduct an archaeological survey during excavation of the utilities and monitor for disturbance of human remains or other evidence of archaeological resources

### APPLICABLE HISTORIC DISTRICT DESIGN GUIDELINES

City Code Section 72-23.1 D(1)

- (1) New construction. No building or structure shall be erected or reconstructed within the HFD, unless approved by the ARB as being architecturally compatible with the historic landmarks, buildings, structures and areas located therein. The ARB shall, in making its decisions, consider the characteristics of a proposed building or structure as they affect and relate to the district, including the following elements:
- (a) Site planning (continuity of street edge, spacing between buildings, fences and walls, parking);
  - (b) Building scale (size, height, facade proportions);
  - (c) Building massing (form, roof shape, orientation);
  - (d) Roof (shape, pitch, overhang, dormers, skylights, chimneys);
  - (e) Windows (type, shape and proportion, rhythm and balance, blinds/shutters);
  - (f) Doorways (placement and orientation, type);
  - (g) Storefronts (materials, architectural details);
  - (h) Exterior architectural elements (entrances, porches and steps, cornices);
  - (i) Materials (wall surfaces, foundation, roof); and
  - (j) Miscellaneous details (trim, gutters and leaders, louvers/vents, lighting, public utilities).

**BACKGROUND**

The City of Fredericksburg Parks, Recreation, and Public Facilities Department proposes to install a pre-fabricated concrete restroom building between the alleyway to the Rescue Squad building and the historic brick wall that marks the property line at the rear west side of Hurkamp Park. The building will measure 12 feet by 20 feet, and will be hooked into the City’s sewer and water system. The interior of the building will include two stalls and a sink in each the men’s and women’s restrooms. One stall in each restroom will be ADA accessible, and the facilities will feature accessories that are able to be pressure-washed for easy cleaning. The restroom building will replace the need for portable toilets at the park for most all events, and will provide the state-mandated necessary hand wash capabilities needed for the Farmer’s Market.

The restroom building is an Easi-Set precast concrete structure and will be placed approximately three feet away from the historic brick wall at the rear of Hurkamp Park. This structure will replace the portable restrooms currently on site. A poured foundation is not required; instead, the structure will be placed on top of a 6-inch deep base of crushed stone. The structure will be topped by a split, slanted roof with six-inch deep overhanging eaves. The concrete roof is molded to appear as cedar shake shingles. The structure is composed entirely of pre-cast concrete, though a number of surface finishes are available. Staff recommends the “Split Block” or “Skip Trowel” finish in a light or medium gray or tan color as these most closely relate to the actual materiality of the structure. Faux brick or faux wood is not recommended.

Due to the historic use of Hurkamp Park as a cemetery, staff is concerned about the potential for disturbance of human remains or other archaeological material during excavation for the gravel base. It is recommended that an archaeologist be present on site to monitor this work. Staff finds the location, scale, and massing of the restroom structure appropriate for the site and recommends approval of the COA on condition that the recommended finishes are utilized.

**APPROVAL CRITERIA**

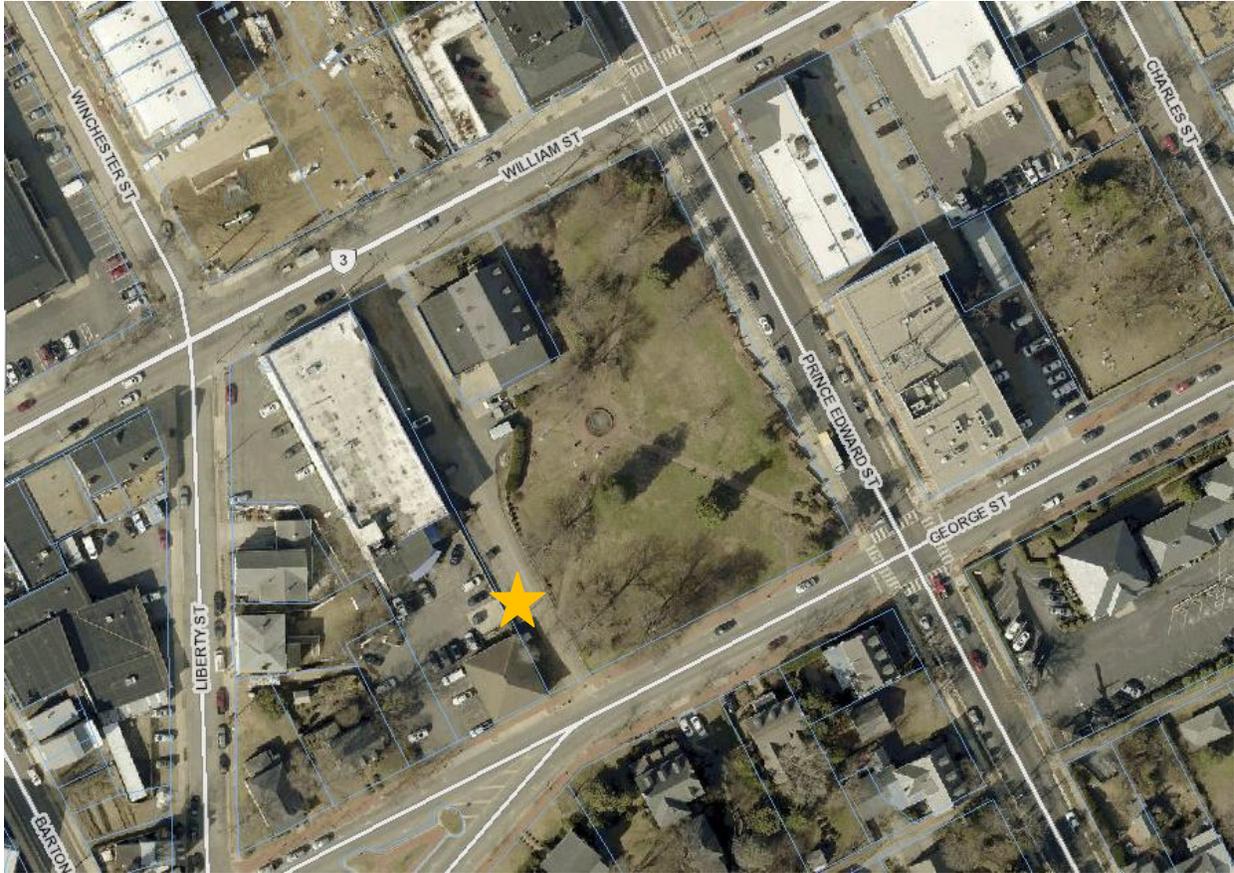
Criteria for evaluating new construction are found in City Code Section 72-23.1 D(1).

<b>Site planning</b> (continuity of street edge, spacing between buildings, fences and walls, parking)	The structure will be located at the west/rear side of Hurkamp Park, set three feet off the historic brick wall. The placement will not interrupt use of the park, but will be easily accessible by pedestrians.
<b>Building scale</b> (size, height, facade proportions)	The symmetrical structure will be 12 feet long by 20 feet wide by 8 feet 7 inches tall.
<b>Building massing</b> (form, roof shape, orientation)	This will be a simple rectangular structure topped by a split, slanted roof with the front elevation facing east. The simple form and roof relate to accessory structures used throughout the District.
<b>Roof</b> (shape, pitch, overhang, dormers, skylights)	Split, slanted roof with six-inch overhanging eaves
<b>Windows</b> (type, shape and proportion, rhythm and balance, blinds/shutters)	Windows will be minimal to maintain privacy in the restroom facility. An asymmetrical window will be located near the top of each side wall.

<b>Doorways</b> (placement and orientation, type)	Three doors will be symmetrically placed on the front elevation; these plain doors are appropriate for this simple utilitarian structure.
<b>Storefronts</b> (materials, architectural details)	Not applicable.
<b>Exterior architectural elements</b> (entrances, porches and steps, cornices)	No decorative features will be incorporated into this simple utilitarian structure.
<b>Materials</b> (wall surfaces, foundation, roof)	The entire structure will be constructed of precast concrete.
<b>Miscellaneous details</b> (trim, gutters and leaders, louvers/vents, lighting, public utilities)	Vents will be placed near the ground on the two side walls. No other trim or exterior lighting is proposed.

## Attachments:

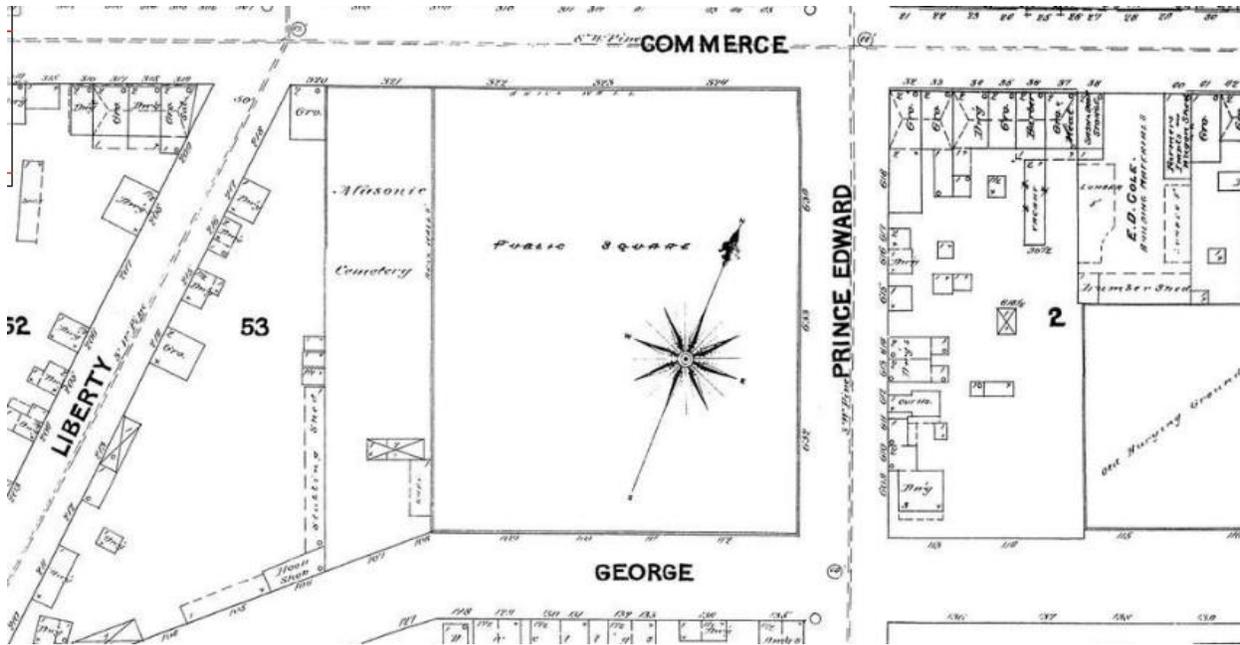
1. Aerial photograph showing property location
2. 1891 Sanborn Fire Insurance Map
3. Photographs, example structures
4. Easi-Set Finish Options
5. Easi-Set Color Options
6. Easi-Set Restroom Brochure
7. Bathroom Addition Site Plan and Details



AERIAL



EAST (FRONT) ELEVATION



1891 Sanborn Fire Insurance Map  
Showing cemetery location in present-day Hurkamp Park



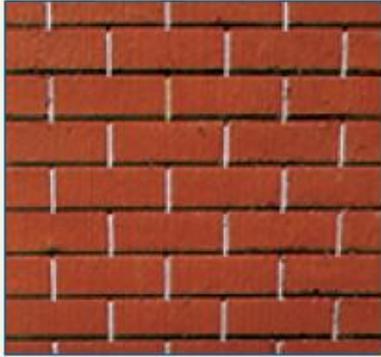
Example Restroom Structure



Example Restroom Structure, Side Elevation



Split-Block Finish and Color



EASI-Brick®



Broom



Exposed Aggregate



Barnboard



Split Block



Skip-Trowel

Easi-Set Finish Options

Easi-Set Color Options



The above color samples are approximations only. Jobsite applied colors will vary from this color chart due to computer monitor calibrations as well as the texture and porosity of the substrate. United recommends applying a color sample to an inconspicuous area on the actual substrate to verify color choice. Not all products are available in all colors.

## Specification

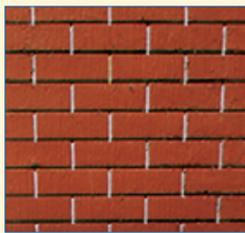
- Meets IBC-20
- ABC 3rd ed
- Standard
- re

Turn  
the page

## EASI-SET® Finishes

### Transportable Precast Concrete Restrooms

Wide selection of exterior finishes to complement any setting. Popular finishes shown below.



EASI-Brick®



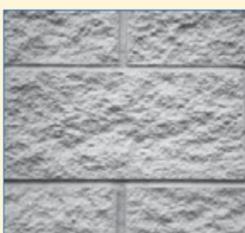
Broom



Exposed Aggregate



Barnboard



Split Block



Skip-Trowel

Additional finishes are available. Colors and textures of natural materials may vary by region.



Restroom, concession stand, and storage, Wisconsin.

## EASI-SET® Precast Restrooms

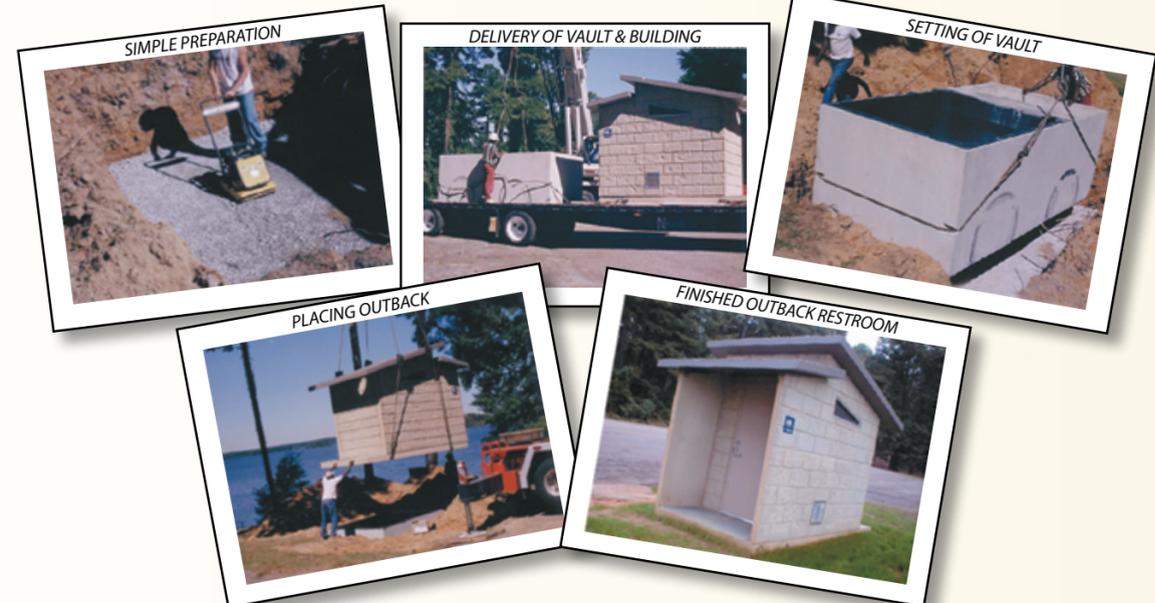
Installed in a day  
for a lifetime of service.

- **Available through GSA Schedule.**
- **Meets Forest Service Specification** for precast concrete vault restrooms.
- **Meets ADA Standards** and accessibility requirements.
- **Roof Options:** range from a flat precast concrete roof to gable configurations.



Deluxe restroom complex, Louisiana

Easy Site Preparation. Easy Delivery. Easy Installation. Easy Upkeep.



For all you need in a building...  
EASI-SET is the answer.

Manufactured Locally By:

**SMITH-MIDLAND®**  
EXCELLENCE IN PRECAST CONCRETE

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Transportable Precast Concrete

# RESTROOMS

The only Precast Restrooms  
available throughout  
North America from  
Local Manufacturers



Featuring  
**OUTBACK®**  
Restroom Models  
Blue Ridge®, Rocky Mountain®, Sierra®

# EASI-SET® Traditional Restrooms

EASI-SET® **Transportable Precast Concrete Restrooms** satisfy a broad spectrum of customer needs. (See our Building Brochure for popular uses of the EASI-SET® and EASI-SPAN® Buildings.)

All “standard” EASI-SET® Buildings utilize the same design technology

- **No foundation** required.
- Patented **post-tensioned** roof system.
- **All precast concrete** with eight-foot roof heights.
- **Design** meets current codes.
- **Three-inch** thick walls, **four-inch** thick roof and floor.

## Secure

- **Vandal resistant:** steel-reinforced precast concrete construction, tamper-proof hinges, dead-bolt locks and 18-gauge galvanized steel insulated doors.

## Durable

- **Rugged:** patented post-tensioned design withstands all weather, temperature, impact and seismic conditions.
- **Weather-tight:** roof and floor design provides superior water-tight construction.
- **Maintenance Free:** will not rust, warp, corrode, rot, or burn and retains finish without maintenance.

## Practical

- **Transportable:** welded precast panel construction ensures structural integrity during delivery and installation.
- **Lifetime Roof:** no coating required. Post-tensioned (concrete under compression) technology is available, only from EASI-SET.®
- **Easy Installation:** site preparation requires only excavation for the crushed stone base or for the restroom containment vault, where required.

- **Wet/Dry:** can be connected to city water and/or sewer or be self-contained.

Cover Photos:

**Top Photo:** Blue Ridge® Model, Virginia

**Middle Photo:** Sierra® Model being set, Ohio

**Bottom Photo:** Concession Stand/Restrooms, PA



Traditional restroom with added metal roof, Florida



Traditional restroom with sloped roof & block finish, Mississippi



Traditional restroom with pitched roof and FAN® vent stack, Virginia



Modular concession stand/restroom with pitched roof, Virginia

# EASI-SET® Outback®

The “first family” of transportable restrooms from the originator of transportable precast buildings.

Outbacks are supplied in a variety of finishes, pre-plumbed, pre-wired, air-conditioned and/or with our exclusive FAN® ventilation technology. Standard models are equipped with underground precast concrete containment vaults, where required.



Outback® Blue Ridge® Model showing FAN® vent stack, Alabama



Factory built — for quality control and no on-site delays



Installed — Outback® Sierra® Model, Connecticut

## Specifications

- Meets IBC-2009, ANSI/ASCE 7-02, ACI 318-02, LRFD AISC 3rd edition, ASD AISC 9th edition, CSI Manual of Standard Practices, PCI Design Handbook 9th edition requirements.
- Roof load capacity: 350 psf (standard building: 250 psf)
- Wind load: 130 mph (standard building)
- Floor load: 250 psf
- 5000 psi steel-reinforced precast panels with welded connections. (standard building: bolted connections)
- Bullet tested to UL-752, Level 5 NIJ 0108.1 Level III
- 18-gauge galvanized steel insulated doors, tamper-proof hinges, dead-bolt lock, door stop and holder.
- Lifetime roof: post-tensioned by a single continuous tendon creating radial compression in the roof. No coating required.
- FAN® (Fresh Air Naturally) Ventilation Technology eliminates restroom odors.
- Tuned-down roof with built-in drip edge and step down floor edge (standard building).

## FAN® Ventilation Technology (Fresh Air Naturally)

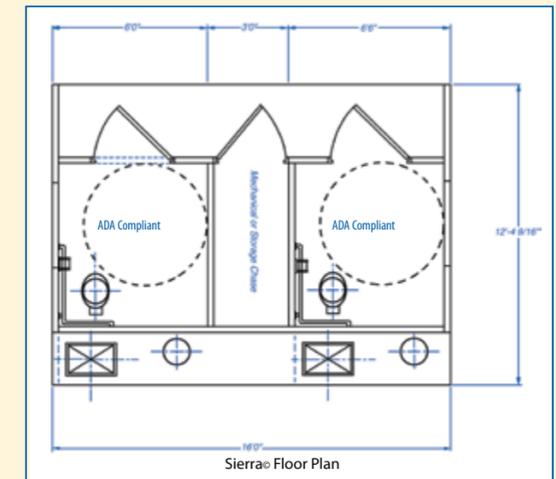
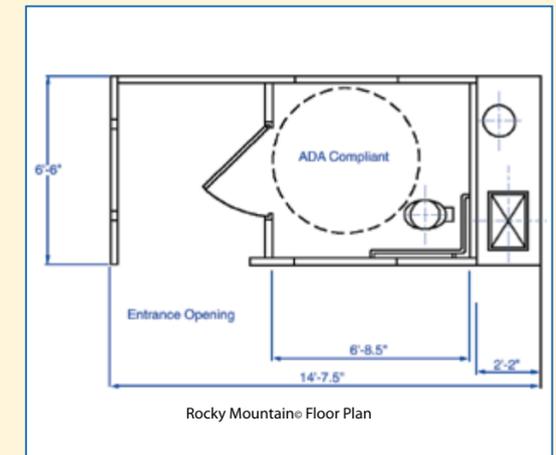
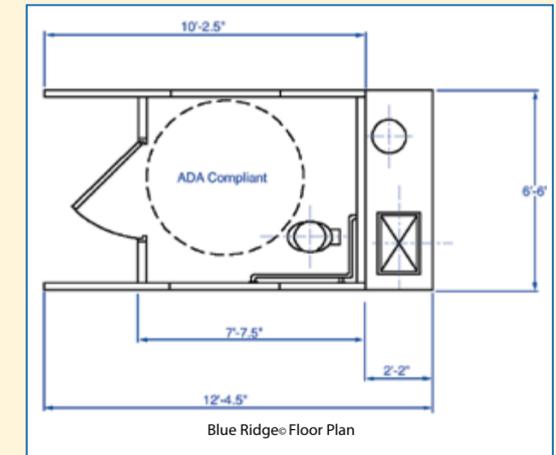


Smooth interior finish simplifies clean up and upkeep

# Transportable Precast Concrete RESTROOMS

# EASI-SET® Outback®

**Transportable Precast Concrete Restrooms**  
Standard Models: Blue Ridge®, Rocky Mountain®, Sierra®  
Other configurations available. Call for details.



# HURKAMP PARK - BATHROOM ADDITION



## PARKS & RECREATION CITY OF FREDERICKSBURG, VIRGINIA

The City of Fredericksburg Parks, Recreation and Public Facilities Department proposes to install a pre-fabricated concrete restroom building between the alleyway to the Rescue Squad building and the historic brick wall that marks the property line at the back of Hurkamp Park. The building will be 12'x20', and will be hooked into the City's sewer and water system. The interior of the building will include two stalls and a sink in both the men's and women's restrooms. One stall in each restroom will be ADA accessible, and the facilities will feature accessories that are able to be pressured washed for easy cleaning. The restroom building will replace the need for portable toilets at the park for most all events, and will provide the state mandated necessary hand wash capabilities needed for the Farmer's Market.

### SHEET INDEX

SHEET	TITLE
SHEET 1	COVER SHEET
SHEET 2	LAYOUT SHEET
SHEET 3	DETAILS SHEET

### ADMINISTRATIVE APPROVALS

\_\_\_\_\_  
Development Administrator Date

\_\_\_\_\_  
Zoning Administrator Date

\_\_\_\_\_  
Stormwater Administrator Date

Approved for Work Related to Public Water, Sewer, Storm Drainage, Street, Trees & Rights-of-ways

\_\_\_\_\_  
Public Works Date

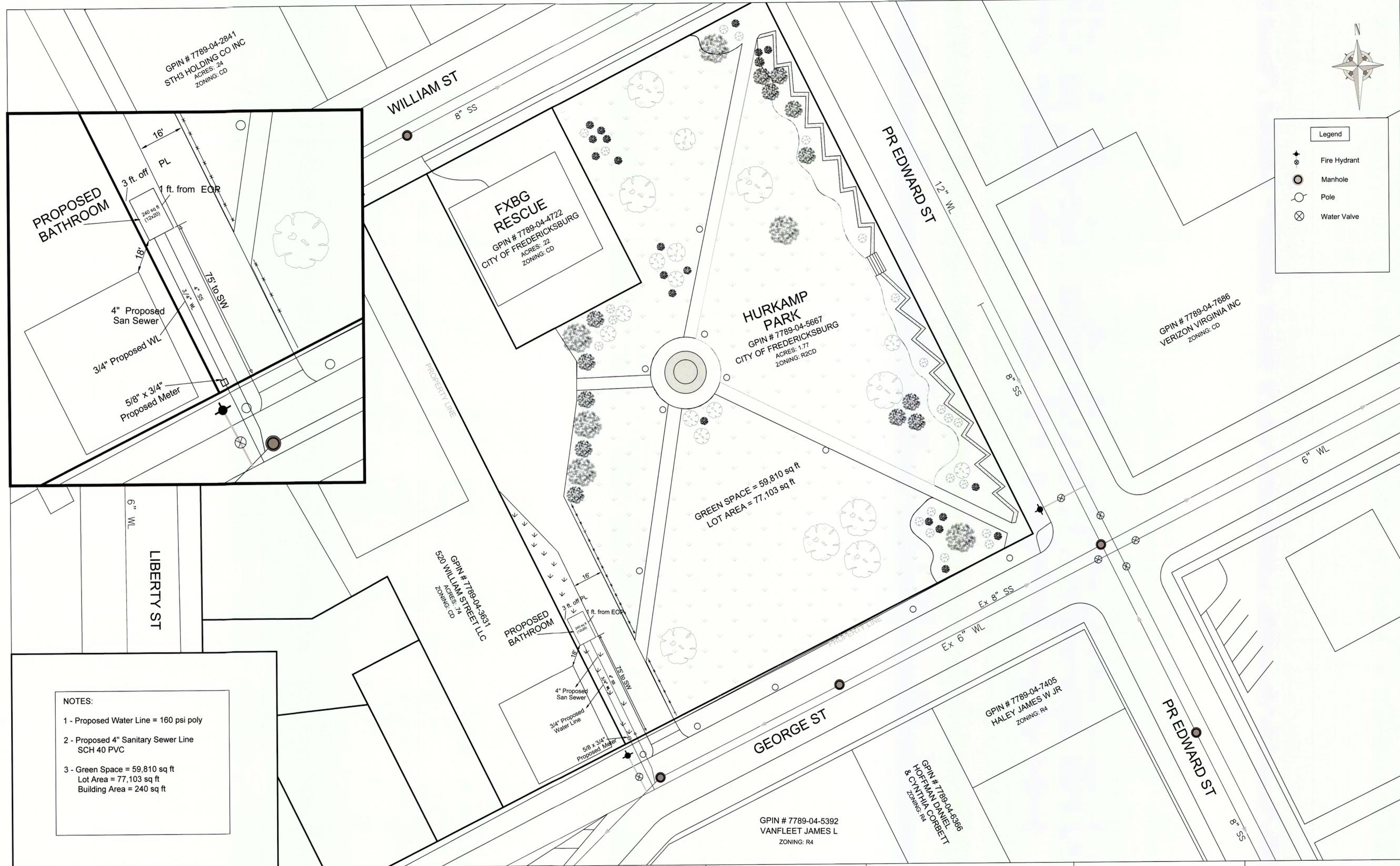
Approved for Fire Lanes & Signage, Hydrant locations and color coding, FDC & PIV locations, Turning Radii and Roadway Width for Emergency Vehicles

\_\_\_\_\_  
Fire Marshal Date



Legend

- Fire Hydrant
- Manhole
- Pole
- Water Valve



NOTES:

- 1 - Proposed Water Line = 160 psi poly
- 2 - Proposed 4" Sanitary Sewer Line SCH 40 PVC
- 3 - Green Space = 59,810 sq ft  
Lot Area = 77,103 sq ft  
Building Area = 240 sq ft

CITY OF FREDERICKSBURG - PARKS & RECREATION  
**HURKAMP PARK - BATHROOM ADDITION**

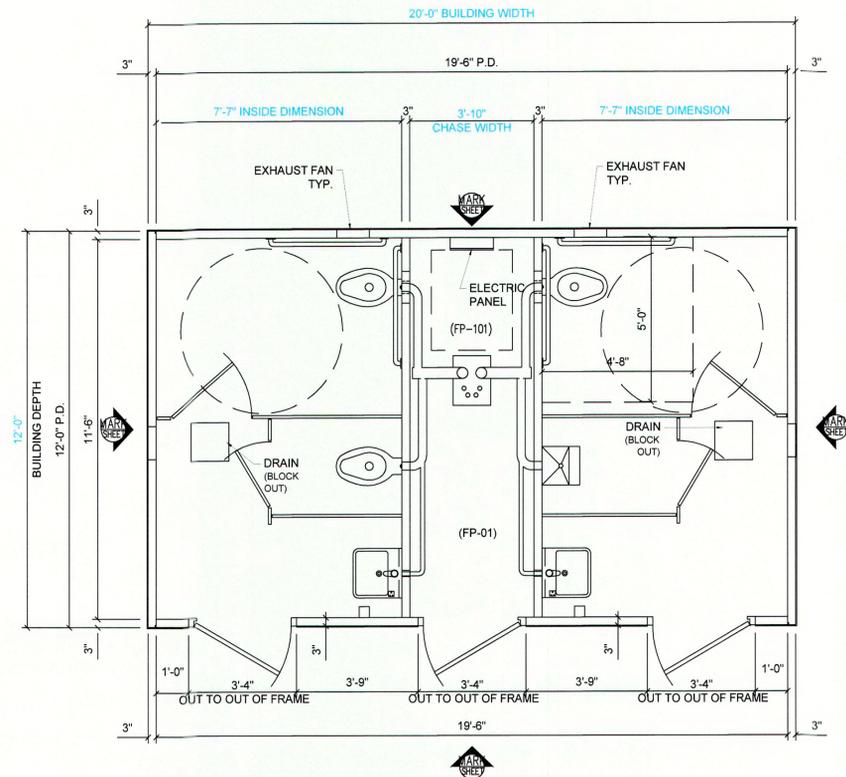
LAYOUT PAGE

Drawn by: Lesley Sale

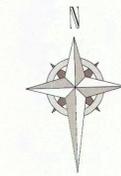
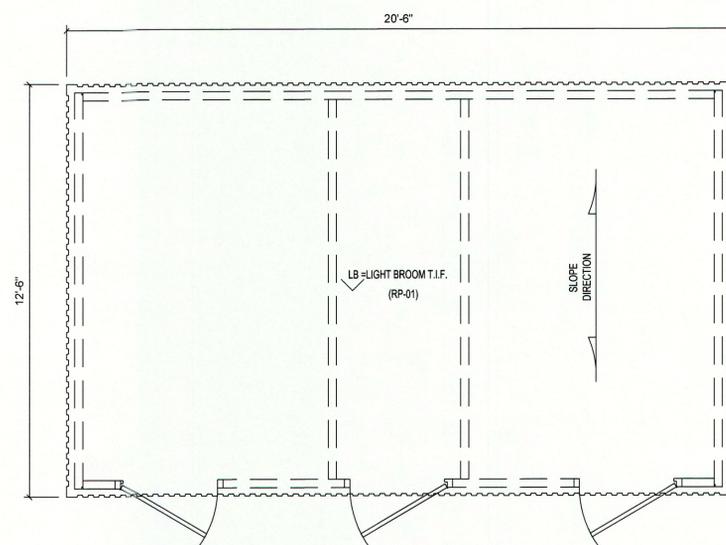
SCALE: 1" = 30'

Sheet 2 of 3

# FLOOR PLAN



# ROOF PLAN



# CONCRETE EXTERIOR DETAILS

**Exterior Color**

- Brick Red
- Other: \_\_\_\_\_

**Exterior Finish**

- Easi-Brick™
- Other: \_\_\_\_\_

**Door Color**

- Yorktown Brown
- Other: \_\_\_\_\_

1) All required openings for electric, mechanical, louvers, etc. must be sized and located by buyer on this drawing (Opening sizes and locations may have to be altered if they interfere with connections or reinforcing)

2) All views are from exterior

3) A signed copy must be returned before building can be released for production

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CUSTOMER: \_\_\_\_\_  
JOB LOCATION: \_\_\_\_\_  
PROJECT: 12' x 20' EASI-SET Restroom    DR BY: \_\_\_\_\_    DATE: \_\_\_\_\_  
SHEET NO: \_\_\_\_\_    DATE: \_\_\_\_\_  
OF \_\_\_\_\_    PAGE \_\_\_\_\_    JOB NO. \_\_\_\_\_